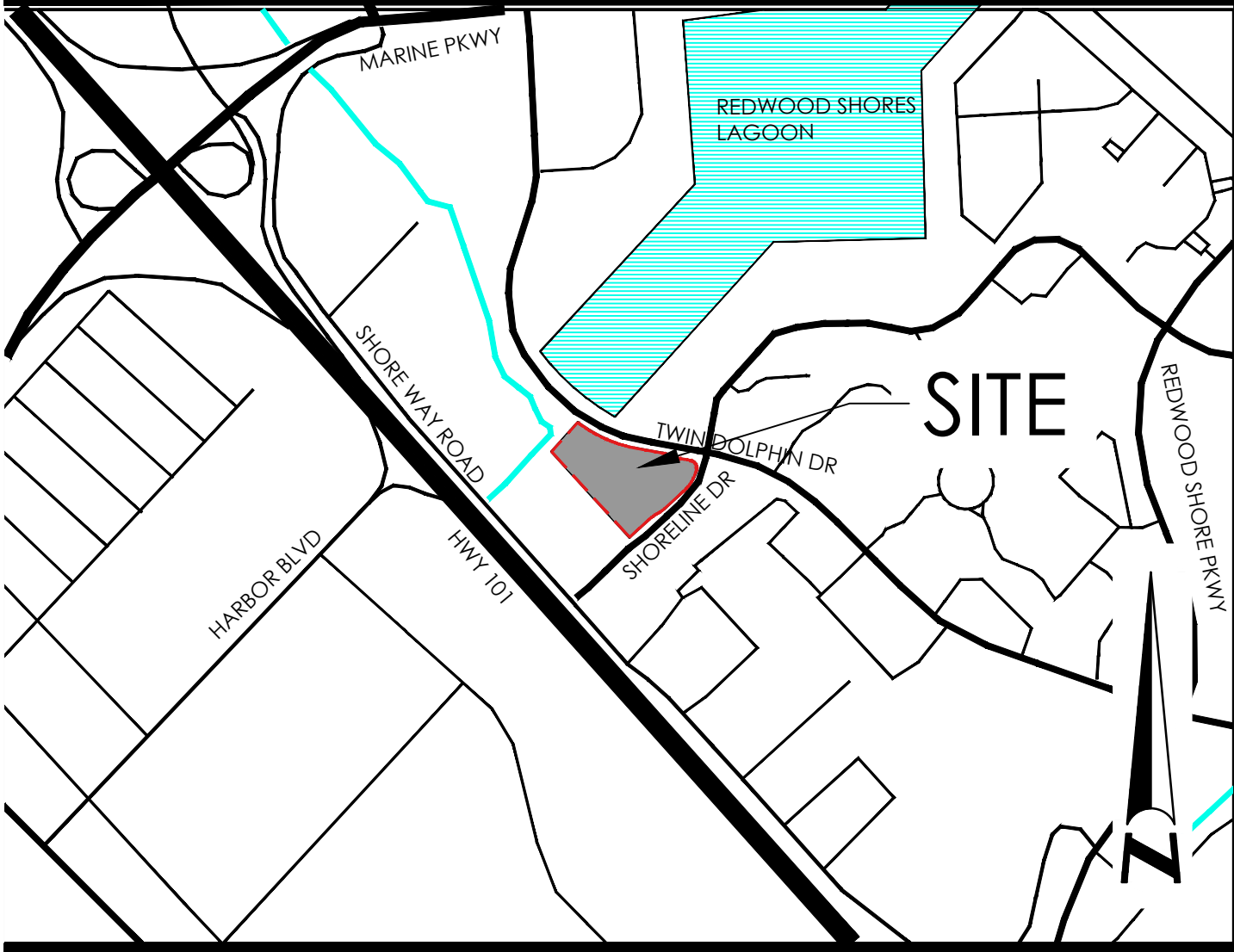
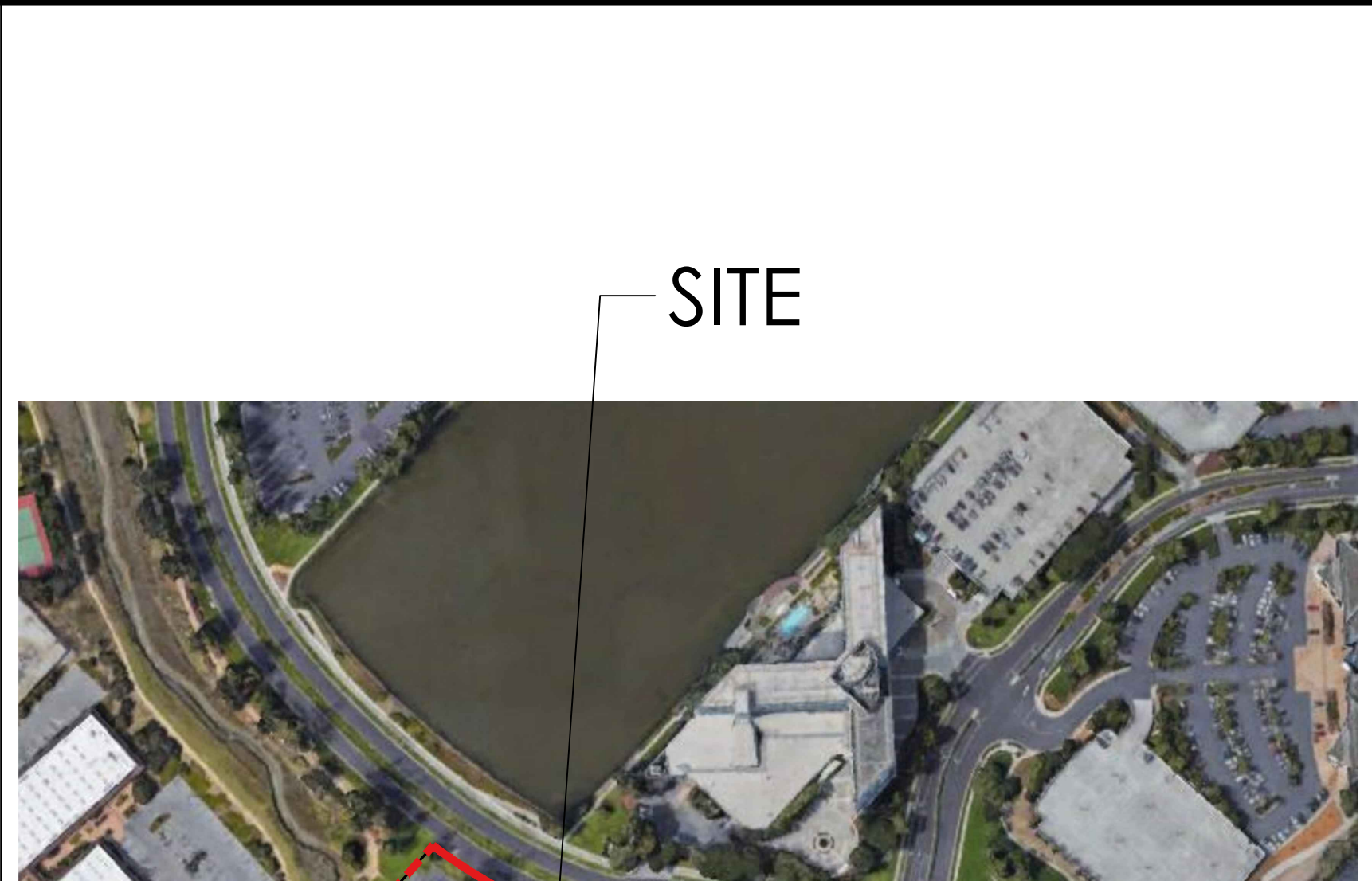


# 200 TWIN DOLPHIN DRIVE

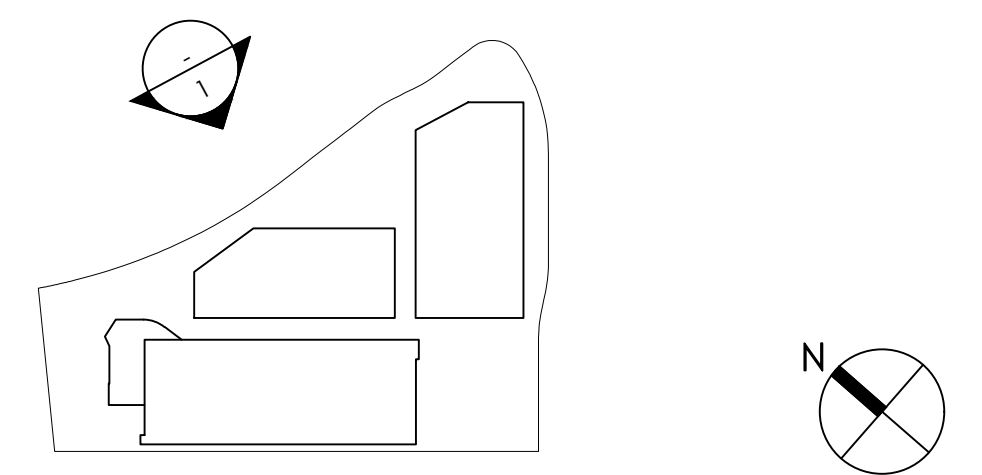
REDWOOD CITY, CALIFORNIA  
KENNETH RODRIGUES & PARTNERS, INC.

07.18.2018

VICINITY MAP	PROJECT DESCRIPTION	SHEET INDEX	EXISTING SITE - AERIAL VIEW
	<p>THE PROJECT INCLUDES :</p> <ul style="list-style-type: none"><li>• DEMOLISHING 6 EXISTING ONE STORY OFFICE BUILDINGS.</li><li>• CONSTRUCTING A NEW 130,960 SF 4-STORY OFFICE BUILDING (BUILDING -1), A NEW 72,750 SF 3-STORY OFFICE BUILDING (BUILDING -2), A PARKING GARAGE WITH 479 STALLS, SURFACE PARKING WITH 63 STALLS AND LANDSCAPING.</li><li>• CONSTRUCTING A 5,150 SF CAFE AND RECREATION CENTER ATTACHED TO THE PARKING STRUCTURE WHICH WILL SERVE BOTH ON-SITE USERS AND THE PUBLIC.</li><li>• PROVIDING IMPROVEMENTS TO EXISTING TRAIL ACCESS TO BELMONT CREEK WITH ENHANCED PUBLIC AMENITIES AND SITE INTEGRATION.</li></ul>	<p>ARCHITECTURAL</p> <p>A0.0 COVER SHEET</p> <p>A0.1 PROJECT RENDERING</p> <p>A1.0 EXISTING SITE PLAN</p> <p>A1.1 ILLUSTRATIVE SITE PLAN</p> <p>A1.2 DIMENSIONED SITE PLAN</p> <p>A1.3 CIRCULATION PLAN</p> <p>A2.1 FLOOR PLANS - BUILDING 1</p> <p>A2.2 FLOOR PLANS - BUILDING 2</p> <p>A2.3 GARAGE AND CAFE/REC PLANS - LEVEL 1</p> <p>A2.4 GARAGE AND CAFE/REC PLANS - LEVEL 2-4</p> <p>A2.5 ROOF PLAN - BUILDING 1 AND 2</p> <p>A3.0 SITE ELEVATIONS</p> <p>A3.1 ELEVATIONS - BUILDING 1</p> <p>A3.2 ELEVATIONS - BUILDING 2</p> <p>A3.3 ELEVATIONS - GARAGE AND CAFE/REC</p> <p>A4.1 BUILDING SECTIONS</p> <p>A5.1 MATERIALS &amp; FINISHES</p> <p>LANDSCAPE</p> <p>L1 ILLUSTRATIVE LANDSCAPE PLAN AND PLANT PALETTE</p> <p>L2 ILLUSTRATIVE PATIO AND ROOF TERRACE LANDSCAPE PLANS</p> <p>L3 LANDSCAPE IMAGERY</p> <p>CIVIL</p> <p>C-1.0 COVER SHEET</p> <p>C-2.0 TOPOGRAPHIC SURVEY</p> <p>C-3.0 GRADING AND DRAINAGE PLAN</p> <p>C-4.0 UTILITY PLAN</p> <p>C-5.0 STORM WATER MANAGEMENT PLAN</p> <p>C-6.0 FIRE ACCESS PLAN</p>	
PROJECT DATA	PROJECT TEAM		
<p>PROPERTY ADDRESS: 200 TWIN DOLPHIN DRIVE REDWOOD CITY, CALIFORNIA</p> <p>PROPOSED ADDRESS: SAME</p> <p>APN: 111-910-020, 030, 040, 050, 060, 070, 080, 090, 100, 110, 120, 130, 140, 150, 170, 180, 190, 200, 210, 220, 230, 240, 250</p> <p>SITE AREA: 204,045 SF (4.68 AC)</p> <p>BUILDING AREA: 203,710 SF (OFFICE AREA)</p> <p>ZONING: CP</p> <p>ZONING MAXIMUM FAR: 0.8 (BASE) + 0.2 (BONUS)</p> <p>2010 GENERAL PLAN: OFFICE PROFESSIONAL/ TECHNOLOGY</p> <p>GP MAXIMUM FAR: 1.0</p> <p>PROPOSED FAR: 1.0</p> <p>SITE COVERAGE: 104,620 SF (51%)</p> <p>PARKING REQUIRED: 697 SPACES <small>1/300 = 697 SPACES</small></p> <p>PARKING PROVIDED: 542 SPACES</p> <p>PARKING RATIO: 1/385</p> <p>LAND USE: R &amp; D/OFFICE</p> <p>OCCUPANCY: B OFFICE</p> <p>TYPE OF CONSTRUCTION: II-B</p>	<p>OWNER</p> <p>SAND HILL PROPERTY COMPANY 965 PAGE MILL ROAD PALO ALTO, CA 94304</p> <p>ARCHITECT</p> <p>KENNETH RODRIGUES &amp; PARTNERS, INC. 445 N. WHISMAN ROAD, SUITE 200 MOUNTAIN VIEW, CA 94043</p> <p>LANDSCAPE ARCHITECT</p> <p>THE GUZZARDO PARTNERSHIP, INC 181 GREENWICH ST SAN FRANCISCO, CA 94111</p> <p>CIVIL ENGINEER</p> <p>SANDIS 1700 S WINCHESTER BLVD, SUITE 200 CAMPBELL, CA 95008</p> <p>Phone: 650.344.1500 Contact: Steve Lynch Email: slynch@shpco.com</p> <p>Phone: 650.965.0700 Contact: Ken Rodrigues Email: kenr@kraparchitects.com</p> <p>Phone: 415.433.4672 Contact: Gary Laymon Email: glaymon@tgp-inc.com</p> <p>Phone: 408.636.0962 Contact: Steven Yasutake Email: syasutake@sandis.net</p>		



① VIEW FROM TWIN DOLPHIN DRIVE



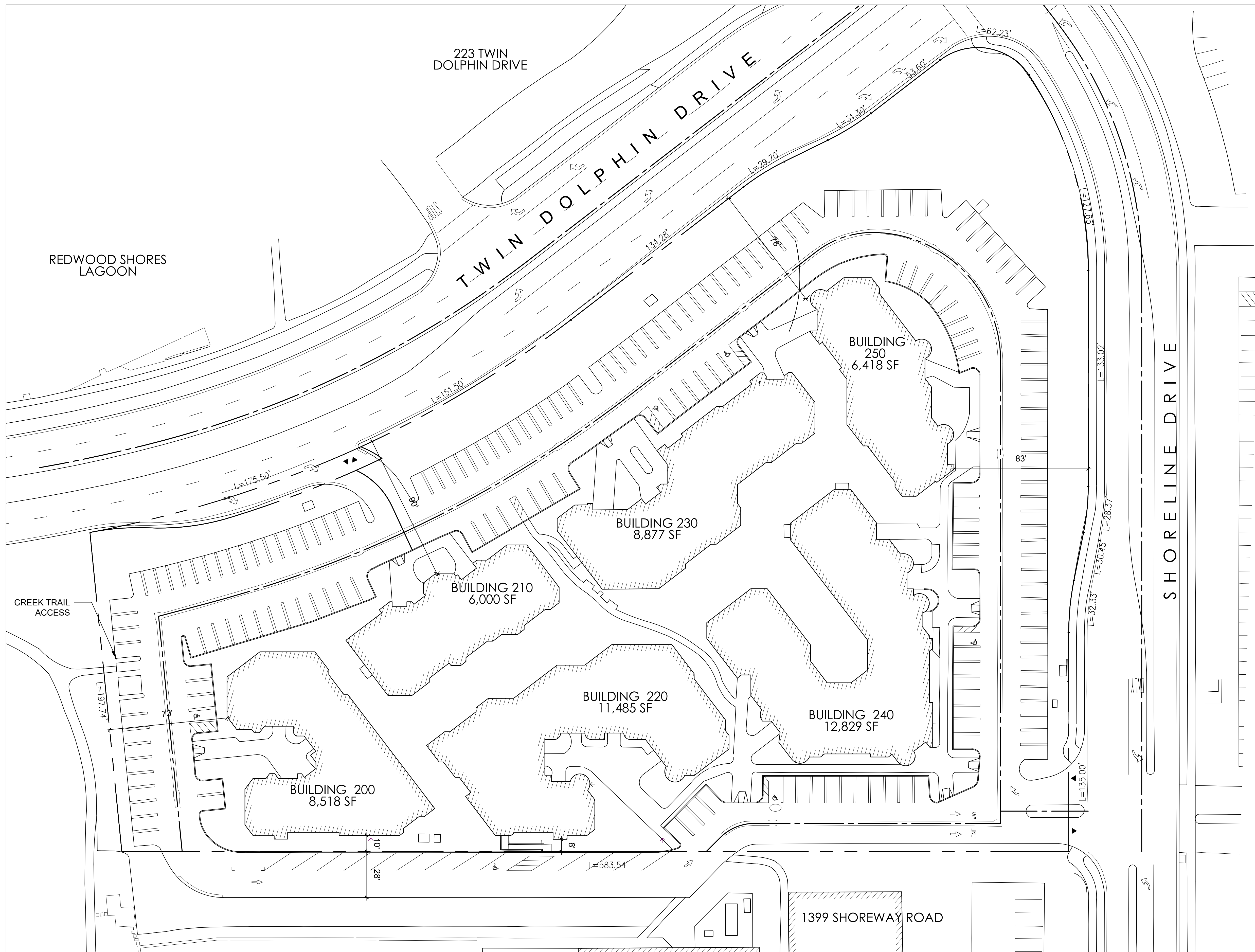
## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018

PROJECT RENDERING

A0.1



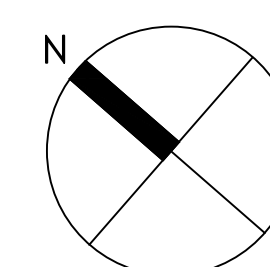
## (E) SITE INFORMATION:

SITE AREA: 204,045 SF (4.68 AC)  
 EXISTING BUILDING AREA TOTAL: 54,127 SF  
 EXISTING PARKING PROVIDED: 194 SPACES

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
 SAND HILL PROPERTY COMPANY  
 KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018



0' 15' 30' 60'

EXISTING SITE PLAN

A1.0



## LEGEND

- BUILDING FOOTPRINT - OFFICE BUILDINGS
- BUILDING FOOTPRINT - CAFE / REC
- GARAGE FOOT PRINT
- ACCESSORY STRUCTURE FOOTPRINT
- AUTO-DEDICATED AREA
- PAVING AREA 1
- PAVING AREA 2
- LANDSCAPE AREA

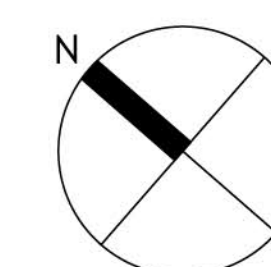
# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

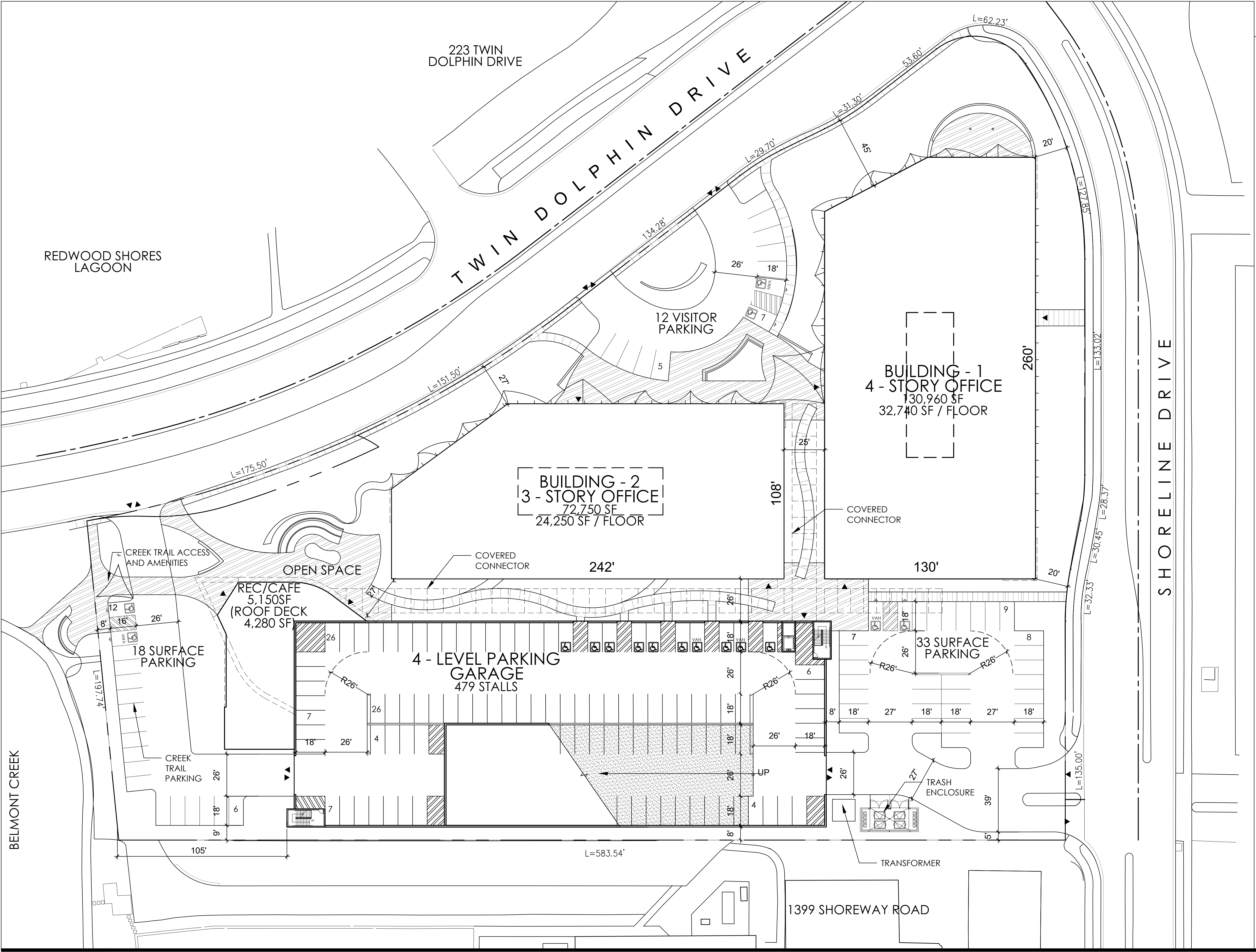
31.620 07.18.2018



0' 15' 30' 60'

ILLUSTRATIVE  
SITE PLAN

A1.1

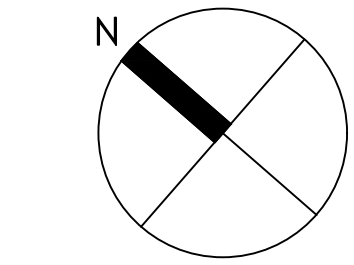


PROJECT INFORMATION		
SITE AREA:		204,045 SF (4.68 AC)
AREA INCLUDED IN FAR CALCULATION:		203,710 SF
BUILDING 1 (NEW 4-STORY OFFICE):		130,960 SF
FIRST FLOOR:		32,740 SF
SECOND FLOOR:		32,740 SF
THRID FLOOR:		32,740 SF
FOURTH FLOOR:		32,740 SF
BUILDING 2 (NEW 3-STORY OFFICE)		72,750 SF
FIRST FLOOR:		24,250 SF
SECOND FLOOR:		24,250 SF
THRID FLOOR:		24,250 SF
FLOOR AREA RATIO:		1.00
AREA EXEMPTED FROM FAR CALCULATION:		5,150 SF
RECREATION CENTER/ CAFÉ*:		5,150 SF
(*)INCLUDED IN PARKING REQUIREMENT		
LOT COVERAGE:		104,620 SF (51 %)
BUILDING 1 FOOTPRINT:		32,740 SF
BUILDING 2 FOOTPRINT:		24,250 SF
GARAGE FOOTPRINT:		41,780 SF
RECREATION CENTER/ CAFÉ FOOTPRINT:		5,150 SF
ACCESSORY STRUCTURES:		700 SF
PARKING		REQUIRED PROVIDED
VEHICLE PARKING SPACES:		697 542
VEHICLE PARKING RATIO:		1/300 1/385
BICYCLE PARKING SPACES:		42 42
MOTORCYCLE PARKING SPACES:		28 28
MAXIMUM HEIGHT ALLOWED:		100 FT
BUILDING HEIGHT PROPOSED:		
BUILDING 1		71 FT
BUILDING 2		56 FT

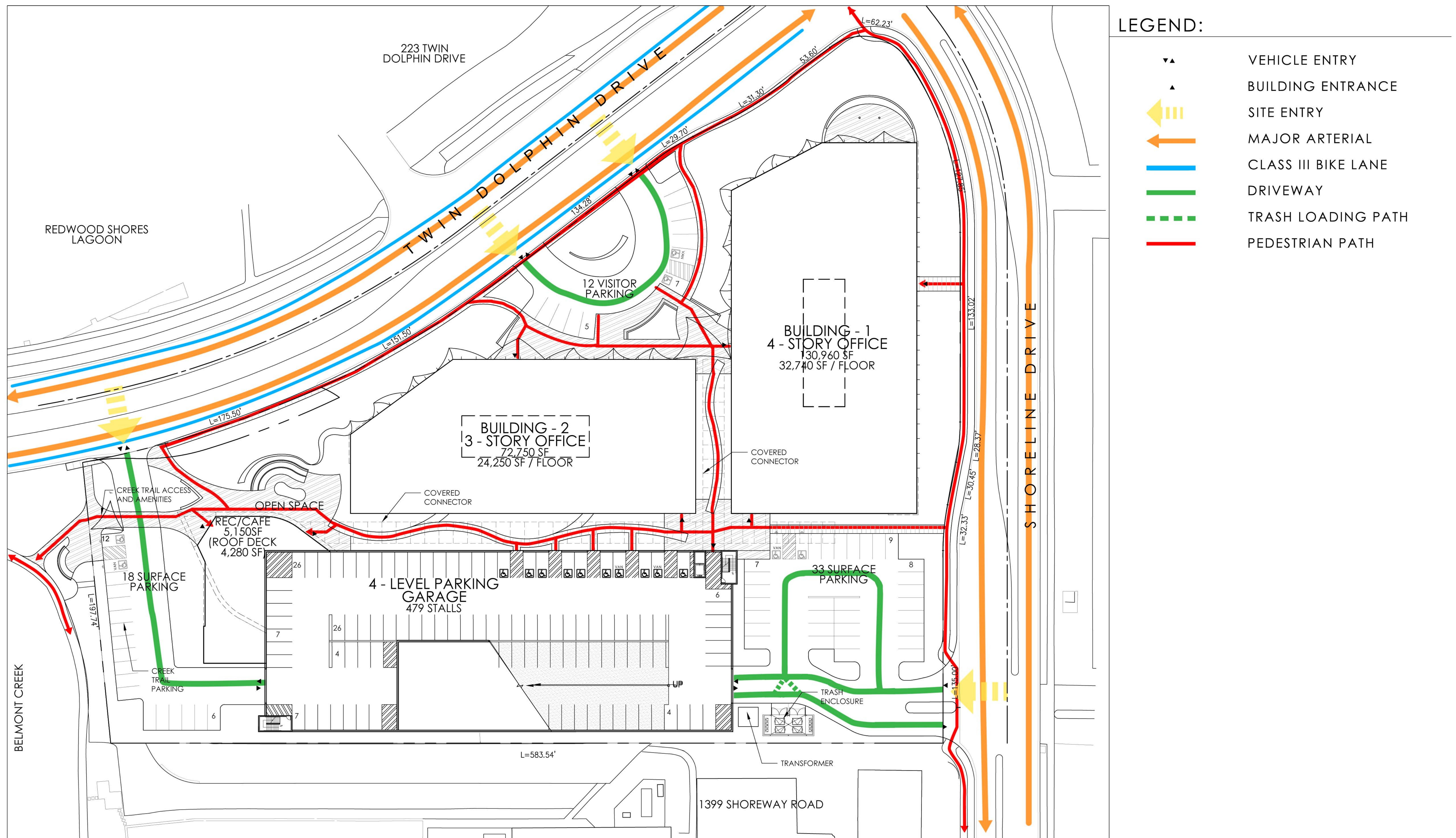
200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

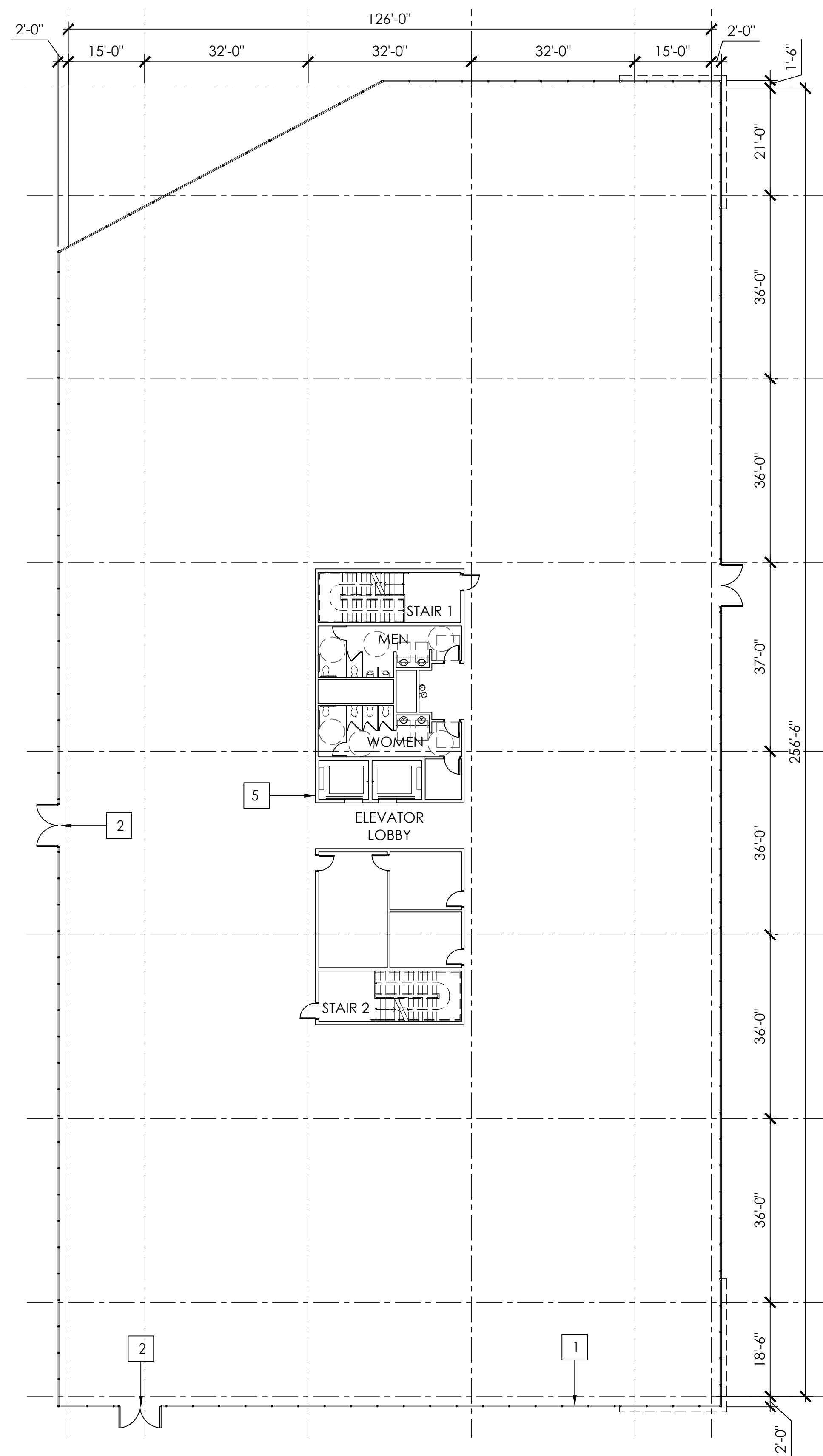
31.620 07.18.2018



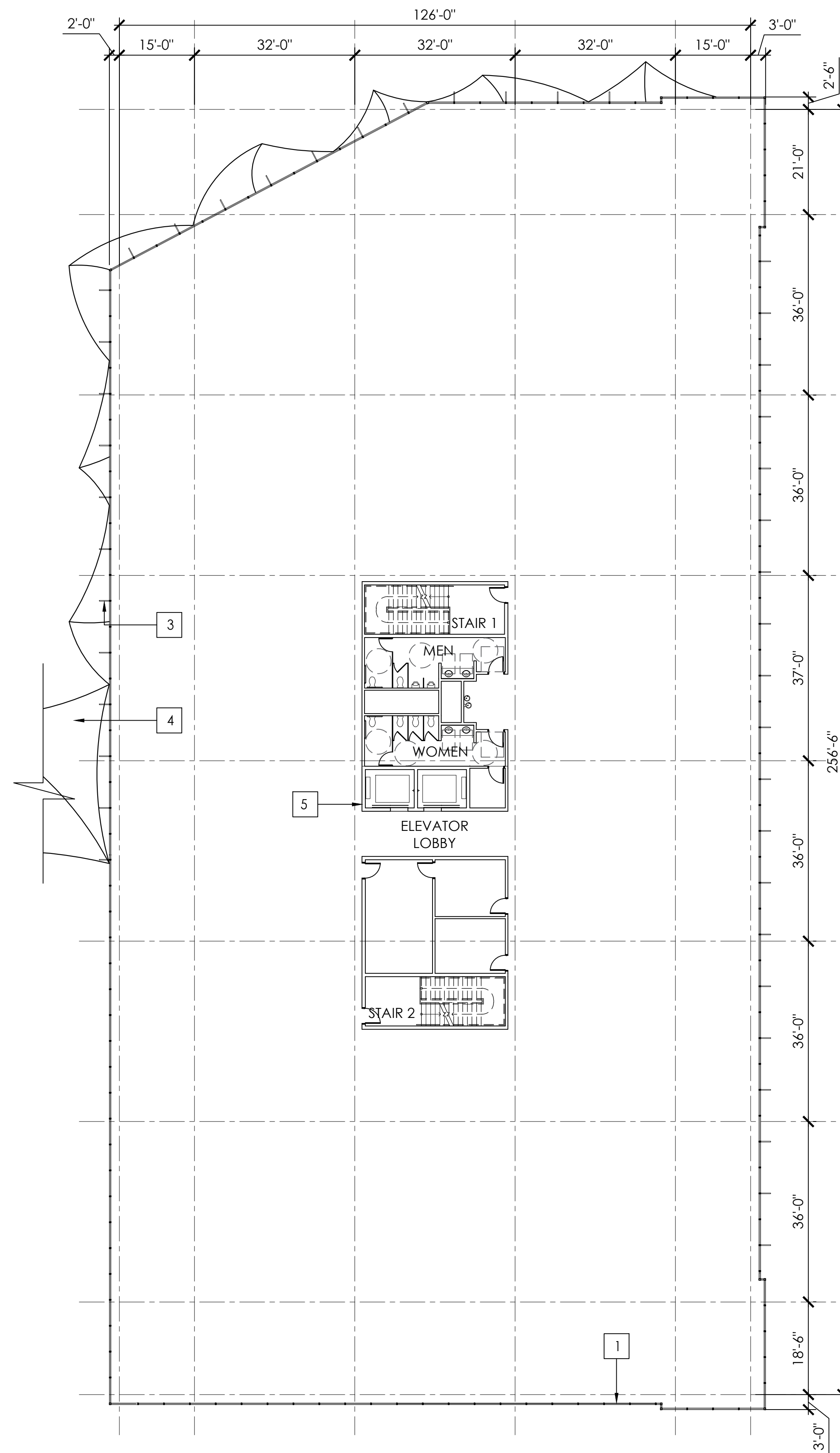
DIMENSIONED SITE PLAN



CIRCULATION PLAN



1 LEVEL 1: 32,740 SF



2 LEVEL 2-4: 32,740 SF

#### KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 PROFILED GLASS FINS
- 4 CANOPY - TENSILE FABRIC / ETFE PILLOWS AT 2ND FLOOR ONLY
- 5 BUILDING CORE

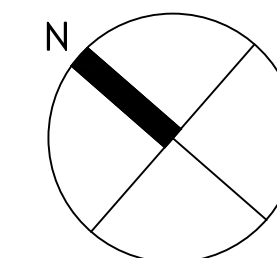
# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018



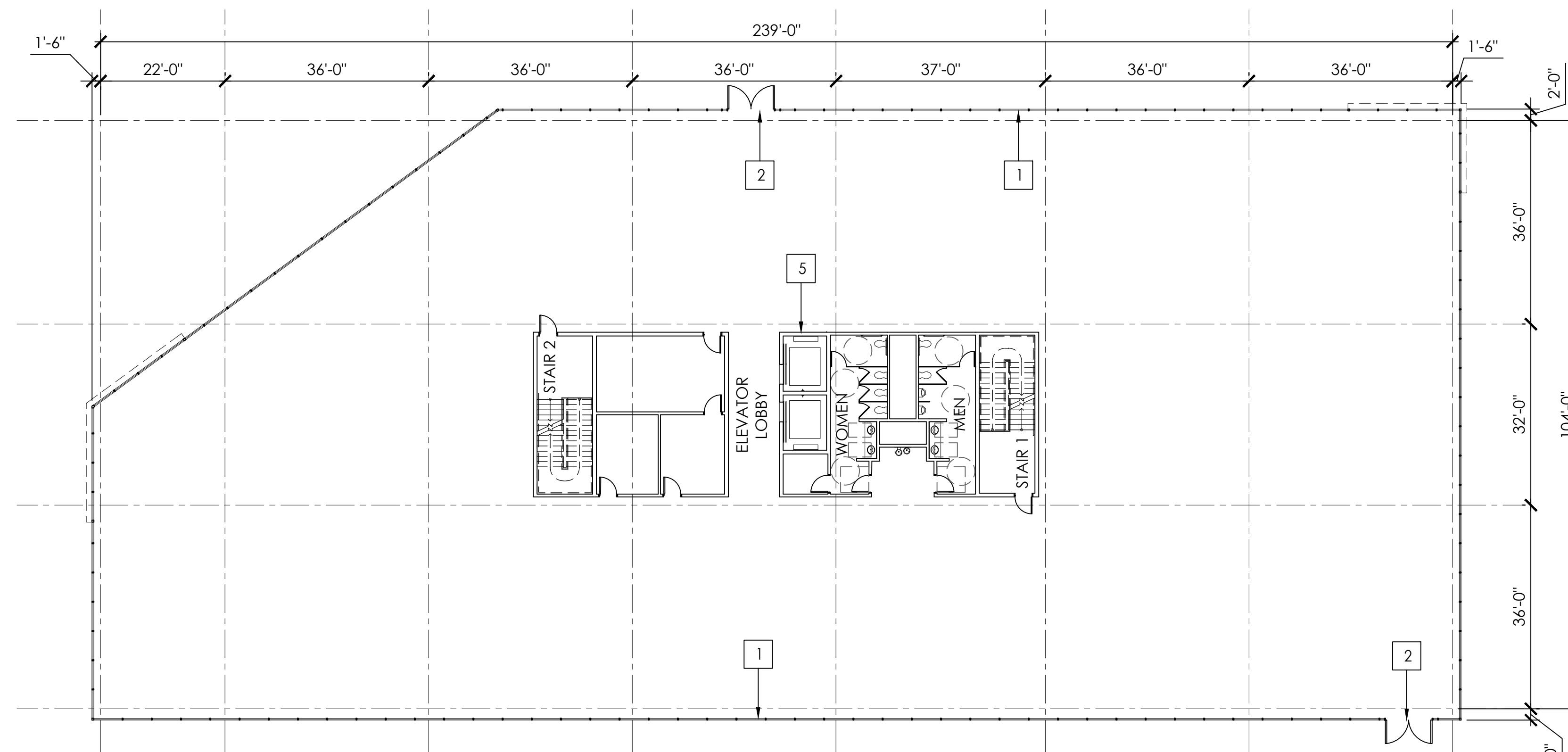
0' 8' 16' 32'

FLOOR PLANS  
- BUILDING 1

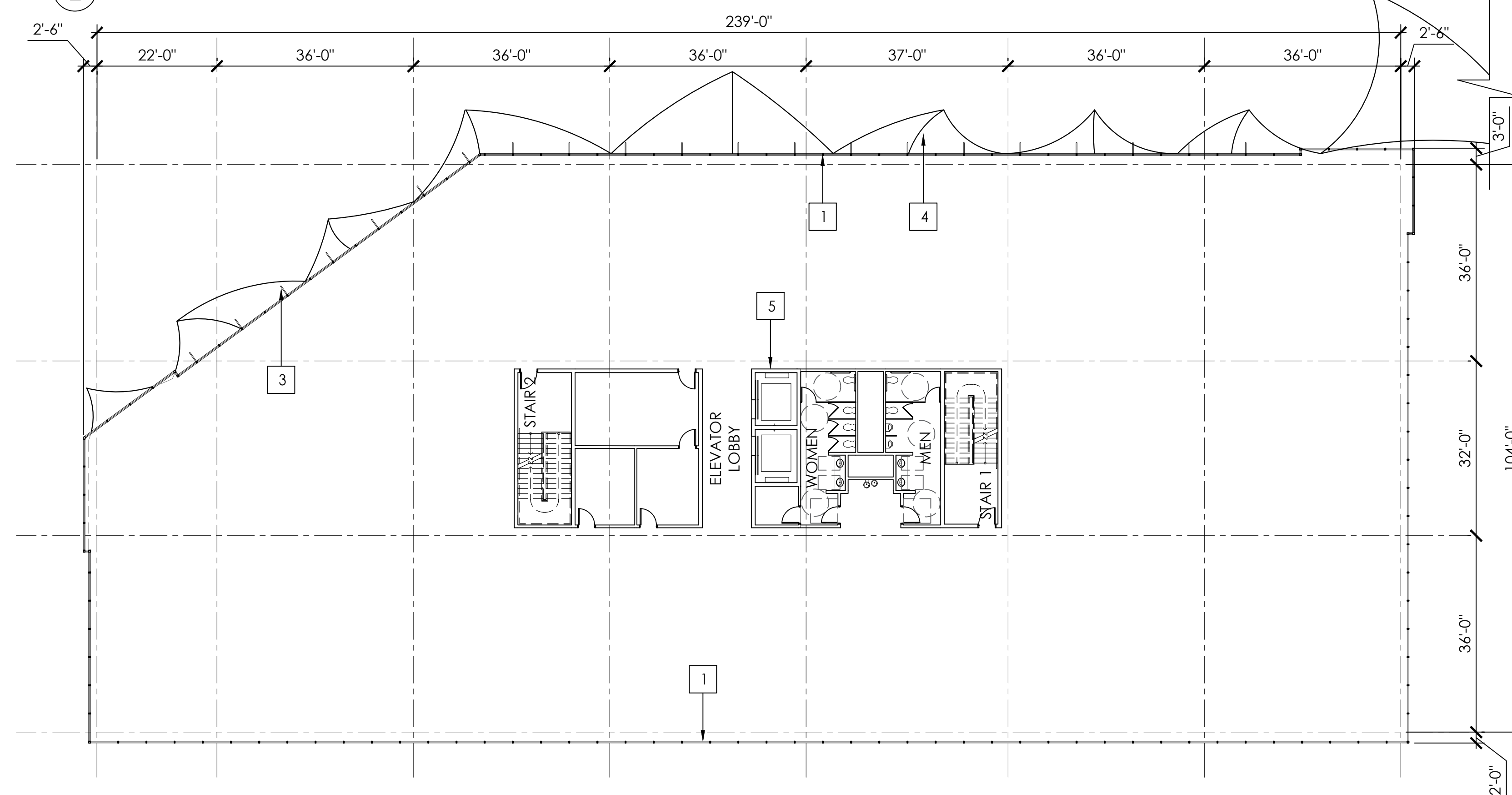
A2.1

# KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 PROFILED GLASS FINS
- 4 CANOPY - TENSILE FABRIC / ETFE PILLOWS AT 2ND FLOOR ONLY
- 5 BUILDING CORE



1 LEVEL 1: 24,250 SF



2 LEVEL 2 -3: 24,250 SF

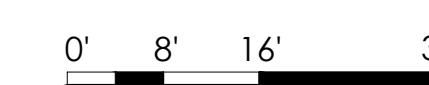
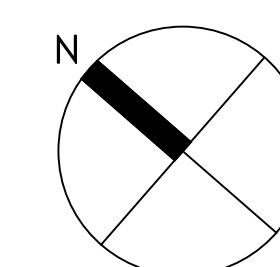
## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

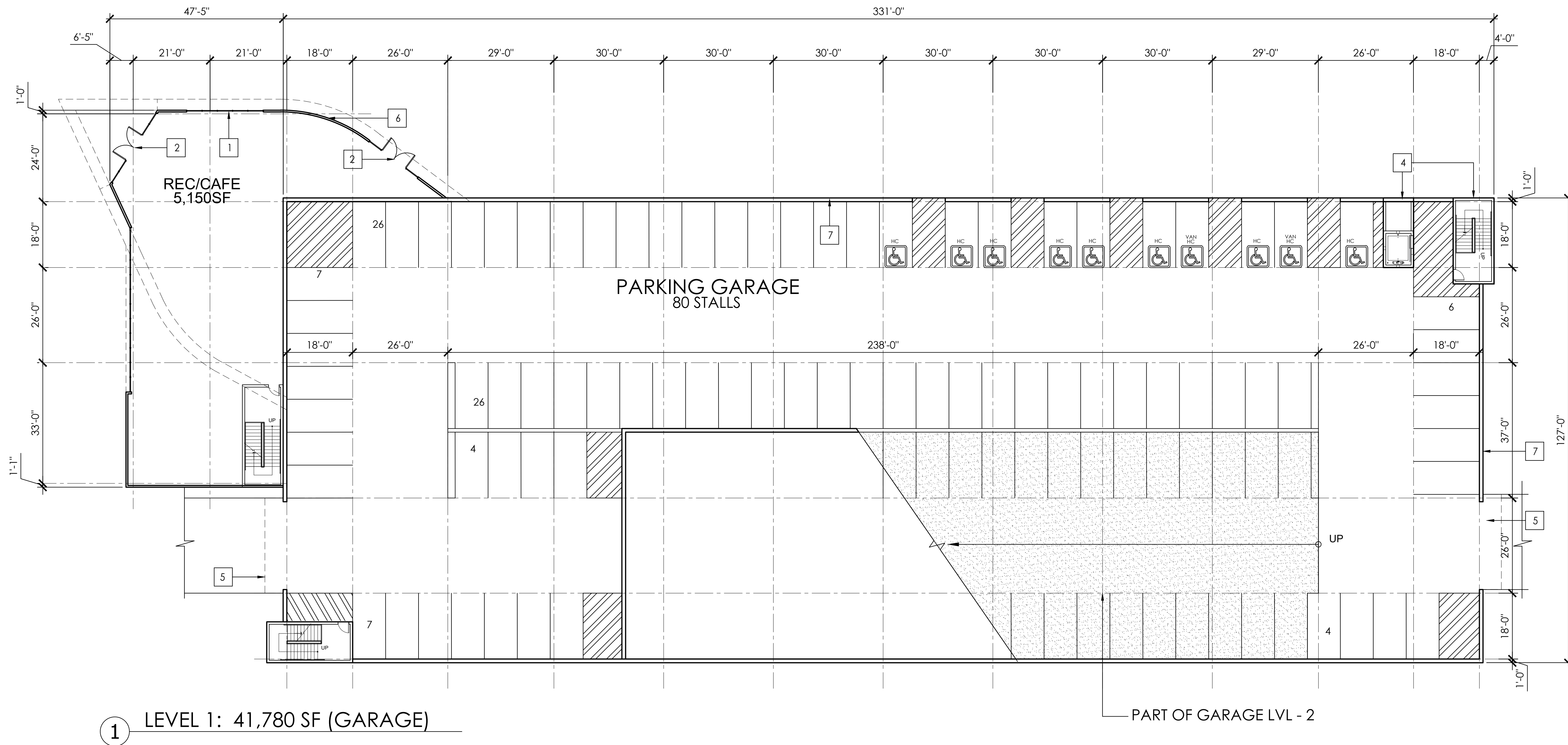
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018



FLOOR PLANS  
- BUILDING 2

A2.2



#### KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 DECK WITH CLEAR GLASS RAILING SYSTEM
- 4 STAIRCASE AND ELEVATORS
- 5 ALUMINUM CANOPY
- 6 METAL PANEL CLADDING
- 7 PATTERNED GREEN SCREEN

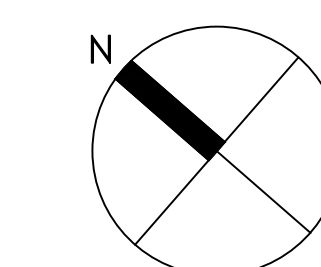
## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

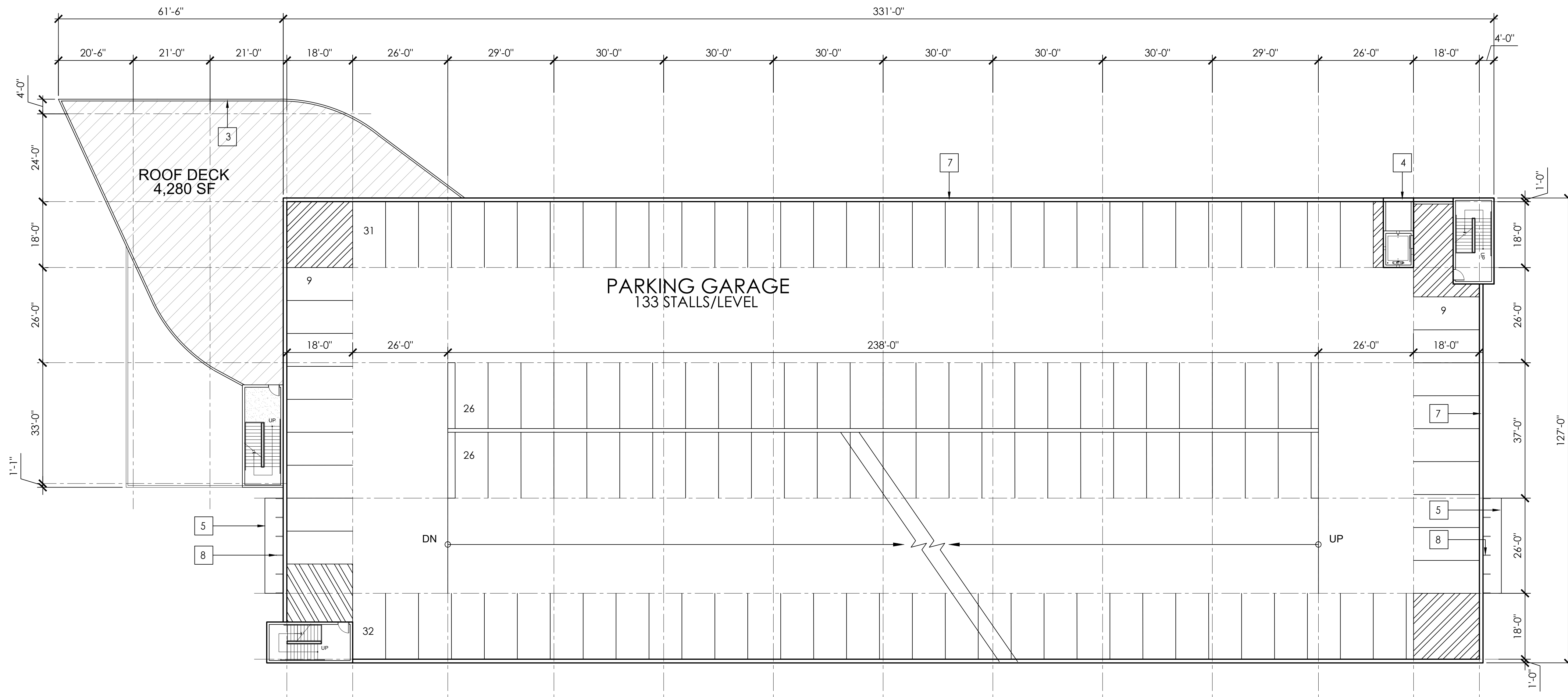
31.620 07.18.2018



0' 8' 16' 32'

GARAGE AND CAFE /  
REC PLANS  
- LEVEL 1

A2.3



KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 DECK WITH CLEAR GLASS RAILING SYSTEM
- 4 STAIRCASE AND ELEVATORS
- 5 ALUMINUM CANOPY
- 6 METAL PANEL CLADDING
- 7 PATTERNED GREEN SCREEN
- 8 PROFILED GLASS FINIS

1 LEVEL 2-4: 41,780 SF (GARAGE)

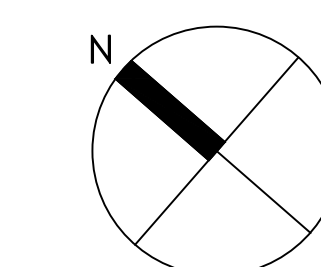
# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

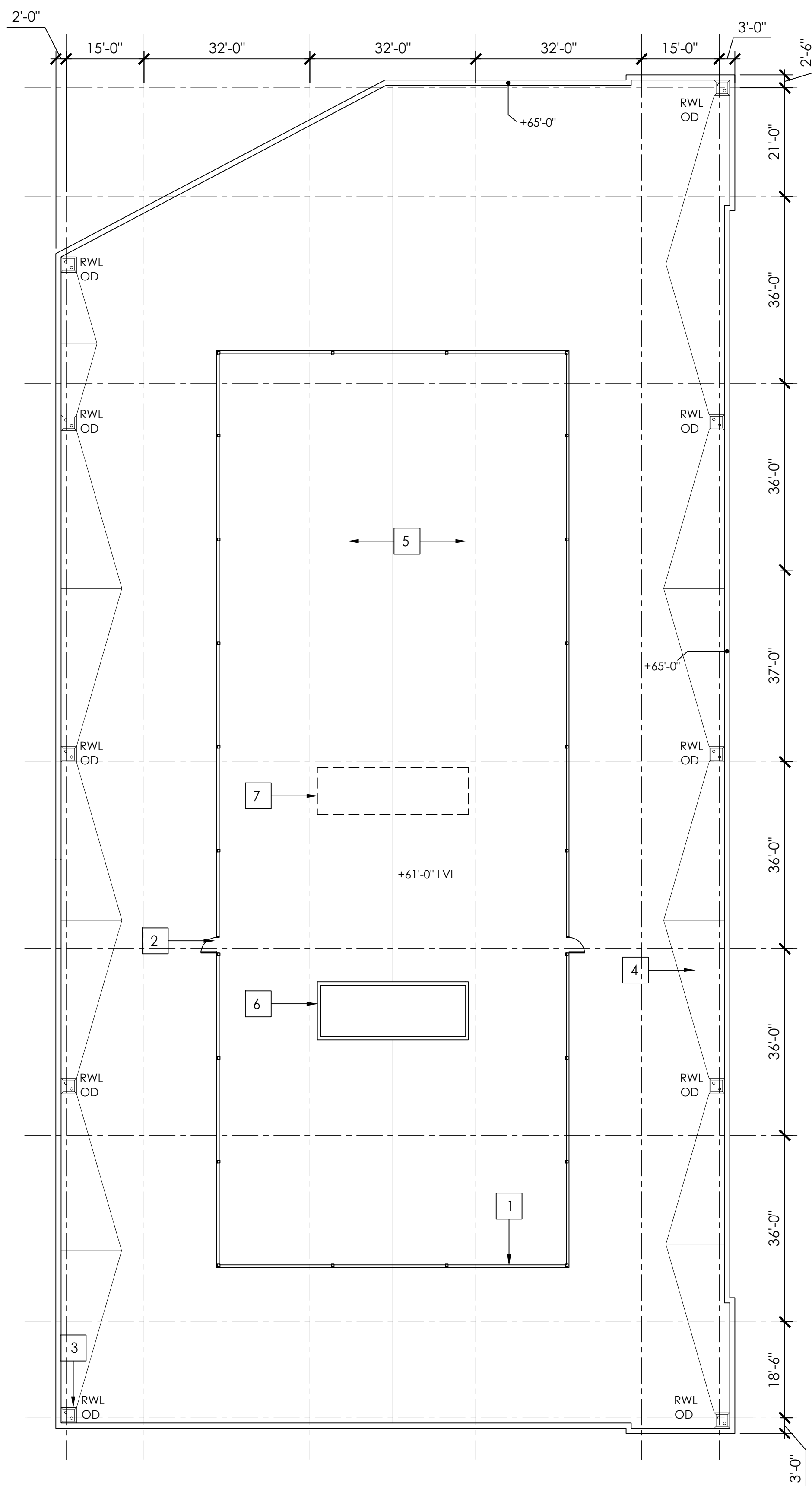
31.620 07.18.2018



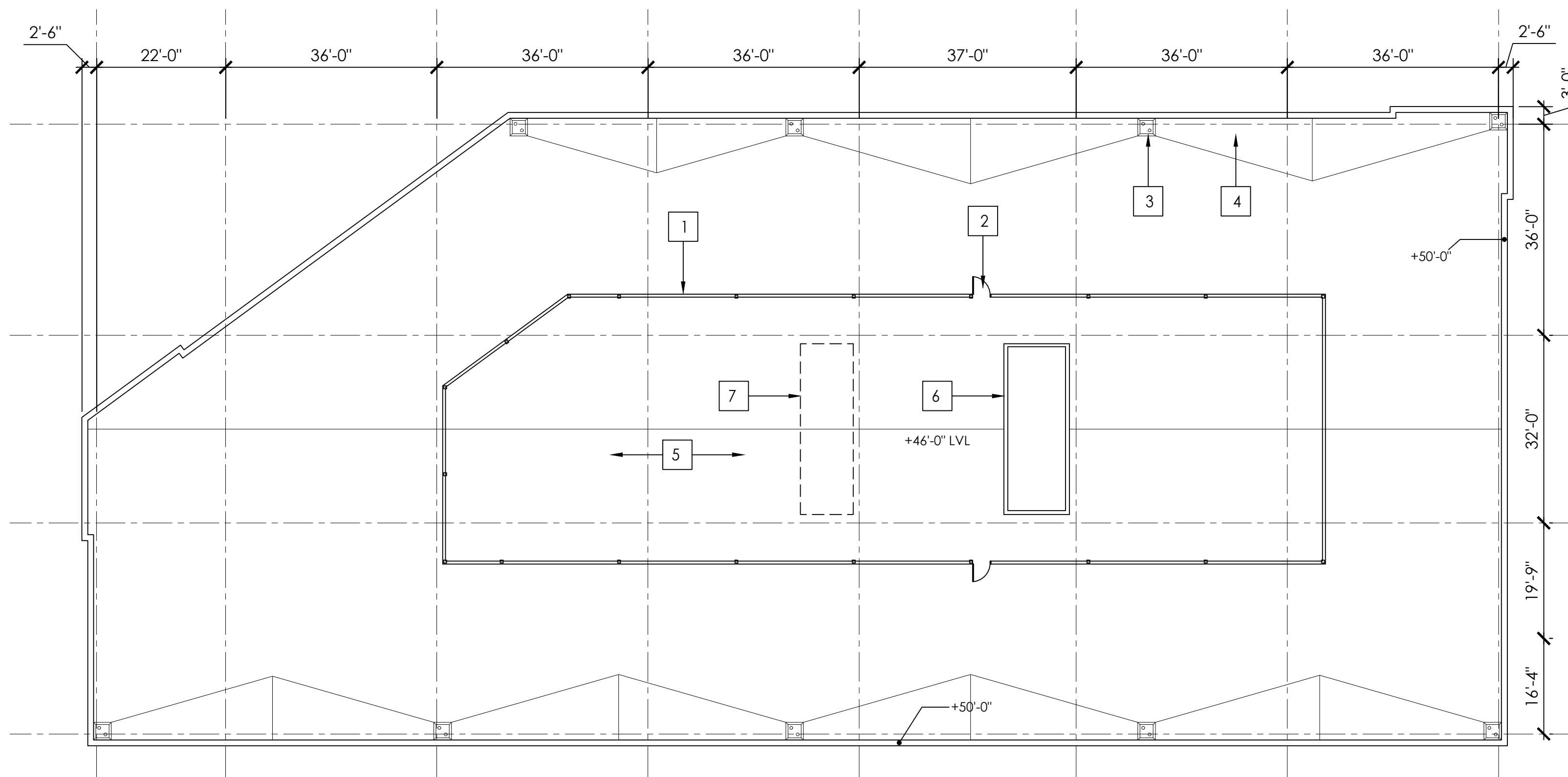
0' 8' 16' 32'

GARAGE AND CAFE /  
REC PLANS  
- LEVEL 2-4

A2.4



1 ROOF PLAN - BUILDING 1 - 32,740 SF



2 ROOF PLAN - BUILDING 2 - 24,250 SF

#### KEYNOTES:

- 1 LOUVERED METAL ROOF SCREEN
- 2 ROOF SCREEN ACCESS DOOR
- 3 ROOF DRAIN AND PIPING
- 4 BUILT-UP ROOF CRICKET - MINIMUM SLOPE 3/8" PER FOOT
- 5 MECHANICAL EQUIPMENT SPACE
- 6 STAIR TO ROOF
- 7 ELEVATOR OVERRUN

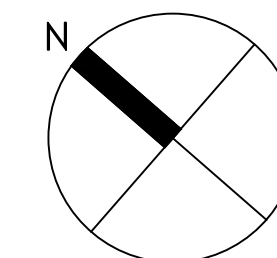
200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

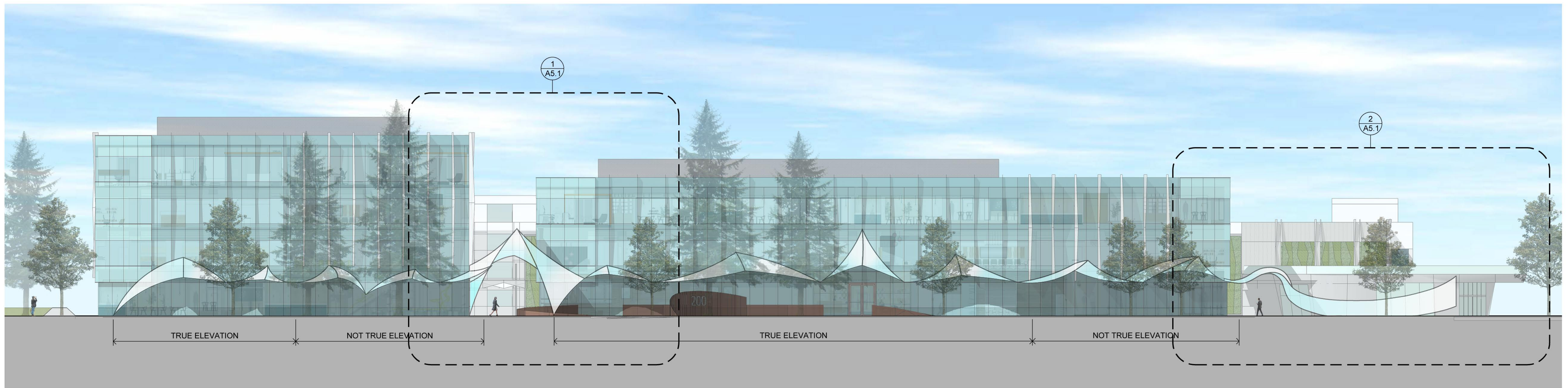
31.620 07.18.2018



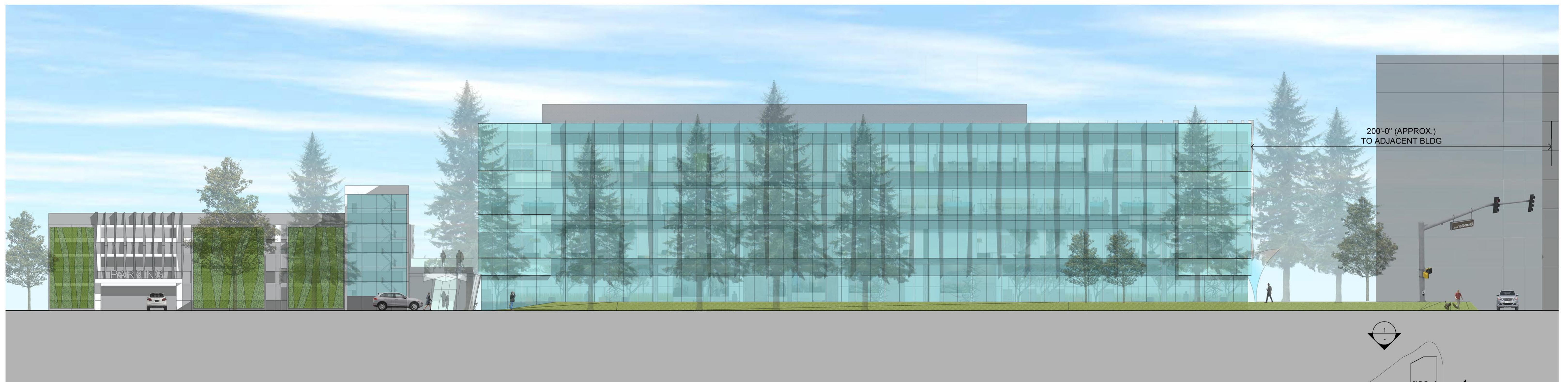
0' 8' 16' 32'

ROOF PLAN  
-BUILDING 1 AND 2

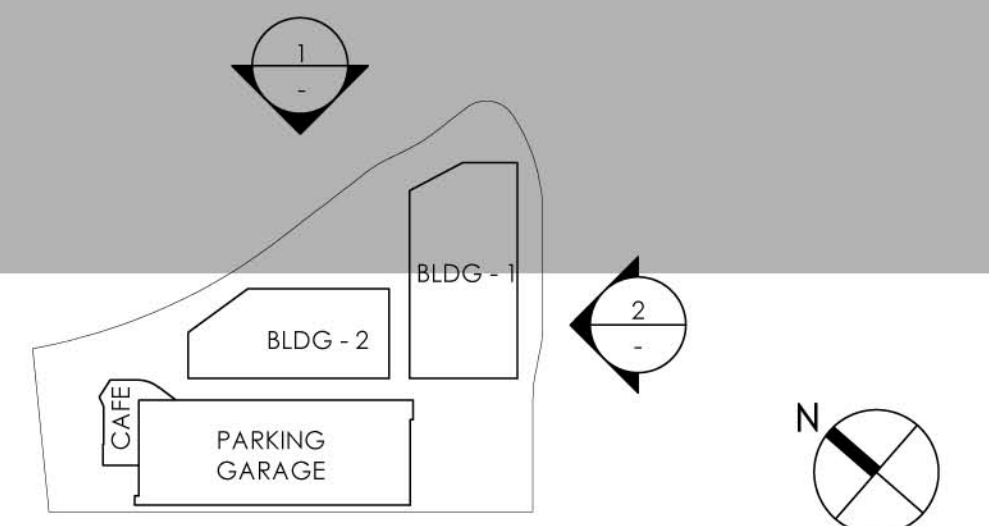
A2.5



① NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION



② EAST ELEVATION / SHORLINE DRIVE ELEVATION



# 200 TWIN DOLPHIN DRIVE

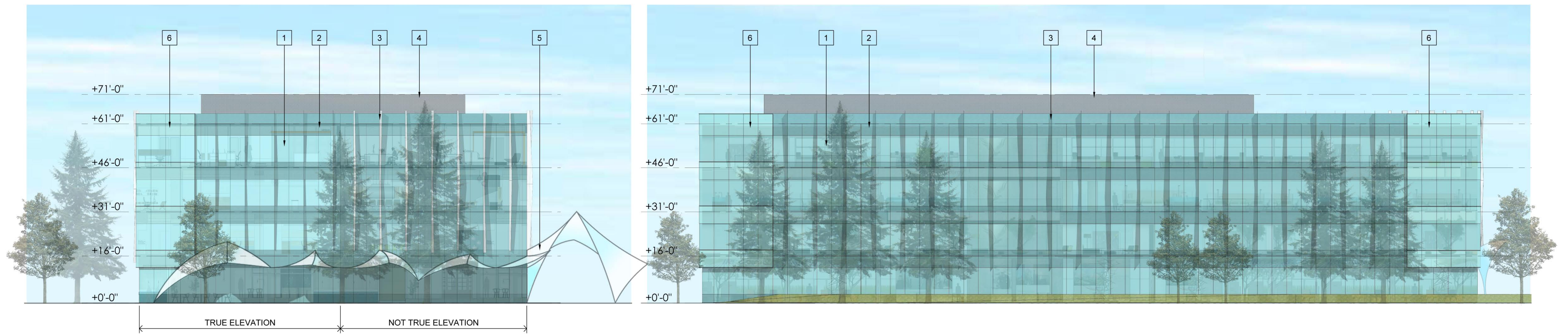
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018

SITE ELEVATIONS

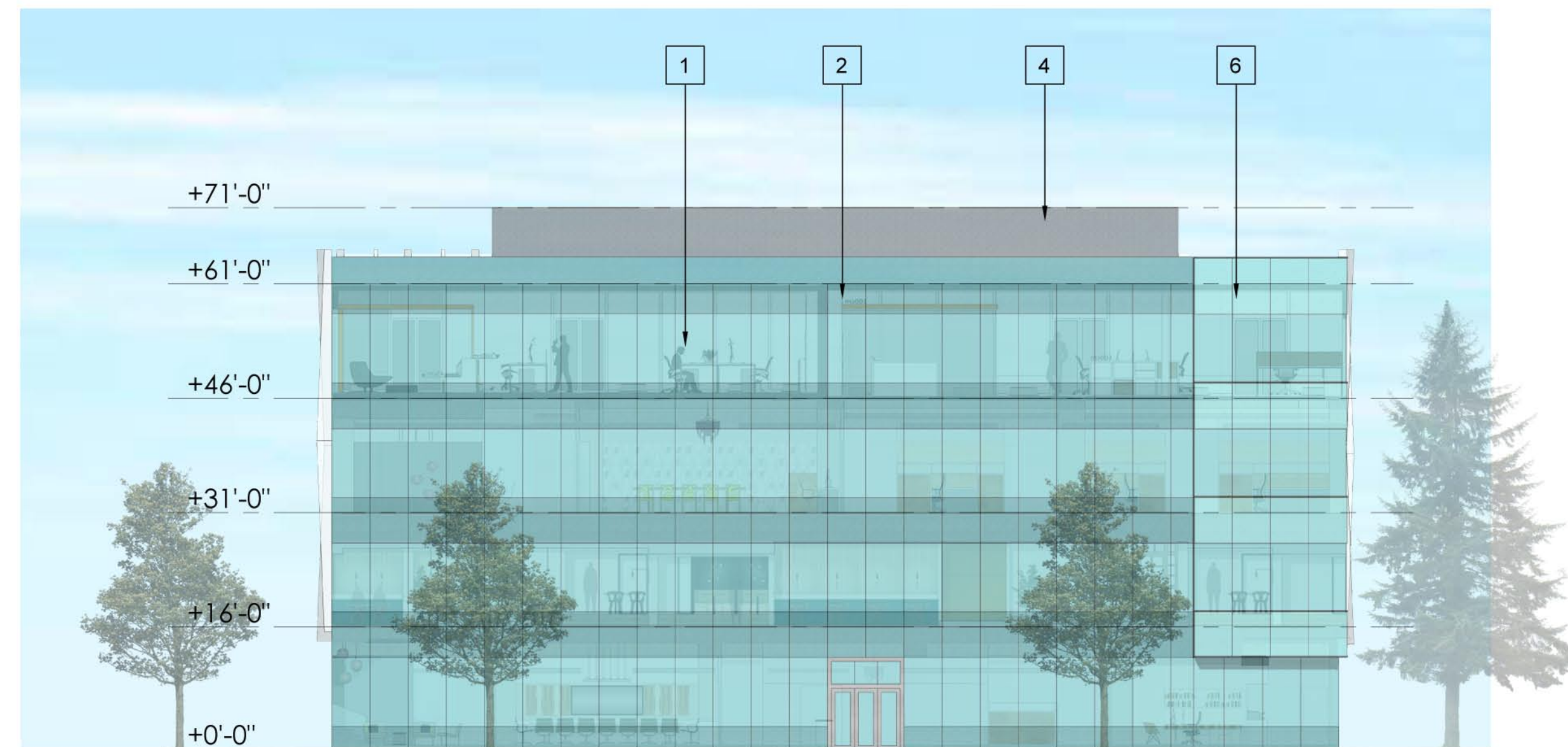
0' 8' 16' 32'

A3.0

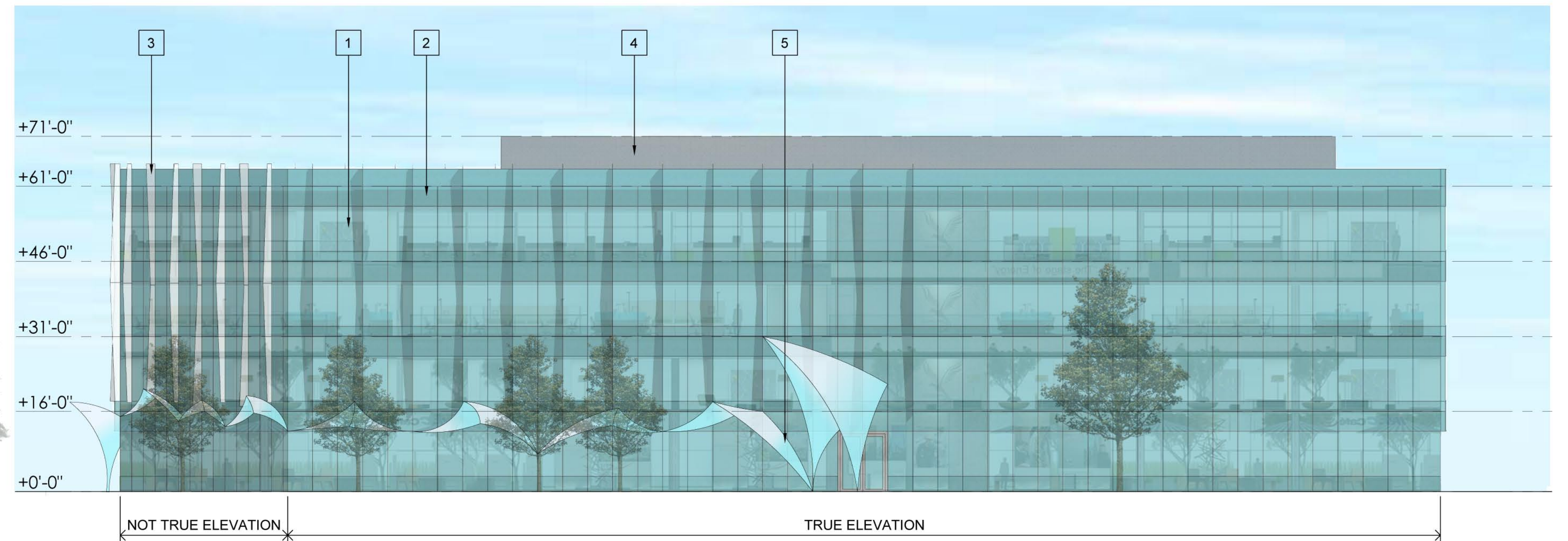


① NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION

② EAST ELEVATION / SHORLINE DRIVE ELEVATION



③ SOUTH ELEVATION

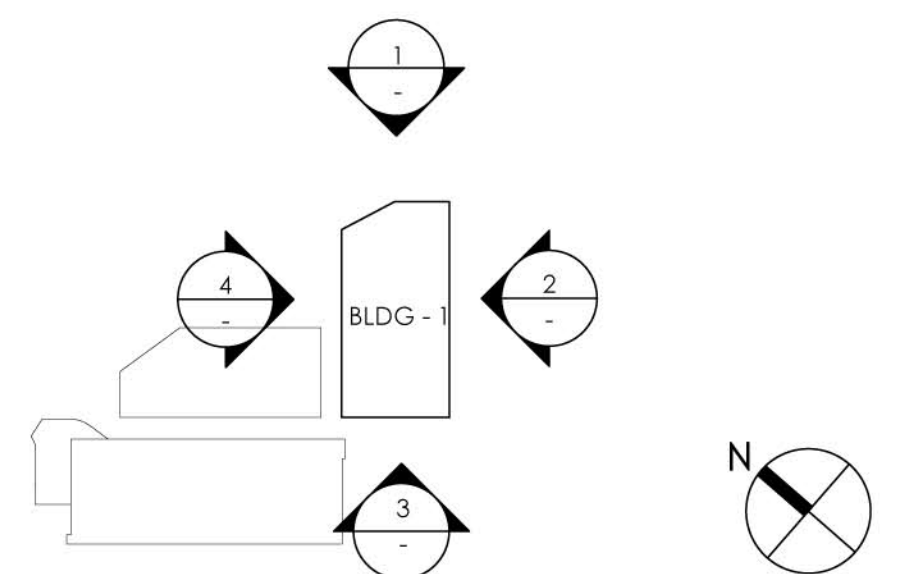


④ WEST ELEVATION

KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 FROSTED SPANDREL GLASS - TYPE 1
- 3 PROFILED GLASS FINS

- 4 LOUVERED METAL ROOF SCREEN
- 5 CANOPY - TENSILE FABRIC / ETFE PILLOWS
- 6 FROSTED SPANDREL GLASS - TYPE 2



# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

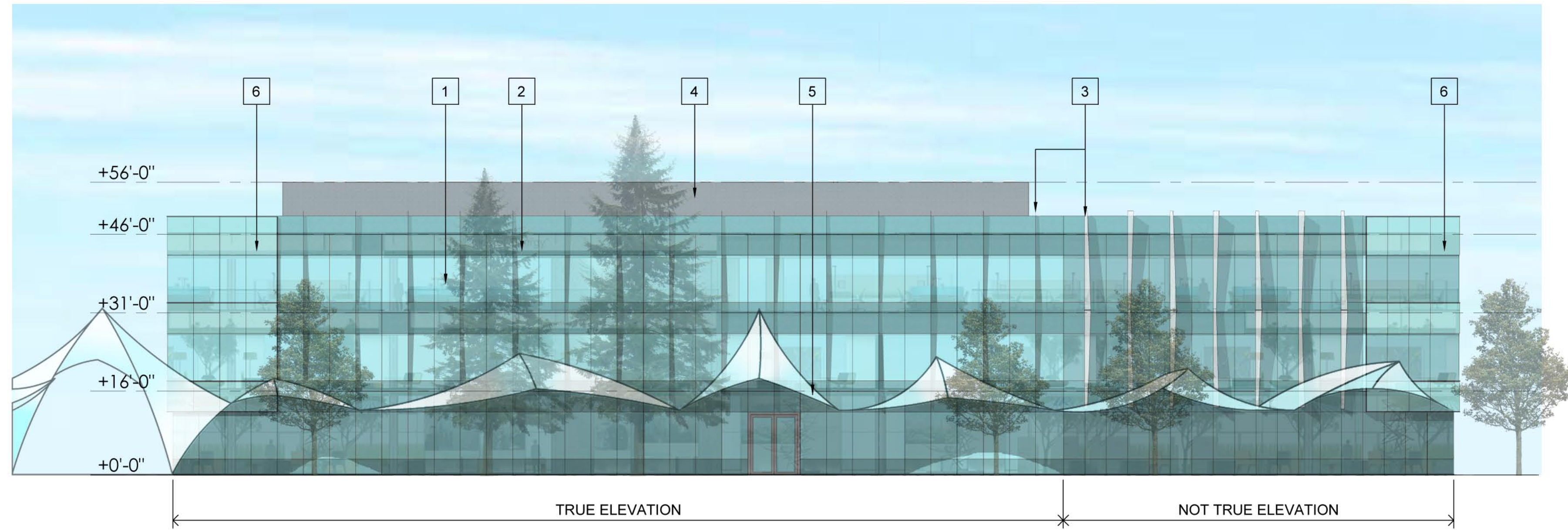
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018

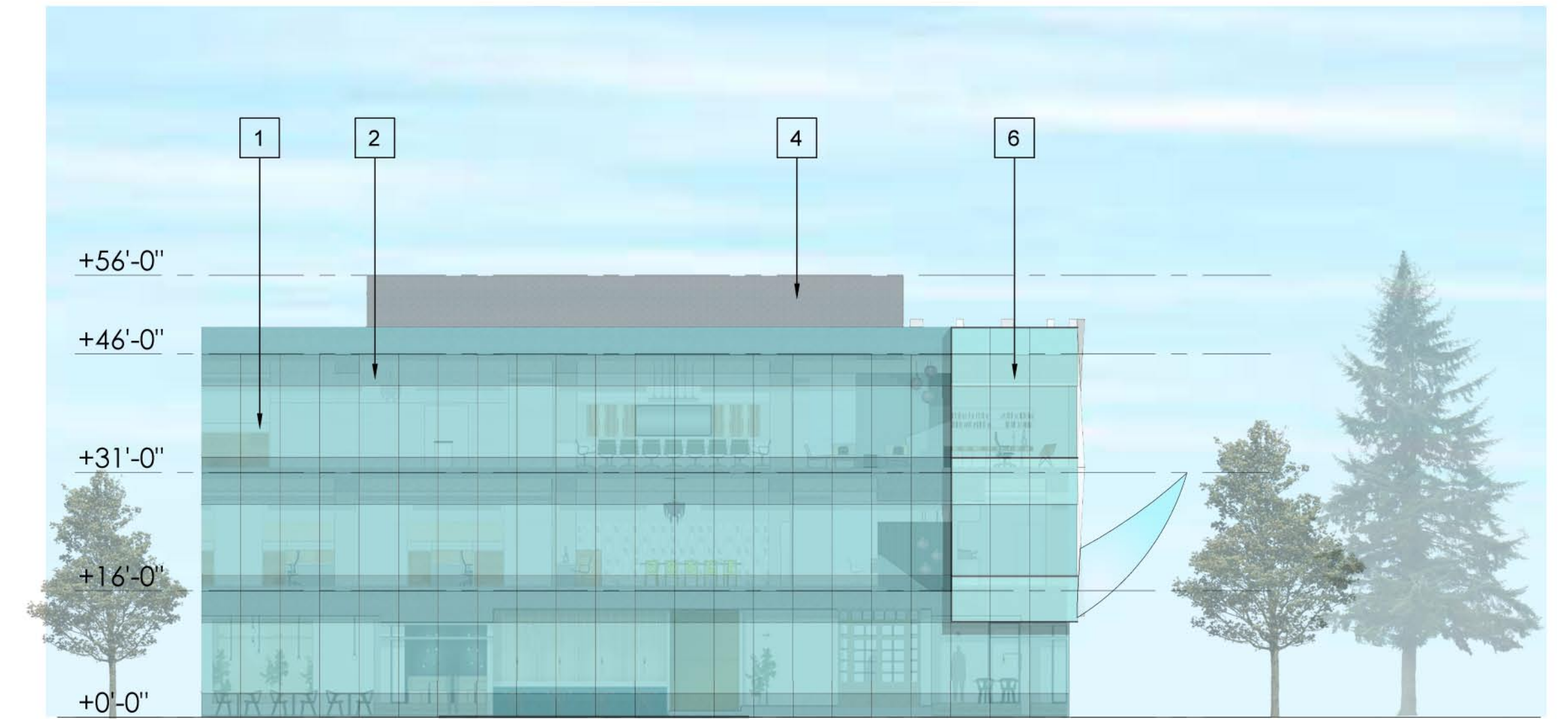
ELEVATIONS  
- BUILDING 1



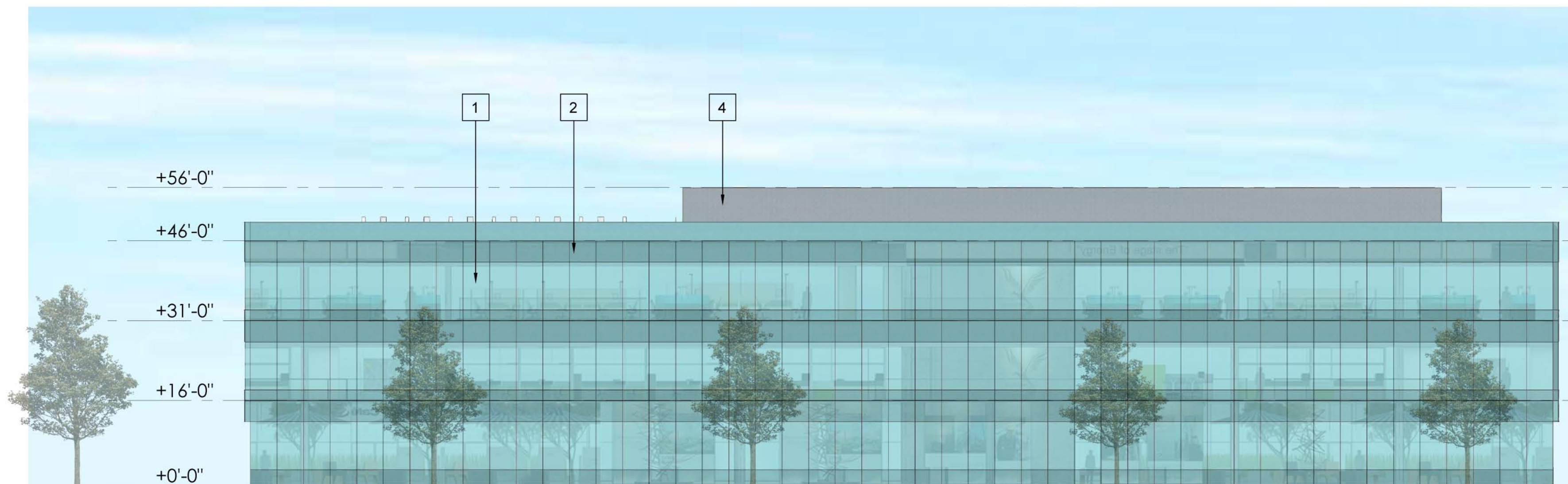
A3.1



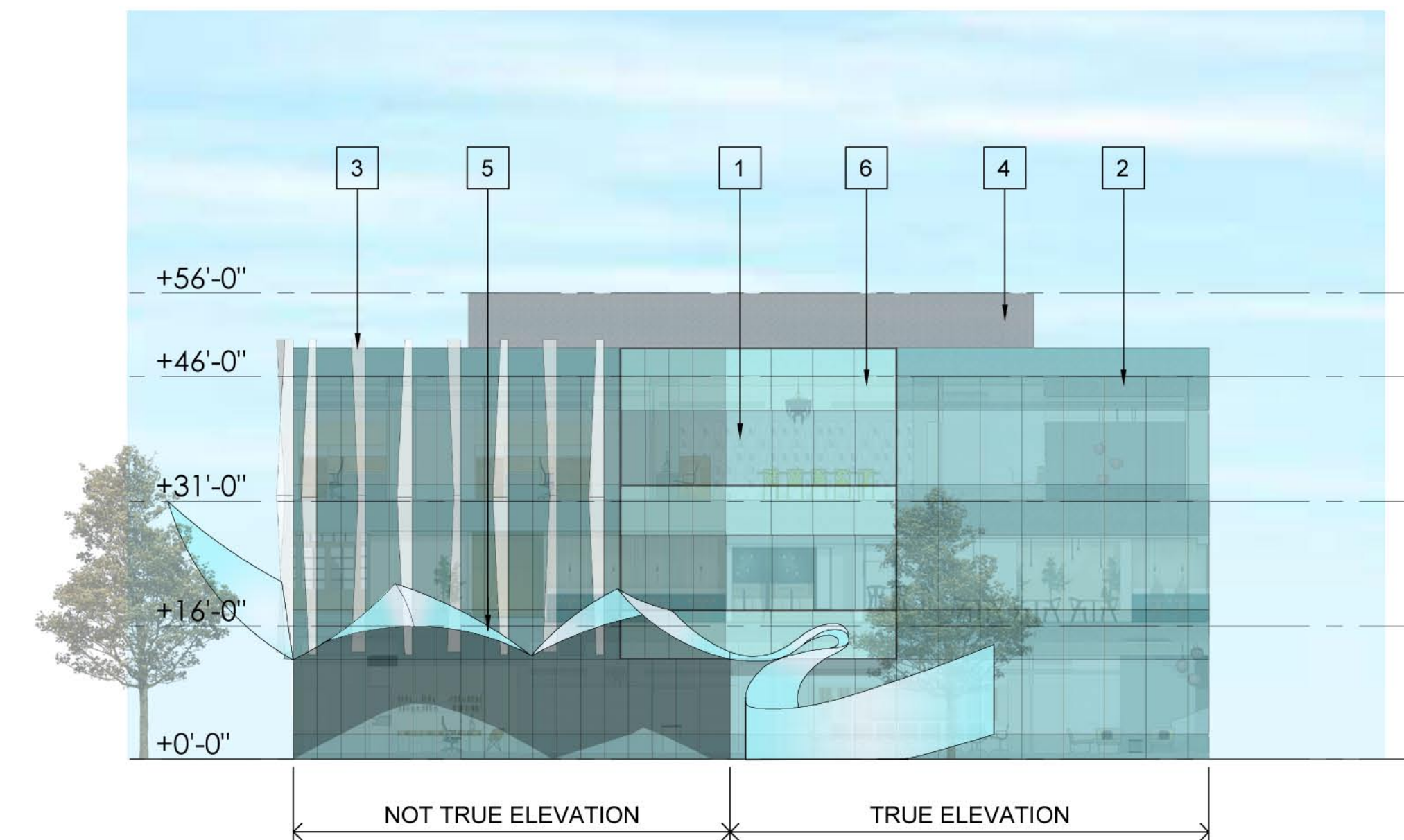
① NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION



② EAST ELEVATION FACING BUILDING 1



③ SOUTH ELEVATION FACING PARKING GARAGE

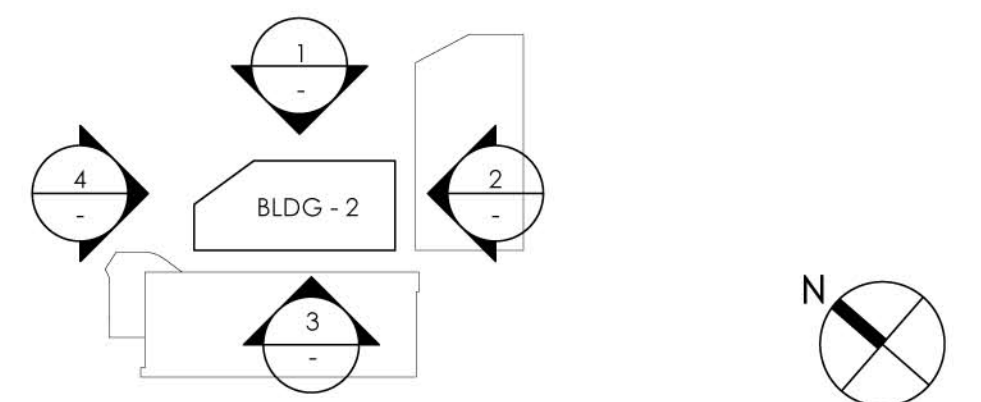


④ WEST ELEVATION

KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 FROSTED SPANDREL GLASS - TYPE 1
- 3 PROFILED GLASS FINS

- 4 LOUVERED METAL ROOF SCREEN
- 5 CANOPY - TENSILE FABRIC / ETFE PILLOWS
- 6 FROSTED SPANDREL GLASS - TYPE 2



# 200 TWIN DOLPHIN DRIVE

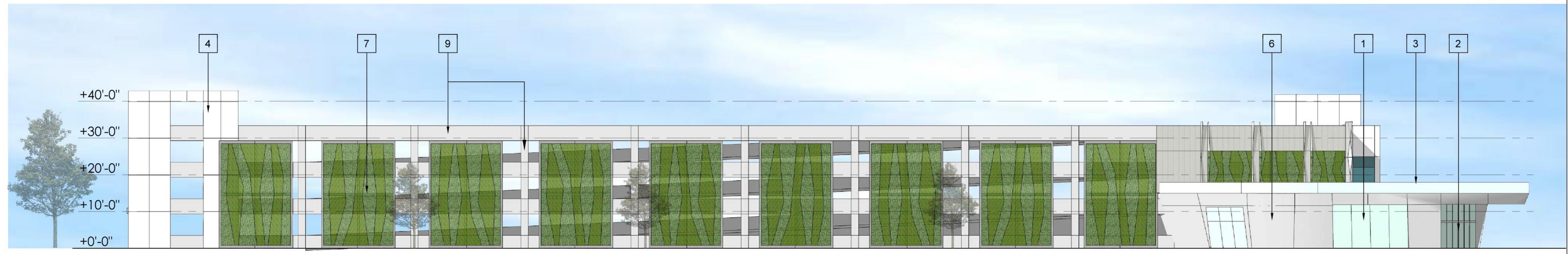
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018

ELEVATIONS  
- BUILDING 2



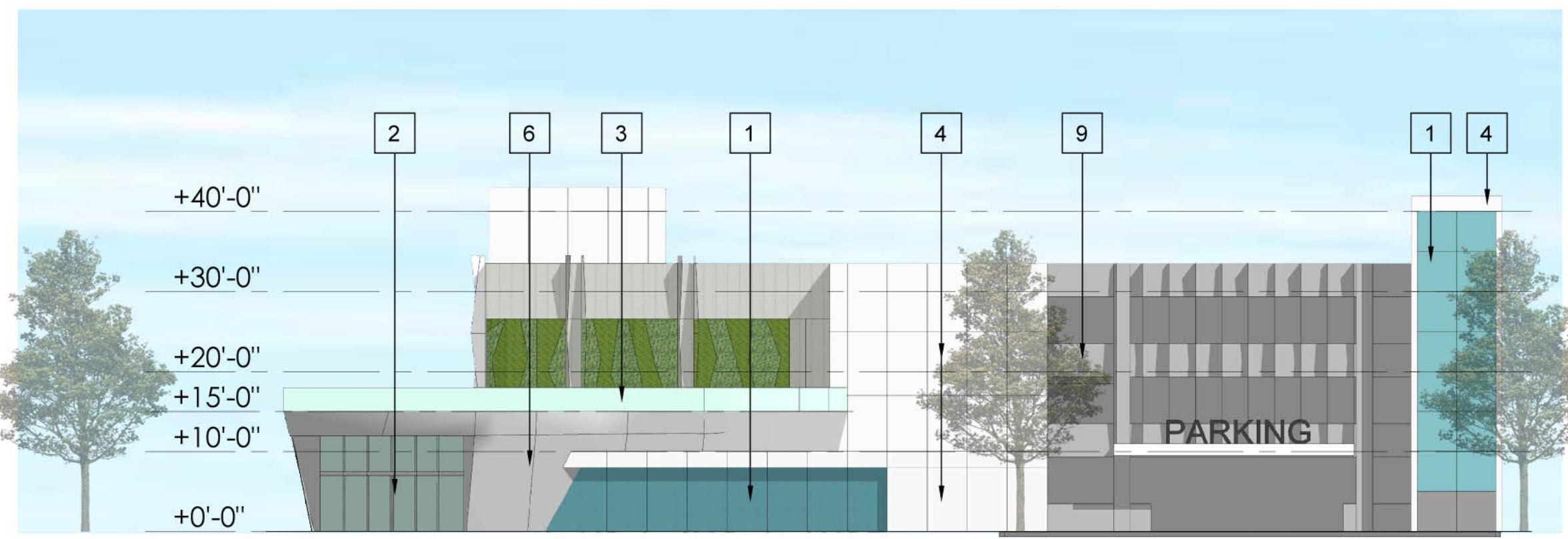
A3.2



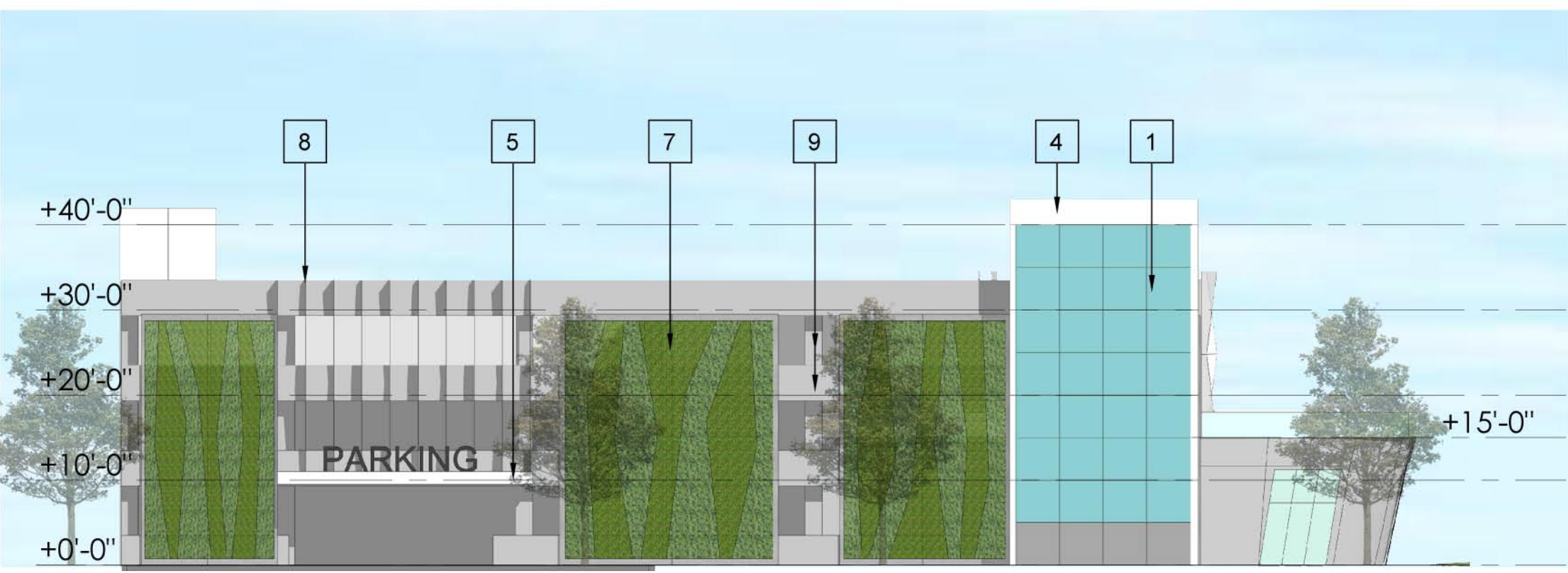
① NORTH ELEVATION FACING BUILDING 2



③ SOUTH ELEVATION



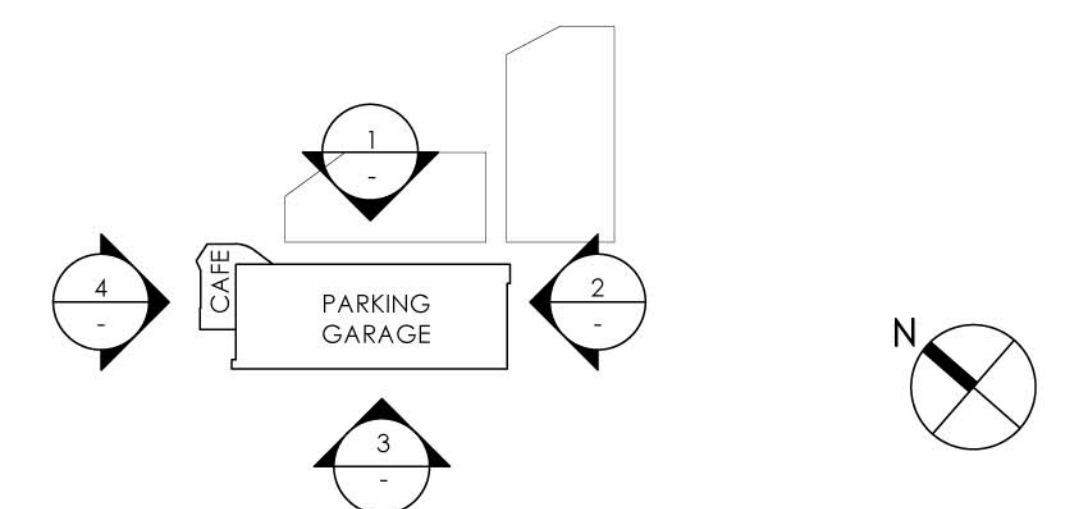
④ WEST ELEVATION

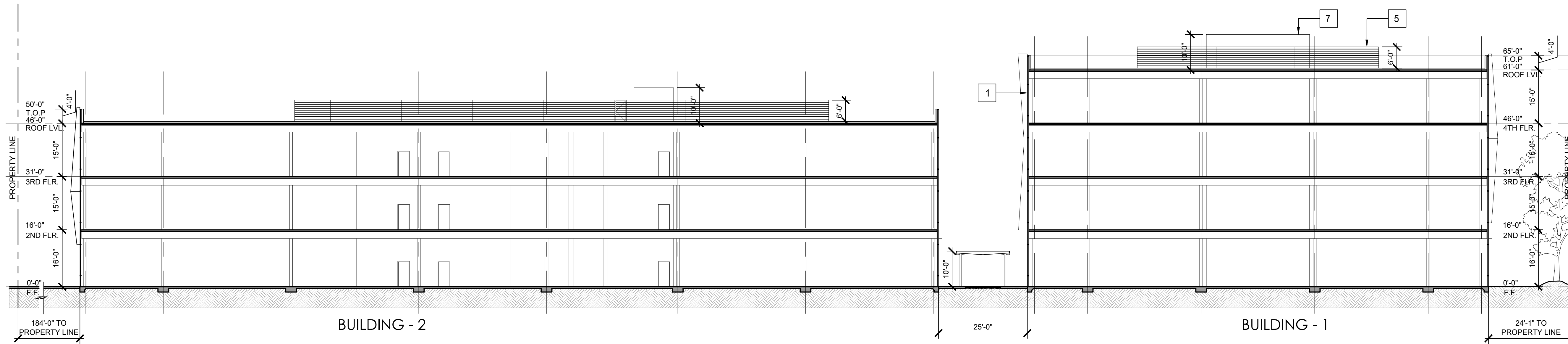


② EAST ELEVATION / SHORLINE DRIVE ELEVATION

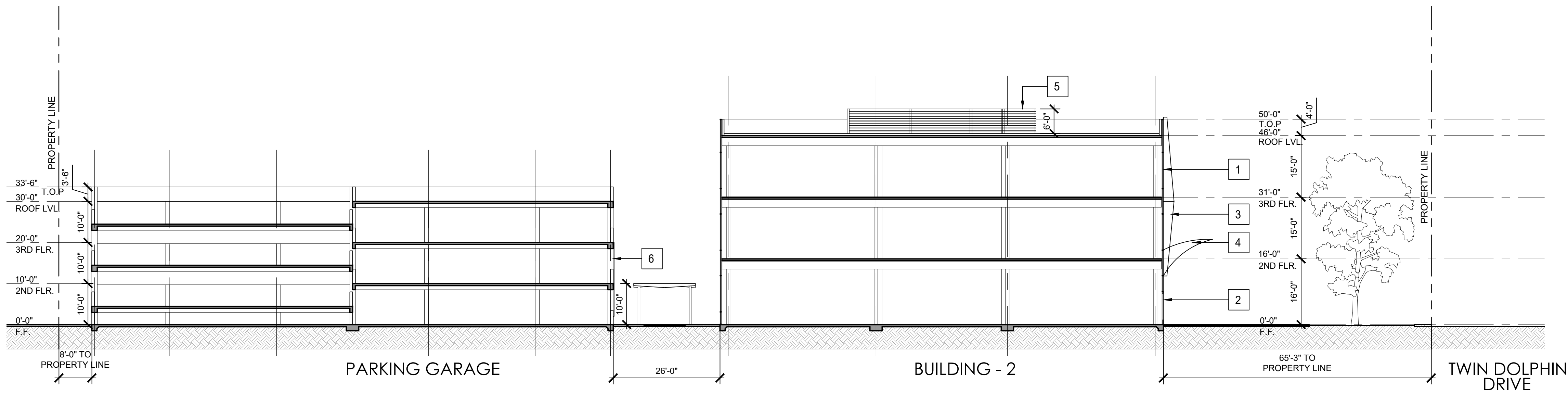
KEYNOTES:

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 DECK WITH CLEAR GLASS RAILING SYSTEM
- 4 METAL PANEL CLADDING - LIGHT GRAY COLOR
- 5 ALUMINUM CANOPY
- 6 METAL PANEL CLADDING - DARK GRAY COLOR
- 7 PATTERNED GREEN SCREEN
- 8 PROFILED GLASS FINS
- 9 CONCRETE





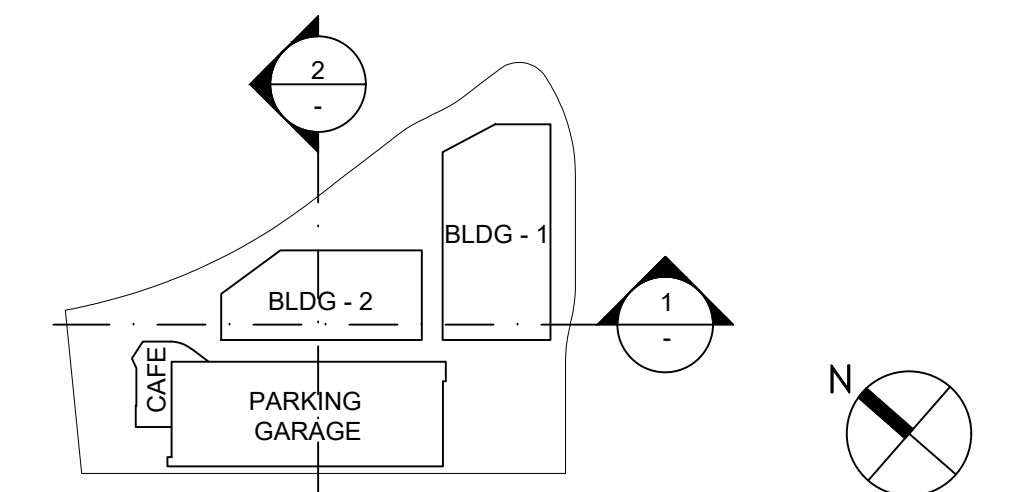
1 SECTION - 1



2 SECTION - 2

## KEYNOTES:

- 1 CLEAR GLASS
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 PROFILED GLASS FINS
- 4 CANOPY - METAL FABRIC / TENSILE FABRIC / ETFE PILLOWS
- 5 METAL ROOF SCREEN
- 6 PATTERNED GREEN SCREEN
- 7 STAIR TO ROOF



# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

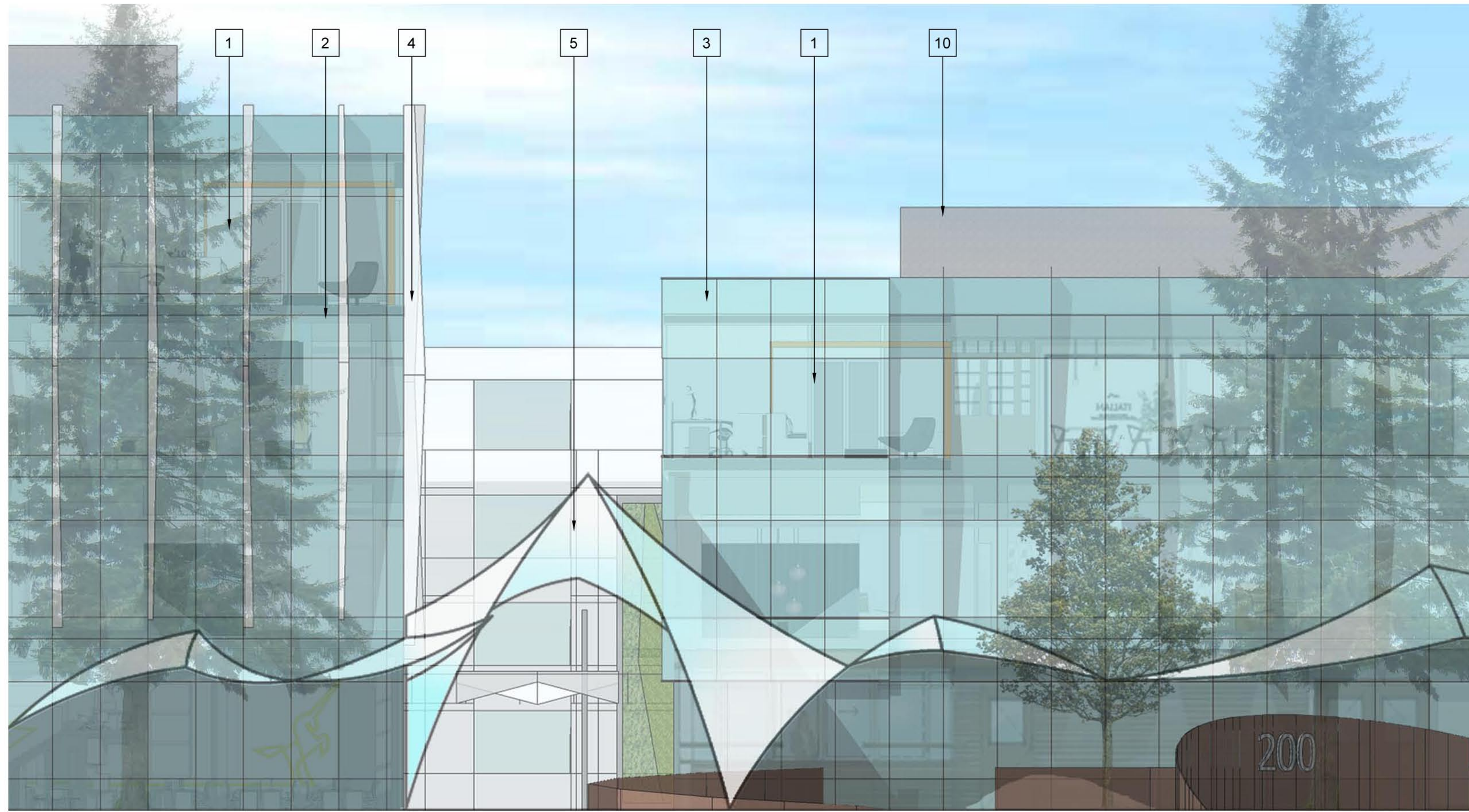
KENNETH RODRIGUES & PARTNERS, INC.

31.620 07.18.2018

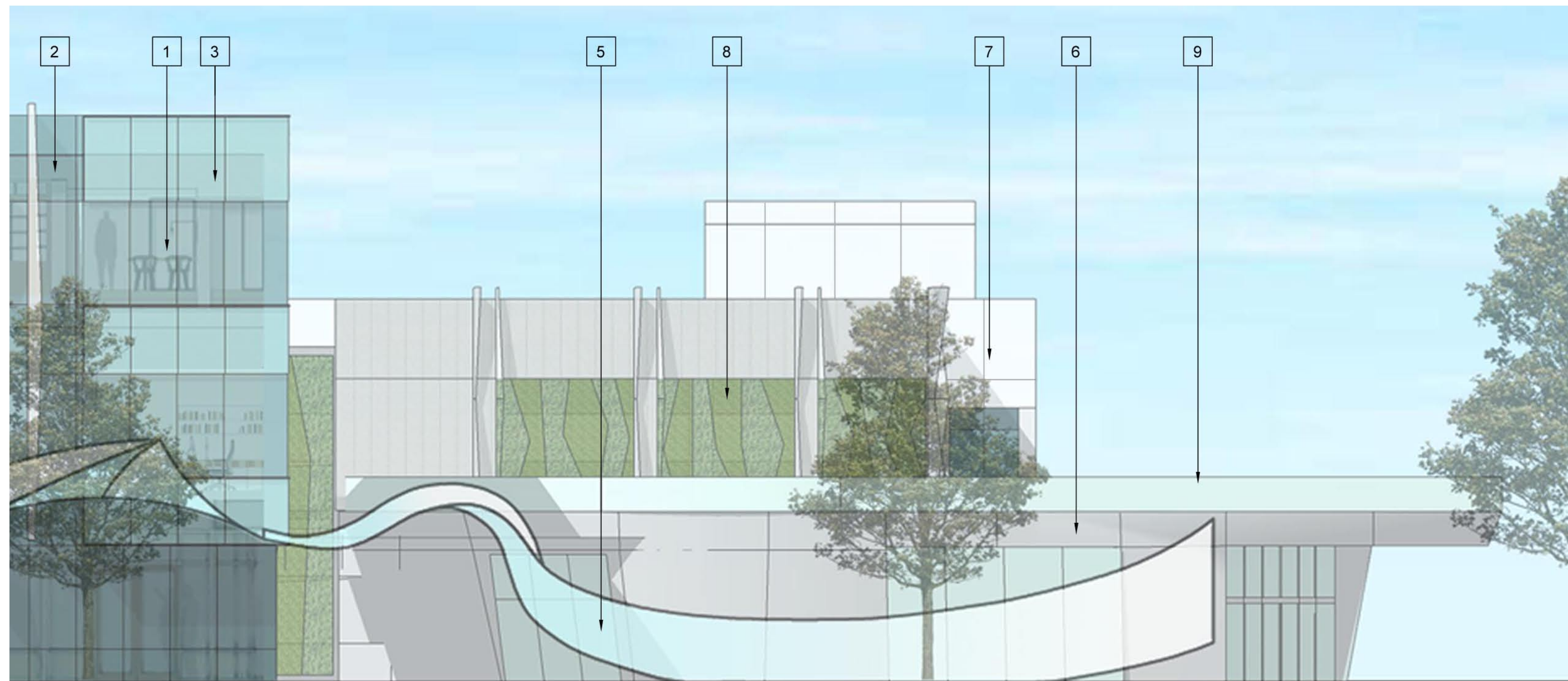
BUILDING SECTIONS

0' 8' 16' 32'

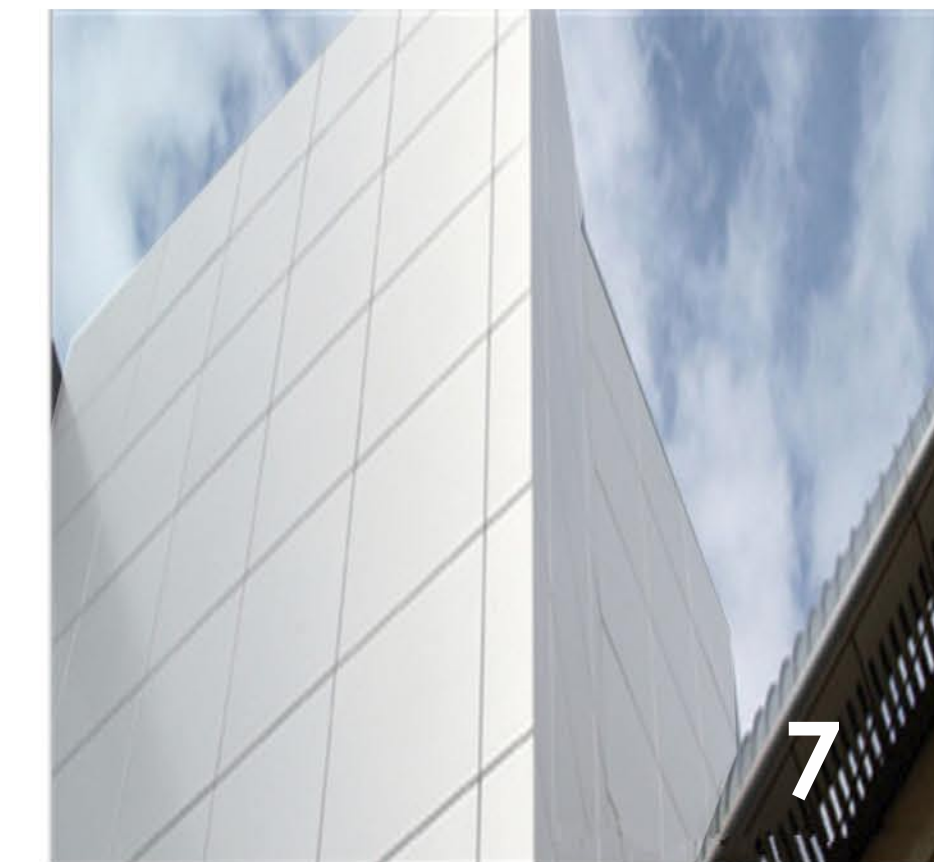
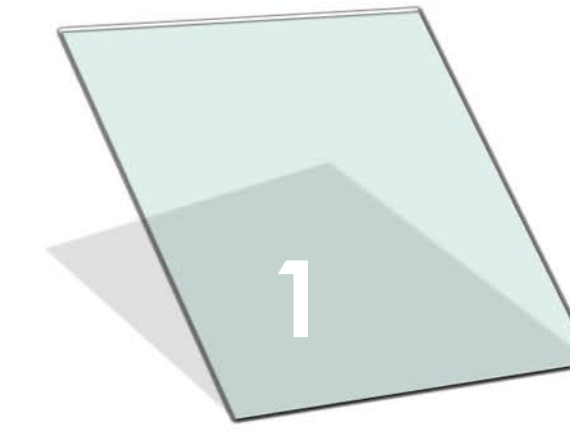
A4.1



① ENLARGED ELEVATION

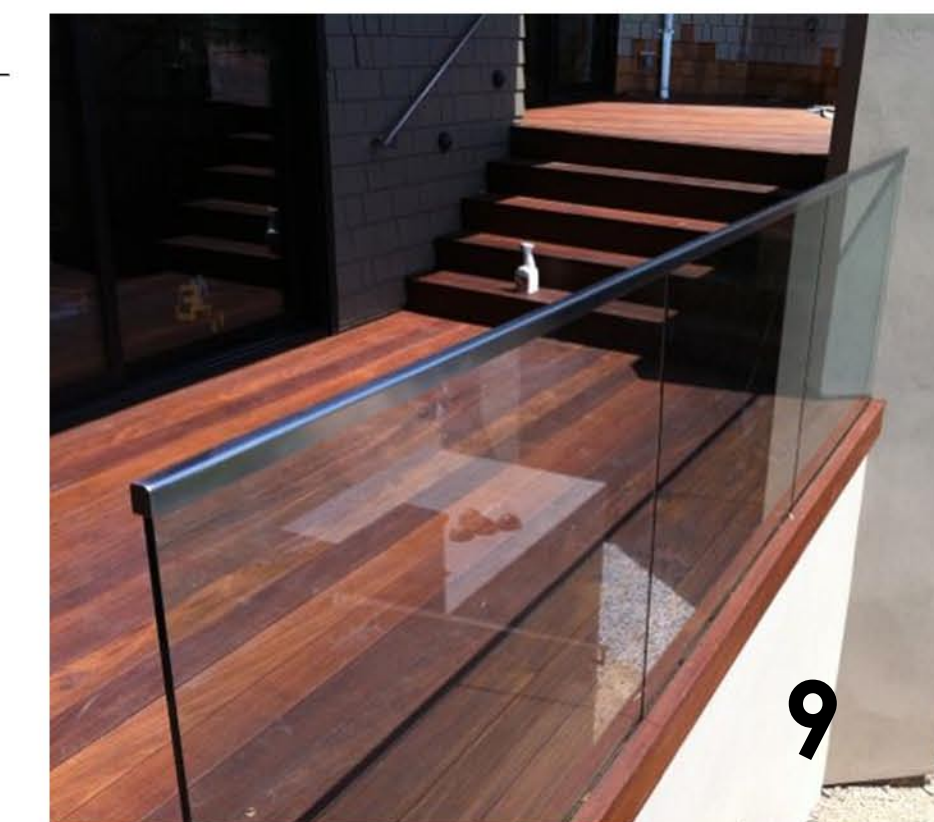


② ENLARGED ELEVATION



③ MATERIAL AND COLOR SCHEDULE

- 1 CLEAR GLASS
- 2 FROSTED SPANDREL GLASS - TYPE 1
- 3 FROSTED SPANDREL GLASS - TYPE 2
- 4 PROFILED GLASS FINS
- 5 CANOPY - TENSILE FABRIC / ETHYLENE  
TETRAFLUOROETHYLENE (ETFE) PILLOWS
- 6 METAL PANEL CLADDING - DARK GRAY COLOR
- 7 METAL PANEL CLADDING - LIGHT GRAY COLOR
- 8 PATTERNED GREEN SCREEN
- 9 DECK WITH CLEAR GLASS RAILING SYSTEM
- 10 LOUVERED METAL ROOF SCREEN

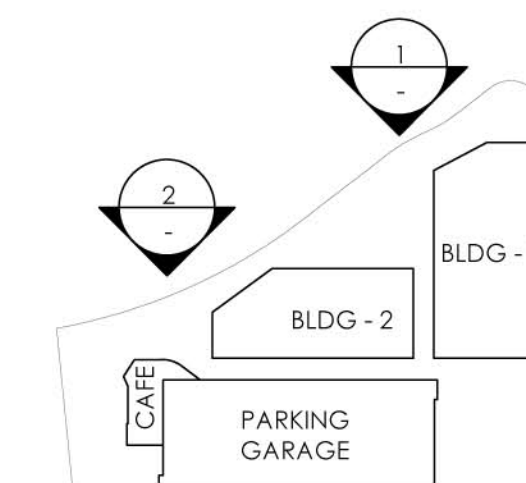


# 200 TWIN DOLPHIN DRIVE

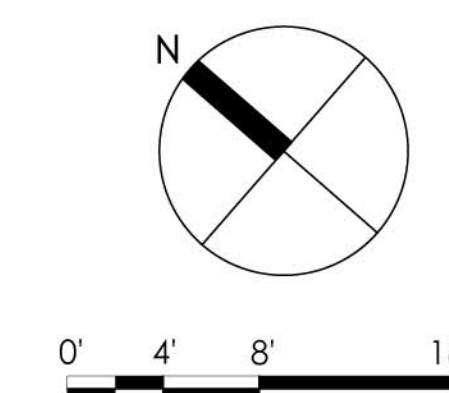
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



31.620 07.18.2018



MATERIALS AND FINISHES

A5.1

PLANT PALETTE

TREES			
KEY	SIZE*	BOTANICAL NAME	COMMON NAME
PH MGR	24" Tree	Pinus muricata	Blunttip Pine
MEL GJ	14" Tree	Melaleuca subsp. nana	Cajuput Tree
LYO ASP	24" Tree	Lyonsora f. 'Asplenifolia'	Catalina Ironwood
MEI DEC	24" Tree	Metrosideros excelsa	New Zealand Knap Tree
QUF ADR	14" Tree	Quercus agrifolia	Coast Live Oak
TRU LAU	24" Tree	Tristitia laurina	Swamp Myrtle
SHRUBS			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
AU	5 Gal	Arbutus unedo 'Composita'	Strawberry Tree
AM	5 Gal	Arctostaphylos 'Howard McMin'	Manzanita
AC	5 Gal	Artemisia c. 'Nanotina'	Mentoria Sagebrush
CO	5 Gal	Coleanthus occidentalis	Spice Bush
CO	5 Gal	Ceanothus 'Canyon'	Wig Wagon
CK	5 Gal	Ceanothus 'Savory'	Savory Ceanothus
DL	5 Gal	Dianella 'Lemon Drop'	Fortnight Lily
EN	5 Gal	Euphorbia 'Cheridonea wulfenii'	Euphorbia
LX	5 Gal	Lavandula s. 'Intermedia 'Grosso'	Levander
LA	5 Gal	Lavatera 'assurgensiflora'	Tree Mallow
LC	1 Gal	Limonium 'colliflorum'	Sea Lavender
LH	5 Gal	Lonicera 'chinesis'	Fringe Flower
PS	5 Gal	Phormium 'Tape Joke'	New Zealand Flax
PM	5 Gal	Phormium 'Monsieur Re'	New Zealand Flax
RC	5 Gal	Rhamnus c. 'Mound San Bruno'	Mound San Bruno Coffeeberry
RO	5 Gal	Rosa 'caltropia Rose'	Caltropia Rose
SL	5 Gal	Salvia 'clevelandii'	Cleveland Sage

PERENNIALS and GRASSES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
CA	1 Gal	Calamagrostis canadensis 'Stricta'	Festiver Reed Grass
DC	1 Gal	Deschampsia c. holiformis	Pacific Hair Grass
EA	5 Gal	Elymus amabilis 'Coulteri'	Blue Lyme Grass
FC	1 Gal	Festuca californica	California Fescue
HS	1 Gal	Heteropogon sempervirens	Blue Oat Grass
JE	5 Gal	Juncus pedunculatus 'Till Blau'	California Grey Rush
MU	1 Gal	Muhlenbergia 'Regal Mist'	Purple Deer Grass
NP	5 Gal	Nassella pulchra	Purple Needlegrass
PO	5 Gal	Panicum spodiopodium	Slender Yucca Grass
PM	5 Gal	Polygala maritima	Sword Fern
SB	1 Gal	Saxifraga ciliolata	Blue-eyed Grass
SC	1 Gal	Saxifraga ciliolata	Yellow-eyed Grass
GROUNDCOVERS			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
ARC	1 Gal	Arctostaphylos 'Pacific Mist'	Bearberry
BP	1 Gal	Baccharis pilularis	Coyote Brush
CSA	1 Gal	Ceanothus 'santander'	Ceanothus
ESC	1 Gal	Eschscholzia californica	California Poppy
IR	1 Gal	Irish Douglasias 'P. Coast Hybrid'	Pacific Coast Hybrid Iris
SEED	SEED	Pacific Coast Seed 'Lundmark, M'	Native Grass Hybridized Mix
VINES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
CL	5 Gal	Clematis 'Jackmanii'	Chaperon Clematis
GM	5 Gal	Glycyrrhiza macrostachya	California Morning Glory

**Planting Design Notes:**

The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. The landscape shall incorporate plants that will be into the native character of the region. These plants are listed along the streets, and roof deck open space areas. New, native, and non-native plants shall be selected as to complement the character of the project.

All trees shall be a minimum of 24" tree size. All shrubs and vines shall be a minimum of 5 gallon size. All groundcover shall be a minimum of 1 gallon size. Shrub and groundcover quantities listed are approximate.

The minimum slope in all planting areas shall be 2%. The minimum slope on paving shall be 3/4% typically.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the Water District rules and regulations for water service and water use. 80% of the irrigation system shall be drip irrigation.

**Existing Tree Disposition:**

See Arborist report prepared by Walter Lovison on June 15th, 2018. All existing interior trees on site are proposed for removal due to conflicts with the proposed city development and the health and condition of the trees. Trees shall be replaced on site as part of the planting design.

**Integrated Pest Management:**

Integrated pest management (IPM) shall be utilized as an ecosystem based maintenance strategy that focuses on long term prevention of pests or their damage through a combination of techniques such as biological control, habitat manipulation, modification of cultural practices, and use of resistant varieties. Pesticides are used only after monitoring indicates they are needed according to established guidelines, and treatments are made with the goal of removing only the target organism. Pest control materials are selected and applied in a manner that minimizes risks to human health, beneficial and nontarget organisms, and the environment.

IRRIGATION RECYCLED WATER NOTES

1. THIS IRRIGATION SYSTEM SHALL BE CONNECTED TO A POSSIBLE FUTURE NON-POTABLE RECYCLED WATER SOURCE. REGULATIONS PERTAINING TO RECYCLED WATER USE IN THE LANDSCAPE IRRIGATION PORTION OF THIS PROJECT SITE SHALL BE STRICTLY FOLLOWED BY THE INSTALLING CONTRACTOR. REGULATING AGENCIES INCLUDE BUT ARE NOT LIMITED TO THE CITY OF REDWOOD CITY, SAN MATEO COUNTY, TITLE 17 & 22, AND THE STATE OF CALIFORNIA.
2. IRRIGATION CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH ALL STATE AND LOCAL LAWS, CODES, ORDINANCES AND RESTRICTIONS TO THE USE OF RECYCLED WATER AND IMPLEMENT AS APPLICABLE TO THE INSTALLATION OF THIS PROJECT.
3. ALL IRRIGATION PIPING SHALL BE PURPLE PVC MANUFACTURED AND PERMANENTLY LABELED FOR RECYCLED WATER USE.
4. ALL QUICK COUPLING VALVES SHALL BE SIGNATURE CONTROL SYSTEMS 7645 SERIES WITH ACME THREADS.
5. CONTRACTOR SHALL CONTACT RECYCLED WATER PROVIDER A MINIMUM OF FORTH-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK TO FACILITATE INSPECTIONS.
6. CONTRACTOR TO TAG ALL REMOTE CONTROL VALVES, GATE VALVES, QUICK COUPLING VALVES, CONTROLLERS, ETC. WITH 'RECYCLED WATER' WARNING TAG BY T. CHRISTY ENT., MODEL NO. ID-MAX-P2-RC006
7. RECYCLED WATER WARNING SIGNAGE SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH REGULATION REQUIREMENTS.
8. ANY AND ALL DIRECT PIPE CONNECTIONS BETWEEN POTABLE AND RECYCLED WATER SOURCES OR SYSTEMS ARE PROHIBITED.
9. PRIOR TO ALLOWING RECYCLED WATER TO ENTER THE IRRIGATION SYSTEM A CROSS-CONNECTION TEST SHALL BE PERFORMED BY A CERTIFIED TESTING SPECIALIST. UPON ACHIEVING PROOF THAT RECYCLED WATER SYSTEMS AND POTABLE WATER SYSTEMS ARE PROPERLY ISOLATED FROM ONE ANOTHER AND RECEIVING CONFORMATION FROM THE WATER PROVIDERS, RECYCLED WATER MAY ENTER THE PROJECT.

- Pedestrian Paving Connection to Public Park Space
- Pedestrian Accent Unit Paving, Typ.
- Bench
- Bike Racks
- Waypoint Signage with Trail Map & Historical Facts
- Wood Seat Bench with Backrest & Mounded Planting Behind.
- Existing Trail Path with New Connection to Accent Paving
- Tables & Chairs, Typ.
- Pole Lights, Typ.
- Lawn Play Space
- Permeable Vehicular Paving, Typ. See Civil Drawings

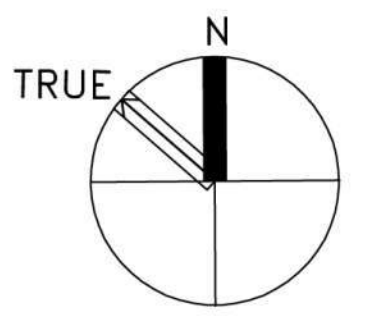
200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**TGP** The Guzzardo Partnership, Inc.  
Landscape Architects | Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
415.433.4672 | www.tgp-inc.com



31.620 07.18.2018



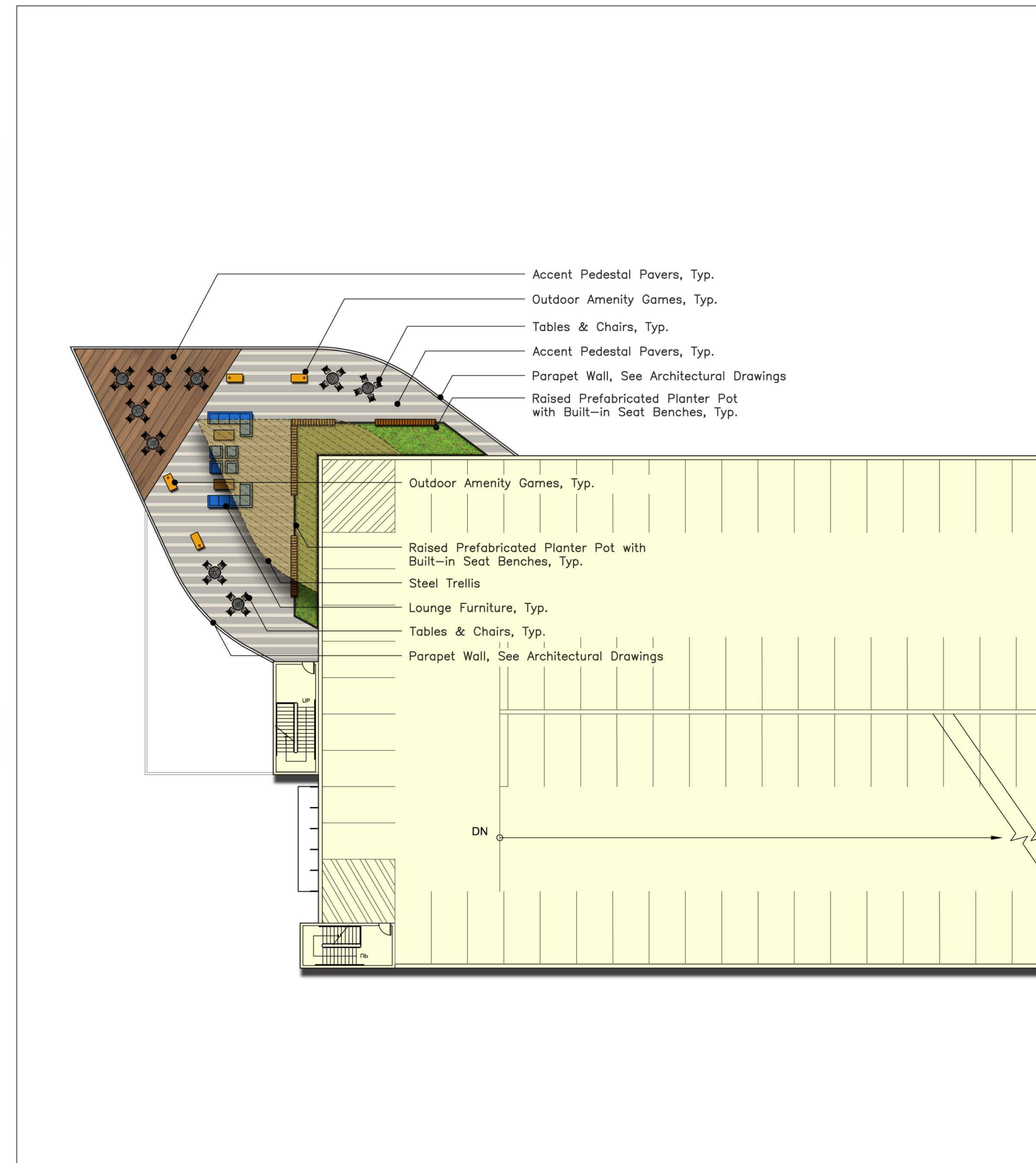
16 30 60

ILLUSTRATIVE LANDSCAPE PLAN

L1



ILLUSTRATIVE PATIO PLAN



ILLUSTRATIVE ROOF TERRACE PLAN

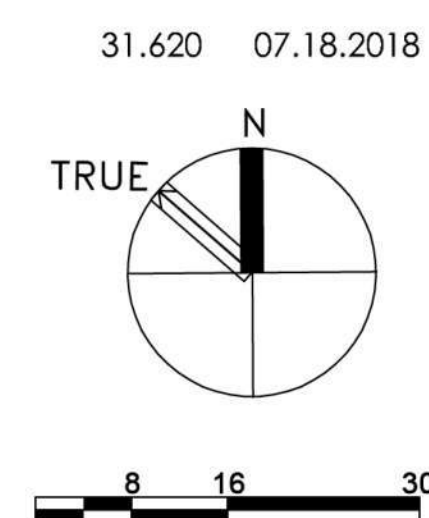
## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

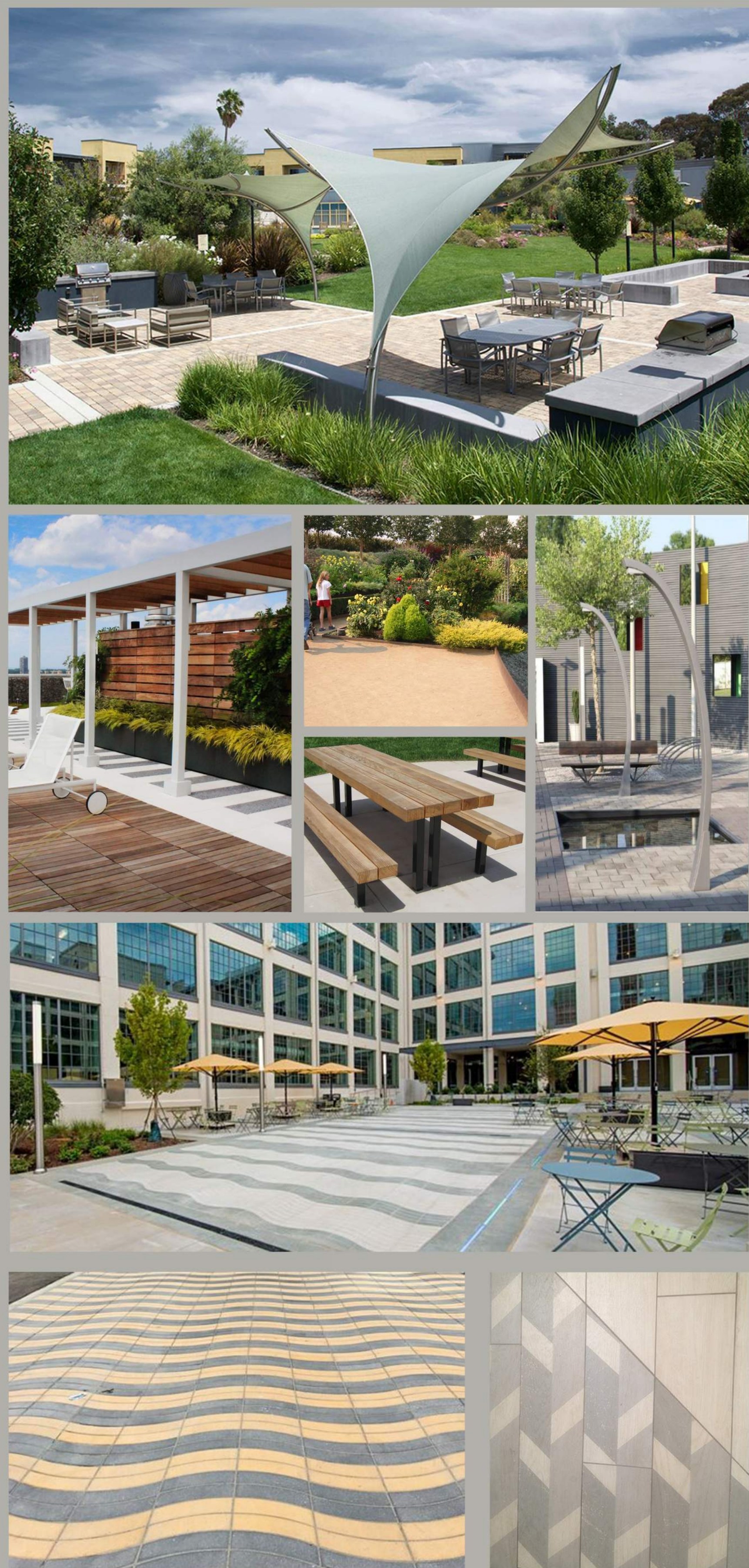
**TGP** The  
Guzzardo  
Partnership, Inc.  
Landscape Architects | Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
415.433.4672 | www.tgp-inc.com



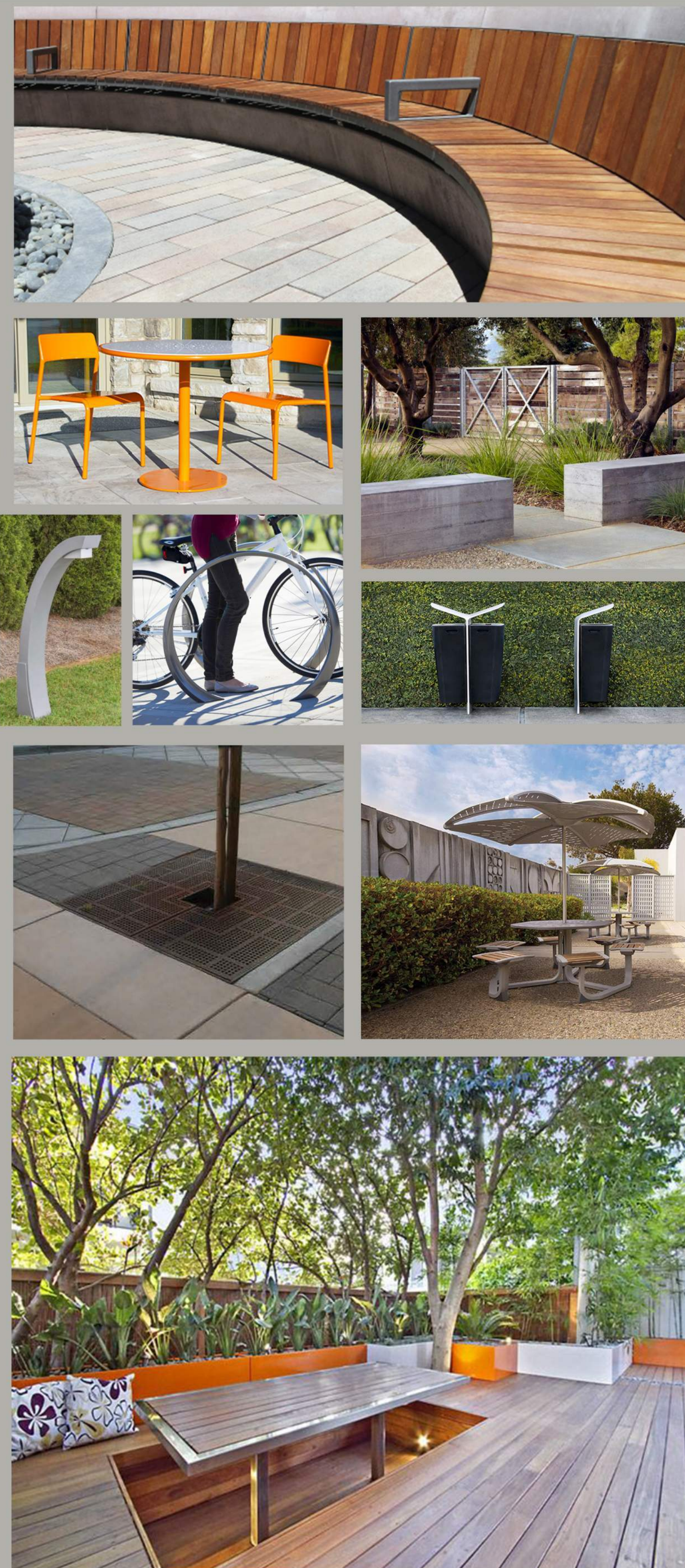
ILLUSTRATIVE PATIO & ROOF  
TERRACE LANDSCAPE PLAN



PLANTING



HARDSCAPE



200 TWIN DOLPHIN DRIVE  
 REDWOOD CITY, CA  
 SAND HILL PROPERTY COMPANY  
 KENNETH RODRIGUES & PARTNERS, INC.

**TGP** The  
 Guzzardo  
 Partnership, Inc.  
 Landscape Architects | Land Planners  
 181 Greenwich Street  
 San Francisco, CA 94111  
 415.433.4672 | www.tgp-inc.com

31.620 07.18.2018

LANDSCAPE IMAGERY

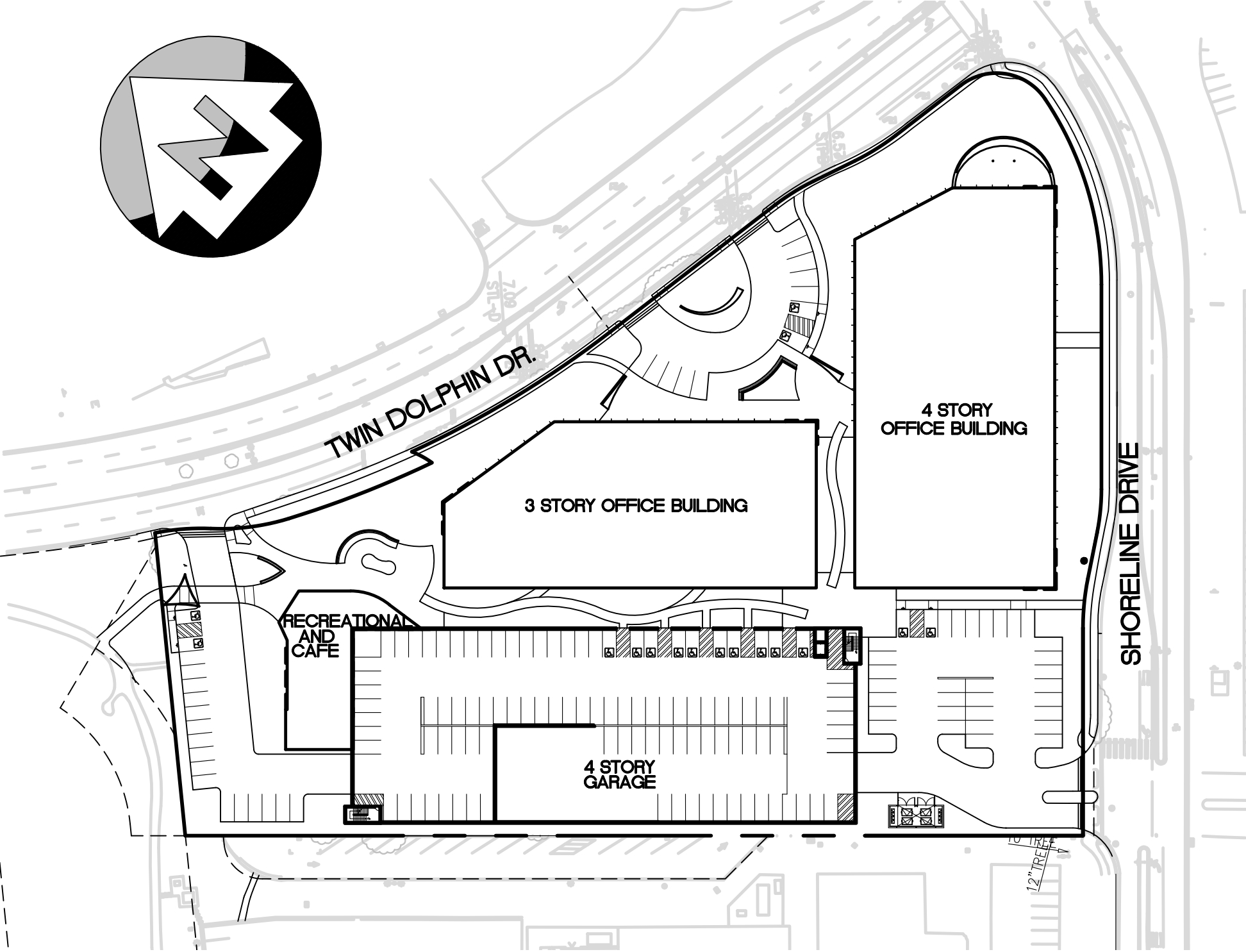
LEGEND

EXISTING	PROPOSED
SAWCUT AND CONFORM LINE	
RETAINING WALL	
A.C. PAVEMENT	
CONC. VALLEY GUTTER	
CONC. SIDEWALK OR PAD	
6" CURB & GUTTER	
EDGE OF A.C. PAVEMENT	
6" VERTICAL CURB	
CENTER LINE	
SANITARY SEWER MAIN	8" SS
STORM DRAIN MAIN	15" SD
PERFORATED PIPE	6" SD
WATER MAIN	6" W
FIRE WATER MAIN	4" FW
DOMESTIC WATER MAIN	4" DW
CHILLED WATER MAIN	4" CHW
IRRIGATION LINE	4" IRR
HOT WATER SUPPLY & RETURN	HWS-HWR
STEAM LINE	ST
TRENCH DRAIN	
CONDENSATE RETURN	CR
METAL BEAM GUARD RAIL	
SILT FENCE	
FLOW LINE	
CHAIN LINK FENCE	2" C
GAS MAIN	E
ELECTRIC AND SIGNAL DUCT BANK	OHE
UNDERGROUND ELECTRIC LINE	UGE
STREET LIGHT CONDUIT	SL
CONTOUR ELEVATION LINE	85
SPOT ELEVATION	FG 95.94
DIRECTION OF SLOPE	2:1 1%
GAS METER	GM
GAS VALVE	WM
WATER METER	
WATER VALVE	
FIRE HYDRANT	
BACK FLOW PREVENTOR	
POST INDICATOR VALVE	
FIRE DEPARTMENT CONNECTION	
WATER LINE TEE	
CAP AND PLUG END	
AIR RELEASE VALVE	ARV
SIGN	
ACCESSIBLE RAMP	
CONCRETE THRUST BLOCK	
REDUCER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	SSCO
STORM DRAIN MANHOLE	
STORMCEPTOR	
STORM DRAIN AREA DRAIN	
STORM DRAIN CATCH BASIN	CB
STORM DRAIN CURB INLET	

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ASB	AGGREGATE SUBBASE
BC	BEGINNING OF CURVE
BFP	BACK FLOW PREVENTOR
BLDC	BUILDING CORNER
BLDG	BUILDING
BOD	BOTTOM OF DOCK
BOL	BOLLARD
BOS	BOTTOM OF STEP
BOW	FG @ BOTTOM OF WALL
BVC	BEGIN VERTICAL CURVE
BW	BACK OF WALK
C	CONCRETE OR CIVIL
C&G	CURB AND GUTTER
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CL	CENTER LINE OR CLASS
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONST	CONSTRUCTION OR CONSTRUCT
CY	CUBIC YARD
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
DW	DOMESTIC WATER
DWG	DRAWING
E	EAST
EC	END OF CURVE
EP	EDGE OF PAVEMENT
ER	END OF RETURN
EVC	END VERTICAL CURVE
ELEV	ELEVATION
EX.	EXISTING
EXST.	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FOUND	FOUNDATION
FS	FINISHED SURFACE
FT	FOOT
FW	FIRE WATER
G	GROUND ELEVATION
GB	GRADE BREAK
GV	GATE VALVE
HCR	ACCESSIBLE RAMP
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT POLE
JT	JOINT TRENCH
LIP	LIP OF GUTTER
LP	LOW POINT
LSA	LANDSCAPE ARCHITECT
MAX	MAXIMUM
MEP	MECHANICAL/ELECTRICAL/PLUMBING
MH	MANHOLE
MIN	MINIMUM
MPVC	MIDPOINT OF VERTICAL CURVE
MON	MONUMENT
N	NORTH
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
P	PAVEMENT ELEVATION
PCC	PORTLAND CEMENT CONCRETE / POINT OF CONTINUOUS CURVATURE
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PMH	POWER MANHOLE
POC	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RC	RELATIVE COMPACTION
RCP	REINFORCED CONCRETE PIPE
RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
R/W	RIGHT OF WAY
S.A.D.	SLOPE OR SOUTH
SB	SEE ARCHITECTURAL DRAWINGS
SD	SEDIMENT BASIN
SDCB	STORM DRAIN
SDCO	STORM DRAIN CATCH BASIN
SDCM	STORM DRAIN CLEANOUT
SDOH	STORM DRAIN MANHOLE
SDOU	STORM DRAIN OVERFLOW DRAIN
SDPU	STORM DRAIN POP-UP
S.E.D.	SEE ELECTRICAL DRAWINGS
SF	SILT FENCE
SG	SUBGRADE
S.L.D.	SEE LANDSCAPE DRAWINGS
S.M.D.	SEE MECHANICAL DRAWINGS
SMH	SIGNAL MANHOLE
S.P.D.	SEE PLUMBING DRAWINGS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSGI	SANITARY SEWER GREASE INTERCEPTOR
SSMH	SANITARY SEWER MANHOLE
SSSO	SANITARY SEWER SAND-OIL SEPARATOR
STA	STATION
STD	STANDARD
SW	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOD	TOP OF DOCK
TOE	TOE OF SLOPE
TOS	TOP OF STAIR
TOW	FG @ TOP OF WALL
TS	TOP OF SLAB
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
U/G	UNDERGROUND
VC	VERTICAL CURVE
WM	WATER METER
WV	WATER VALVE
W	WEST
WTF	WELODED WIRE FABRIC

200 TWIN DOLPHIN  
PLANNING SUBMITTAL  
200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CALIFORNIA



KEY MAP  
1" = 80'



VICINITY MAP  
N.T.S.

PROJECT DESCRIPTION

DEMOLISH EXISTING BUILDINGS AND PARKING LOT TO CLEAR THE SITE. CONSTRUCT A 4 STORY AND 3 STORY COMMERCIAL BUILDING, A 4 LEVEL PARKING GARAGE AND A RECREATIONAL AND CAFE SPACE. SITE IMPROVEMENTS WILL INCLUDE PARKING THROUGHOUT SITE, CONNECTION TO EXISTING SCENIC TRAIL, ASSOCIATED UTILITIES AND STORMWATER MANAGEMENT NECESSARY TO SUPPORT THE BUILDINGS.

OWNER INFO

SAND HILL PROPERTY COMPANY, LLC.  
CONTACT PERSON: STEVE LYNCH  
965 PAGE MILL ROAD  
PALO ALTO, CA 94304  
PH: (650)-334-1500  
EMAIL: SLYNCH@SHPCO.COM

SITE ADDRESS

200 TWIN DOLPHIN DRIVE, REDWOOD CITY, CALIFORNIA 94065

CIVIL ENGINEERS

SANDIS  
CHAD BROWNING, CBROWNING@SANDIS.NET  
1700 SOUTH WINCHESTER BOULEVARD SUITE 200  
CAMPBELL, CA 95008  
(408) 636-0900

CIVIL SHEET INDEX

C-1.0	COVER SHEET
C-2.0	TOPOGRAPHIC SURVEY
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0	STORMWATER MANAGEMENT PLAN
C-6.0	FIRE ACCESS PLAN



UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS.

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

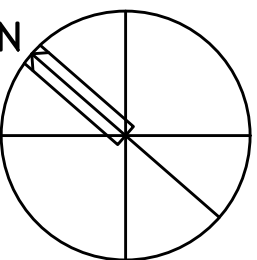


CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY SF

31.620 07.18.2018

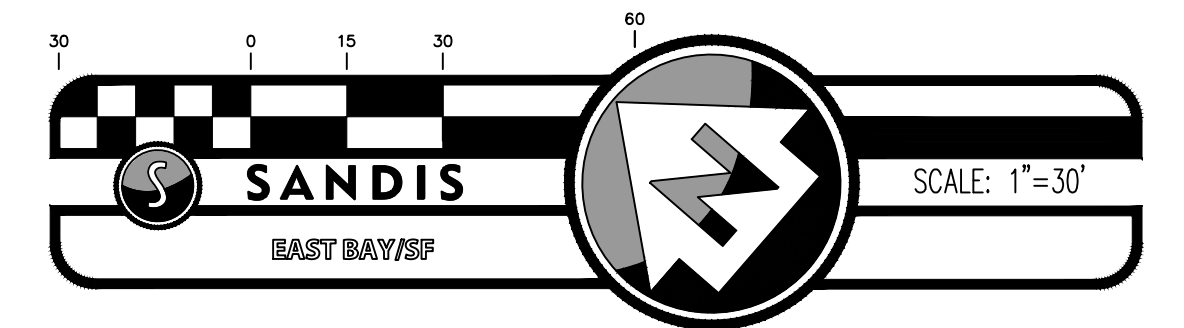
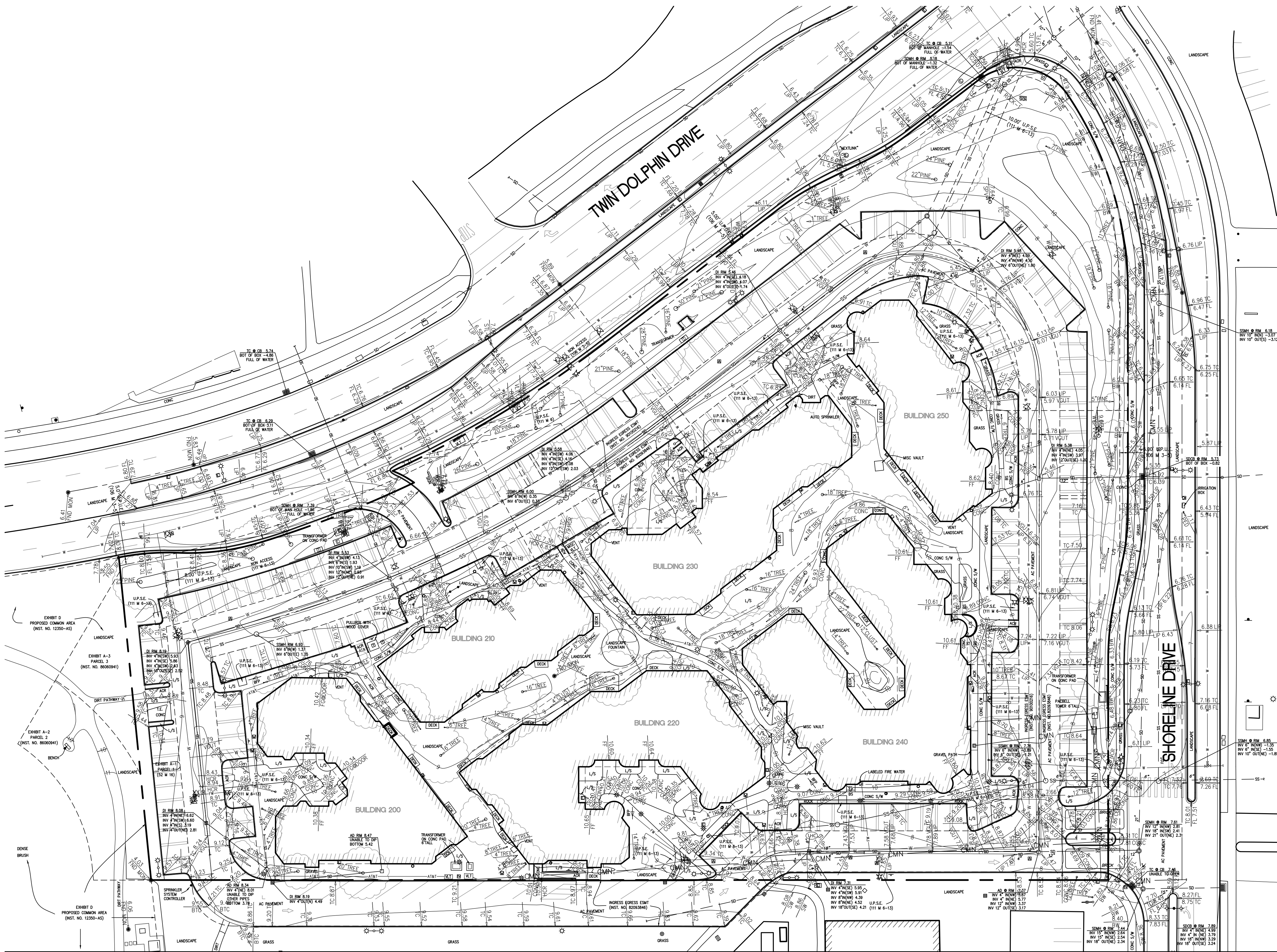


N.T.S.



COVER SHEET

C-1.0



## SURVEY NOTES

- EXISTING TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS BASED UPON TOPOGRAPHIC SURVEYS COMPLETED BY SANDIS ON 02/2008, AND 06/2018, UNDER THE DIRECTION OF LAURA CABRAL, PLS 7756.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK.
- TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP.
- HORIZONTAL CONTROL BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2018.250.
- PROPERTY LIES IN ZONE X, AS PER FLOOD ISSUANCE RATE MAP NUMBER 06081C0169F FOR SAN MATEO COUNTY, CALIFORNIA AND INCORPORATED AREAS, DATED JULY 16, 2015. THE PROJECT IS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE.

## BASIS OF BEARINGS

THE BEARING OF SOUTH 78°32'54" EAST ON THE LINE BETWEEN FOUND MONUMENTS TO THE CENTERLINE OF TWIN DOLPHIN DRIVE, AS SHOWN ON THE AMENDED MAP OF EXECUTIVE GUILD REDWOOD BUSINESS PARK, FILED DECEMBER 28, 1983 IN BOOK 111 OF MAPS, AT PAGES 5-12, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

## BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF REDWOOD CITY BENCHMARK, BM ID 11, DESCRIBED AS A PUNCH LABELED CITY OF REDWOOD CITY BENCHMARK FOUND ON THE EAST SIDE OF THE MEDIAN ISLAND ON THE SOUTH SIDE OF THE INTERSECTION OF TWIN DOLPHIN DRIVE AND SHORELINE DRIVE.

ELEV=6.763 FEET (NAVD 88 DATUM)

## UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

## BOUNDARY NOTE

THE BOUNDARY THAT IS SHOWN IN THIS TOPOGRAPHIC SURVEY WAS PREPARED BY KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS INC. AND IS SHOWN FOR REFERENCE ONLY.

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

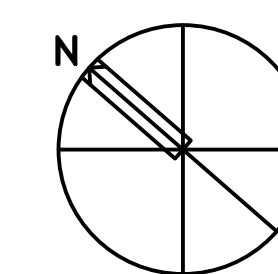


**CIVIL ENGINEERS  
SURVEYORS  
PLANNERS**

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY/SE

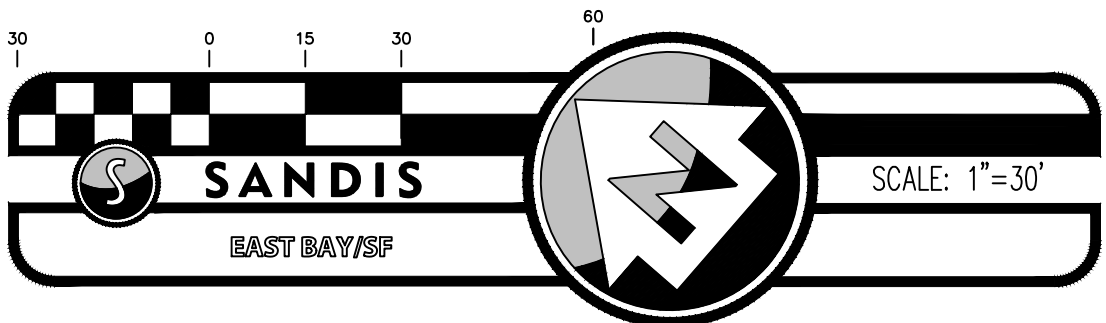
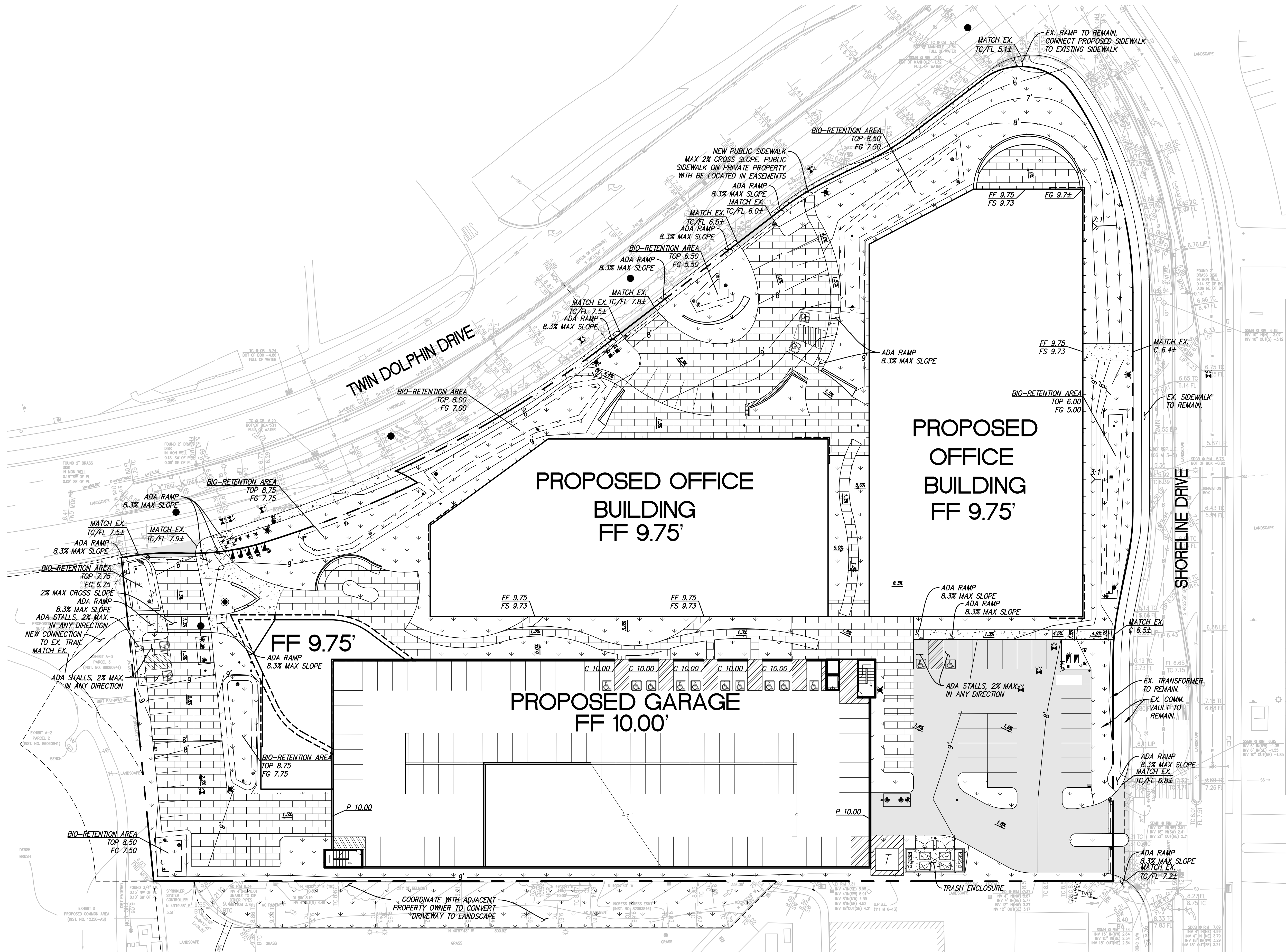
31.620 07.18.2018



0' 30' 60'

TOPOGRAPHIC  
SURVEY

# C-2.0



GRADING PLAN LEGEND

- ASPHALT CONCRETE PAVING
- CONCRETE PAVING
- LANDSCAPE AREA
- BIO-RETENTION AREA
- PERVIOUS PAVERS
- 1 FOOT CONTOURS
- 5 FOOT CONTOURS

GRADING NOTES

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING ALL HARDSCAPE SURFACES AT 2% AND LANDSCAPE SURFACES AT 5% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.

ADA NOTES

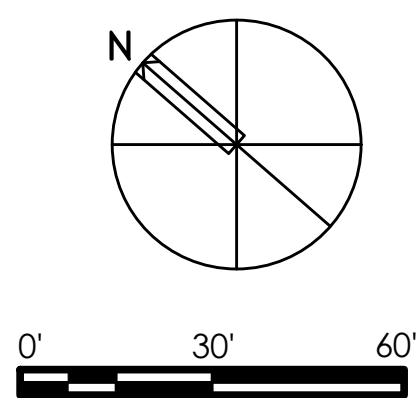
1. ALL HARDSCAPE ALONG THE ADA PATH OF TRAVEL SHALL BE IN CONFORMANCE WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE.
2. SLOPED WALKS ALONG THE DESIGNATED ADA PATH OF TRAVEL SHALL NOT EXCEED A SLOPE OF 1:20 (5%) WITHOUT HANDRAILS. THE MAXIMUM SLOPE WITH HANDRAILS OR FOR CURB RAMPS IS 1:12 (8.33%). LEVEL LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL SLOPED WALKWAYS AND RAMPS.
3. WALKWAYS ON ANY PATH OF TRAVEL SHALL HAVE A MINIMUM WIDTH OF 48". WALKWAYS AND ADA PARKING STALLS OR LOADING ZONES SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
4. A LEVEL LANDING (2% MAX SLOPE) SHALL BE PROVIDED AT ALL ACCESSIBLE ENTRANCES TO BUILDINGS. THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 60" AND A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING, AND 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPEN ONTO THE LANDING.
5. RAMPS GREATER THAN 1:20 SLOPE AND EXCEEDING 30" IN VERTICAL ELEVATION CHANGE SHALL HAVE INTERMEDIATE LEVEL LANDINGS.

200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**SANDIS**  
CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

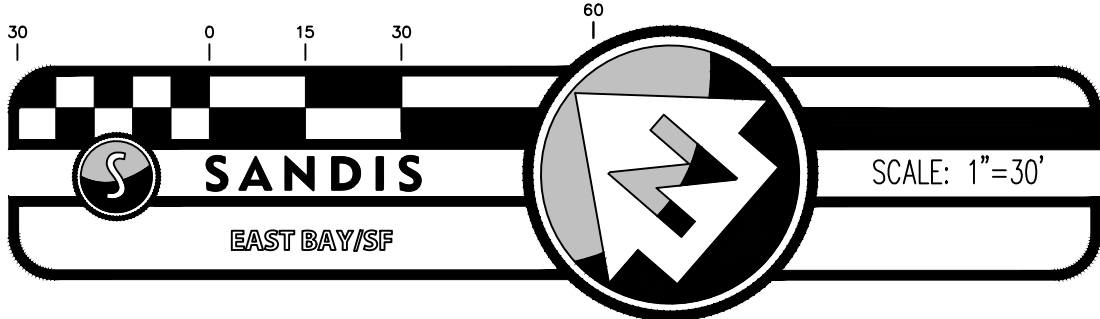
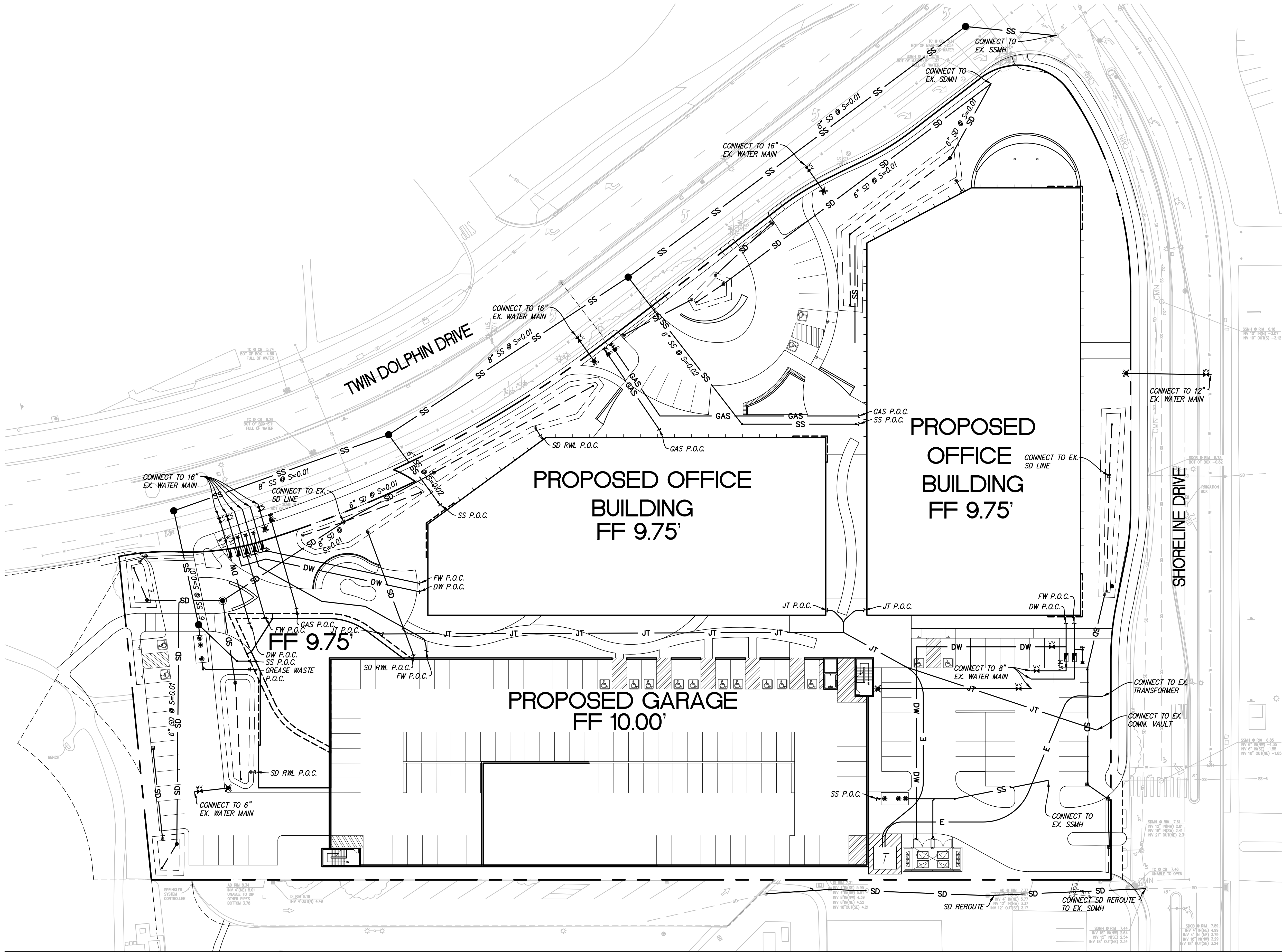
SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY/SE

31.620 07.18.2018



GRADING AND  
DRAINAGE PLAN

C-3.0



LEGEND

- PROPERTY LINE
- [ ] BIO-TREATMENT AREA

STORM DRAIN NOTES

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 GREEN PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELLS AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
8. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SANITARY SEWER NOTES

1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
2. PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELL AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL LATERALS SHALL HAVE A TWO WAY CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS.
4. IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL VIDEO INSPECT, PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS.

WATER SYSTEM NOTES

1. MAINTAIN WATER MAIN LINES 10' AWAY FROM SANITARY SEWER MAIN LINES. LATERALS SHALL BE SEPARATED PER PLAN DIMENSIONS.
2. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
3. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE WATER DISTRICT STANDARDS.
4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
5. THRUST RESTRAINTS SHALL BE DESIGNED AND INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS.

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



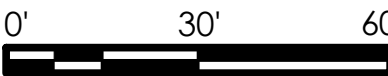
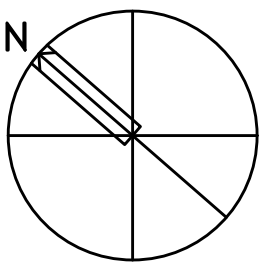
**SANDIS**

CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY/SP

31.620 07.18.2018



UTILITY PLAN

C-4.0

## STORMWATER MANAGEMENT PLAN LEGEND

- PROPOSED PERVIOUS AREA
- PROPOSED IMPERVIOUS AREA
- BIO-RETENTION AREA
- PERVIOUS PAVER/PAVEMENT AREA
- DRAINAGE AREA BOUNDARY
- FLOW LINE
- FLOW DIRECTION
- DRAINAGE AREA ID

## HYDROMODIFICATION NOTE:

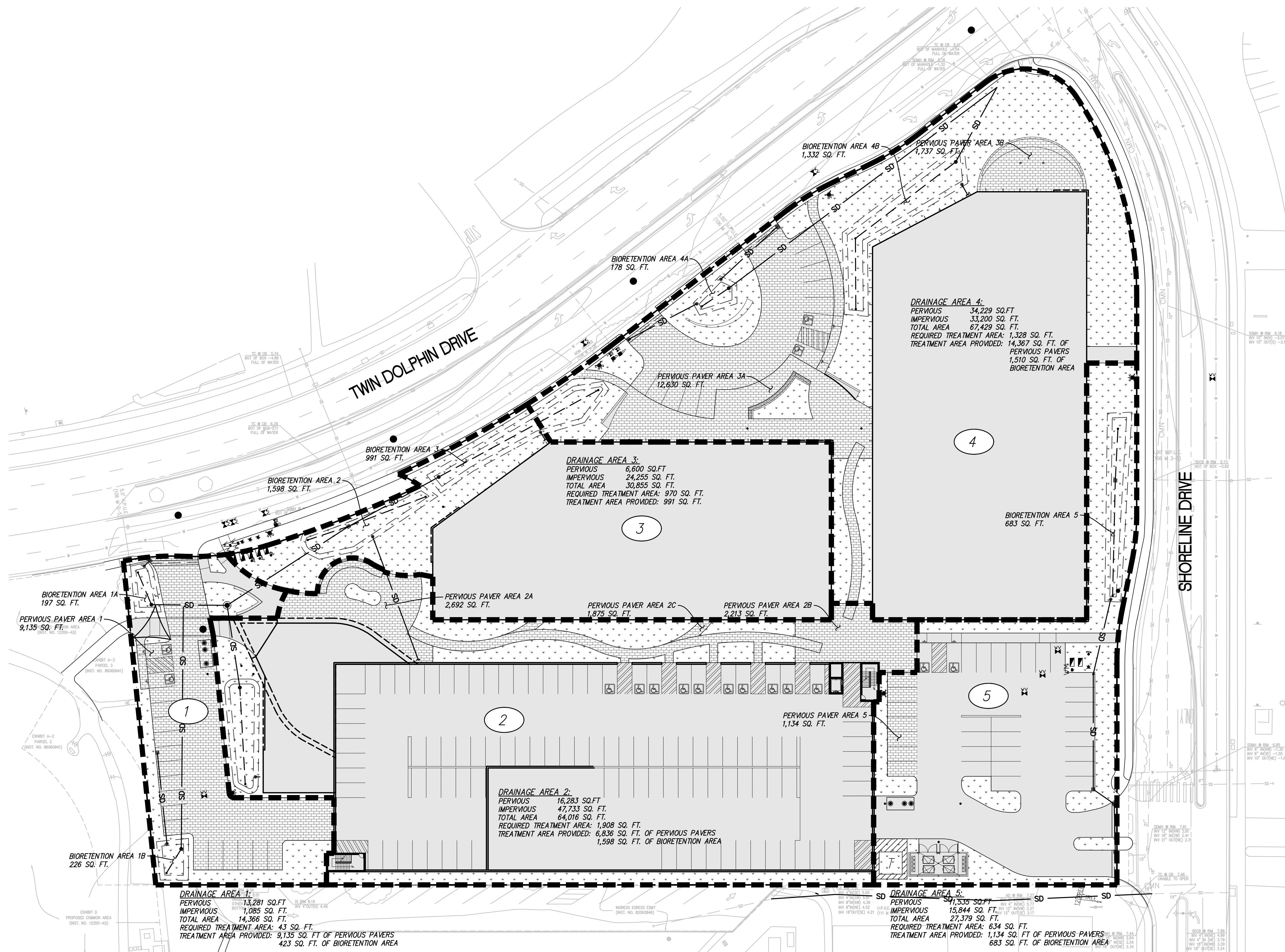
THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SAN MATEO C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO THE PROJECT BEING LOCATED IN A LOW GRADIENT AREA PER APPENDIX H, AREAS SUBJECT TO HYDROMODIFICATION MANAGEMENT REQUIREMENTS OF THE C.3 STORMWATER TECHNICAL GUIDANCE, JUNE 2016.

## SITE TREATMENT AREA NOTE:

THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT THE ENTIRE SITE.

## STORMWATER MANAGEMENT NOTES:

- THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE AN MATEO COUNTY PROGRAM AND THE CITY OF REDWOOD CITY REQUIREMENTS.
- THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE
  - BIO-RETENTION AREA – RUNOFF IN THIS AREA IS DIRECTED TO A BIO-RETENTION PLANTER/AREA FOR FILTRATION, INFILTRATION AND EVAPOTRANSPIRATION PRIOR TO EXISTING THE SITE. PLANTING AND SOIL REQUIREMENTS APPLY, SEE DETAIL.
  - PERVIOUS PAVERS/PERVIOUS JOINT PAVERS/PERVIOUS PAVEMENTS – RUNOFF IN THIS AREA EITHER ORIGINATES OR IS DIRECTED TO PERVIOUS PAVEMENT MATERIALS, SEE SIZING CRITERIA FOR BASEROCK SECTIONS AND DRAINAGE REQUIREMENTS.



200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

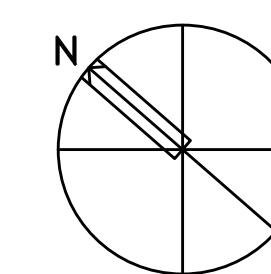


CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

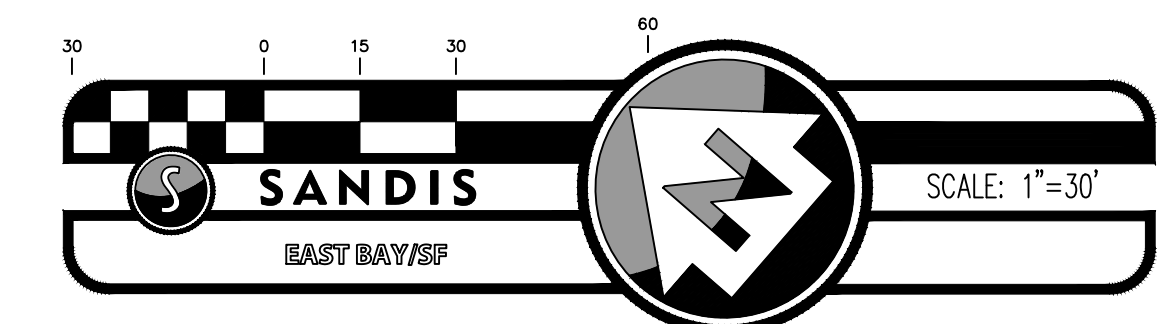
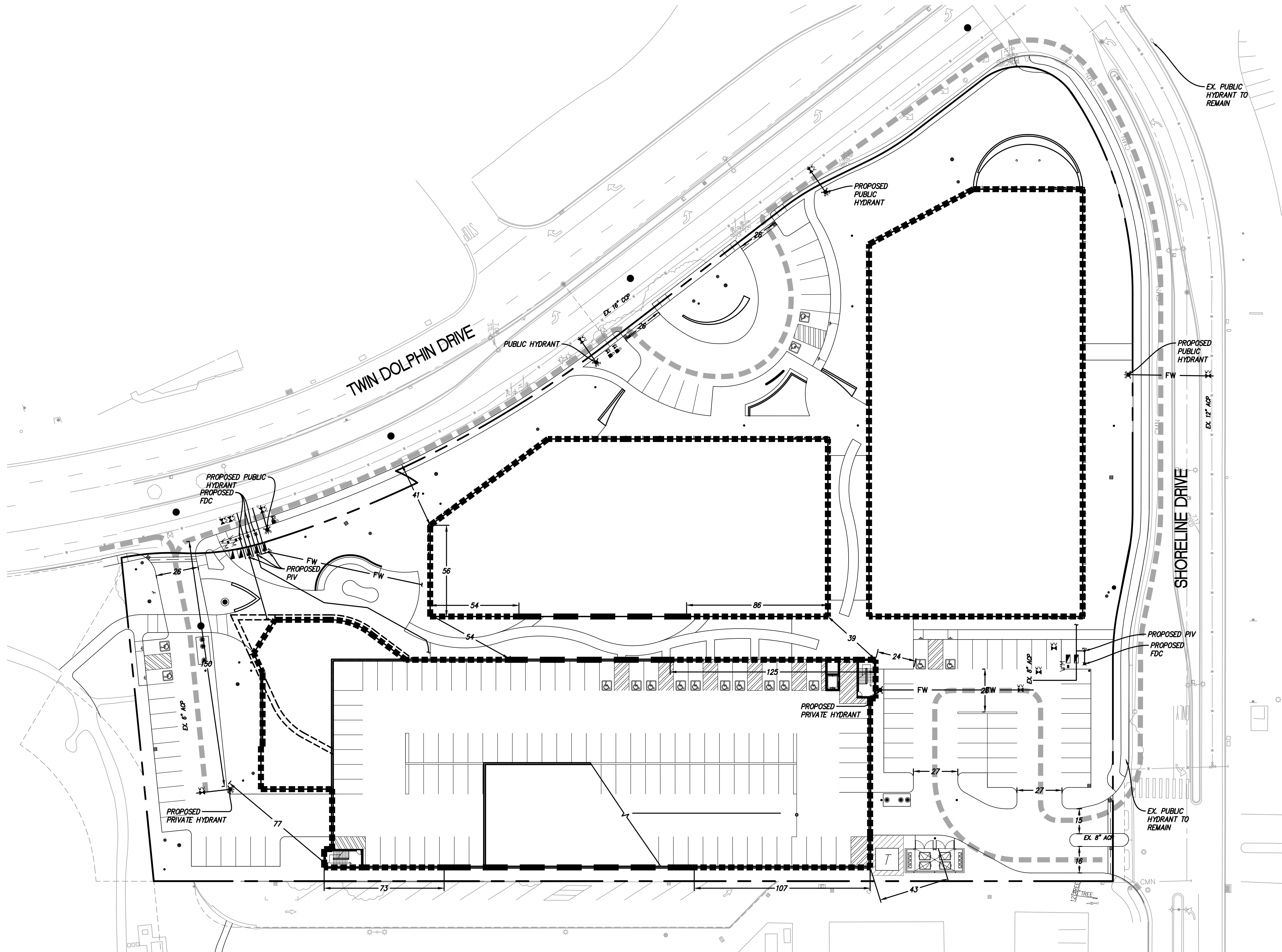
SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY/SE

31.620 07.18.2018



STORMWATER  
MANAGEMENT PLAN

C-5.0




**LEGEND**

- FIRE ACCESS ROUTE
- PROPOSED BUILDING OUTSIDE OF 150' HOSE LENGTH FROM FIRE ACCESS LANE
- PROPOSED BUILDING INSIDE OF 150' HOSE LENGTH FROM FIRE ACCESS LANE

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



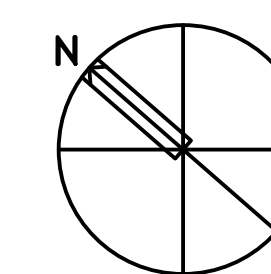
**SANDIS**

CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY SF

31.620 07.18.2018



FIRE ACCESS PLAN

C-6.0