

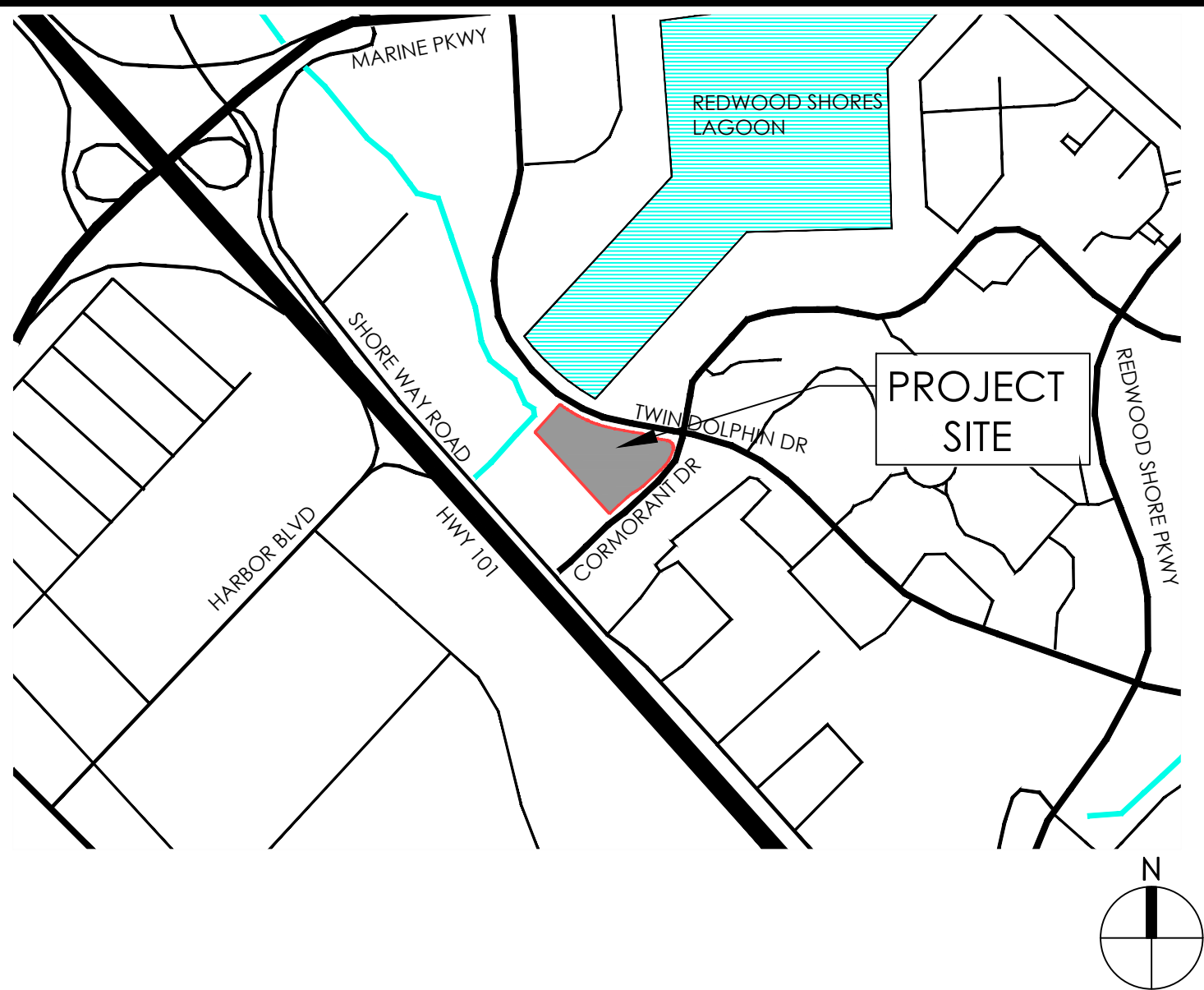
# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CALIFORNIA  
KENNETH RODRIGUES & PARTNERS, INC.

ARC STAGE 2 APPROVAL 05.19.19  
ARC STAGE 2 RESUBMITTAL 10.30.19  
REDWOOD CITY PLANNING SUBMITTAL 06.10.20  
REDWOOD CITY PLANNING SUBMITTAL 06.17.19

REDWOOD CITY PLANNING RESUBMITTAL / ARC STAGE 3 SUBMITTAL 11.22.19  
REDWOOD CITY PLANNING RESUBMITTAL 10.14.20  
△ PLANNING, FIRE, AND PUBLIC WORKS COMMENTS 01.04.2021  
△ PLANNING, FIRE, AND PUBLIC WORKS COMMENTS (R2) 02.15.21

## VICINITY MAP



## PROJECT DESCRIPTION

THE PROJECT INCLUDES :

- DEMOLISHING 6 EXISTING ONE STORY OFFICE BUILDINGS.
- CONSTRUCTING A NEW 202,010 SF 5-STORY OFFICE BUILDING, A PARKING GARAGE WITH 655 STALLS, SURFACE PARKING WITH 25 STALLS, ADDITIONAL 10 STALLS FOR BELMONT CREEK TRAIL PARKING AND LANDSCAPING, 690 TOTAL PARKING
- PROVIDING IMPROVEMENTS TO EXISTING TRAIL ACCESS TO BELMONT CREEK WITH ENHANCED PUBLIC AMENITIES AND SITE INTEGRATION.
- INCORPORATE A MID BLOCK CROSSING ACROSS TWIN DOLPHIN DRIVE.
- PROVIDE NEW SIDEWALK ALONG TWIN DOLPHIN DRIVE WHICH CONNECTS PEDESTRIAN ACCESS FROM TWIN DOLPHIN AND SHORELINE INTERSECTION TO EXISTING BELMONT CREEK TRAIL

## SHEET INDEX

### ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT RENDERING 1
- A0.2 PROJECT RENDERING 2
- A0.3 NEIGHBORHOOD CONTEXT
- A0.4 ENLARGED NEIGHBORHOOD CONTEXT
- A0.5 1"=100' SITE PLAN
- A1.0 EXISTING SITE PLAN
- A1.1 DIMENSIONED SITE PLAN
- A1.2 CIRCULATION PLAN
- A1.3 PARKING AND LANDSCAPE PLAN
- A1.4 FIRE ACCESS PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 THIRD FLOOR PLAN
- A2.4 FOURTH FLOOR PLAN
- A2.5 FIFTH FLOOR PLAN
- A2.6 ROOF PLAN
- A2.7 GARAGE PLAN LEVEL 1
- A2.8 GARAGE PLANS LEVEL 2
- A2.9 GARAGE PLANS LEVEL 3-4
- A2.10 GARAGE PLANS LEVEL 5
- A3.0 DESIGN IMAGERY
- A3.1 MATERIALS AND FINISHES
- A3.2 SITE ELEVATIONS
- A3.3 ELEVATIONS 1
- A3.4 ELEVATIONS 2
- A3.5 ELEVATIONS- PARKING GARAGE
- A4.1 BUILDING SECTIONS
- A4.2 WALL SECTION AND ENLARGED ELEVATION
- A4.3 WALL SECTION AND ENLARGED ELEVATION

### LANDSCAPE

- L-1 ILLUSTRATIVE LANDSCAPE SITE PLAN
- L-2 ILLUSTRATIVE LANDSCAPE 4TH FLOOR TERRACE ROOF PLAN
- L-3 ILLUSTRATIVE LANDSCAPE 5TH FLOOR TERRACE ROOF PLAN
- L-4 ILLUSTRATIVE LANDSCAPE 6TH FLOOR ROOF DECK TERRACE PLAN
- L-5.1 ILLUSTRATIVE LANDSCAPE SITE SECTIONS
- L-5.2 ILLUSTRATIVE LANDSCAPE SITE SECTIONS
- L-5.3 ILLUSTRATIVE LANDSCAPE SITE ELEVATIONS

## SHEET INDEX

L-5.4 ILLUSTRATIVE LANDSCAPE SITE ELEVATIONS

L-6 LANDSCAPE IMAGERY

L-7 TREE DISPOSITION PLAN

### CIVIL

- TM-1.0 COVER SHEET
- TM-2.0 TOPOGRAPHIC SURVEY
- TM-2.1 EXISTING LOT AND PARCEL INFORMATION PLAN
- TM-3.0 PROPOSED LOT AND PARCEL INFORMATION PLAN
- TM-4.0 GRADING AND DRAINAGE PLAN
- TM-4.1 CROSS SECTIONS
- TM-5.0 UTILITY PLAN
- TM-6.0 STORMWATER MANAGEMENT
- TM-6.1 STORMWATER MANAGEMENT DETAILS AND CALCULATIONS
- TM-7.0 FIRE ACCESS PLAN
- TM-8.0 TRASH PICK-UP PLAN

## PROJECT DATA

PROPERTY ADDRESS: 200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CALIFORNIA  
PROPOSED ADDRESS: SAME  
APN: 111-910-020, 030, 040, 050, 060,  
070, 080, 090, 100, 110, 120,  
130, 140, 150, 170, 180, 190,  
200, 210, 220, 230, 240, 250

SITE AREA: 204,045 SF (4.68 AC)  
BUILDING AREA: 202,010 SF (OFFICE AREA)  
ZONING: CP  
ZONING MAXIMUM FAR: 0.8 (BASE) + 0.2 (BONUS)  
2010 GENERAL PLAN: OFFICE PROFESSIONAL/  
TECHNOLOGY

GP MAXIMUM FAR: 1.0  
PROPOSED FAR: 0.99  
SITE COVERAGE: 86,070 SF (42%)

PARKING REQUIRED: 680 SPACES  
PARKING PROVIDED: 680 SPACES +10 SURFACE STALLS AT CREEK  
ACCESS TRAIL = 690 STALLS  
PARKING RATIO: 1/300  
BELMONT CREEK TRAIL  
PARKING PROVIDED: 10 SPACES

LAND USE: R & D/OFFICE  
OCCUPANCY: B OFFICE & S2 GARAGE  
TYPE OF CONSTRUCTION:  
OFFICE: II-A  
GARAGE: II-A

### OWNER

SAND HILL PROPERTY COMPANY  
2600 EL CAMINO REAL, SUITE 410  
PALO ALTO, CA 94306

Phone: 650.344.1500  
Contact: Steve Lynch  
Email: slynch@shpco.com

### ARCHITECT

KENNETH RODRIGUES & PARTNERS, INC.  
445 N. WHISMAN ROAD, SUITE 200  
MOUNTAIN VIEW, CA 94043

Phone: 650.965.0700  
Contact: Rachana Ramesh  
Email: rachana@krparchitects.com

### LANDSCAPE ARCHITECT

THE GUZZARDO PARTNERSHIP, INC  
181 GREENWICH ST  
SAN FRANCISCO, CA 94111

Phone: 415.433.4672  
Contact: Gary Laymon  
Email: glaymon@tgp-inc.com

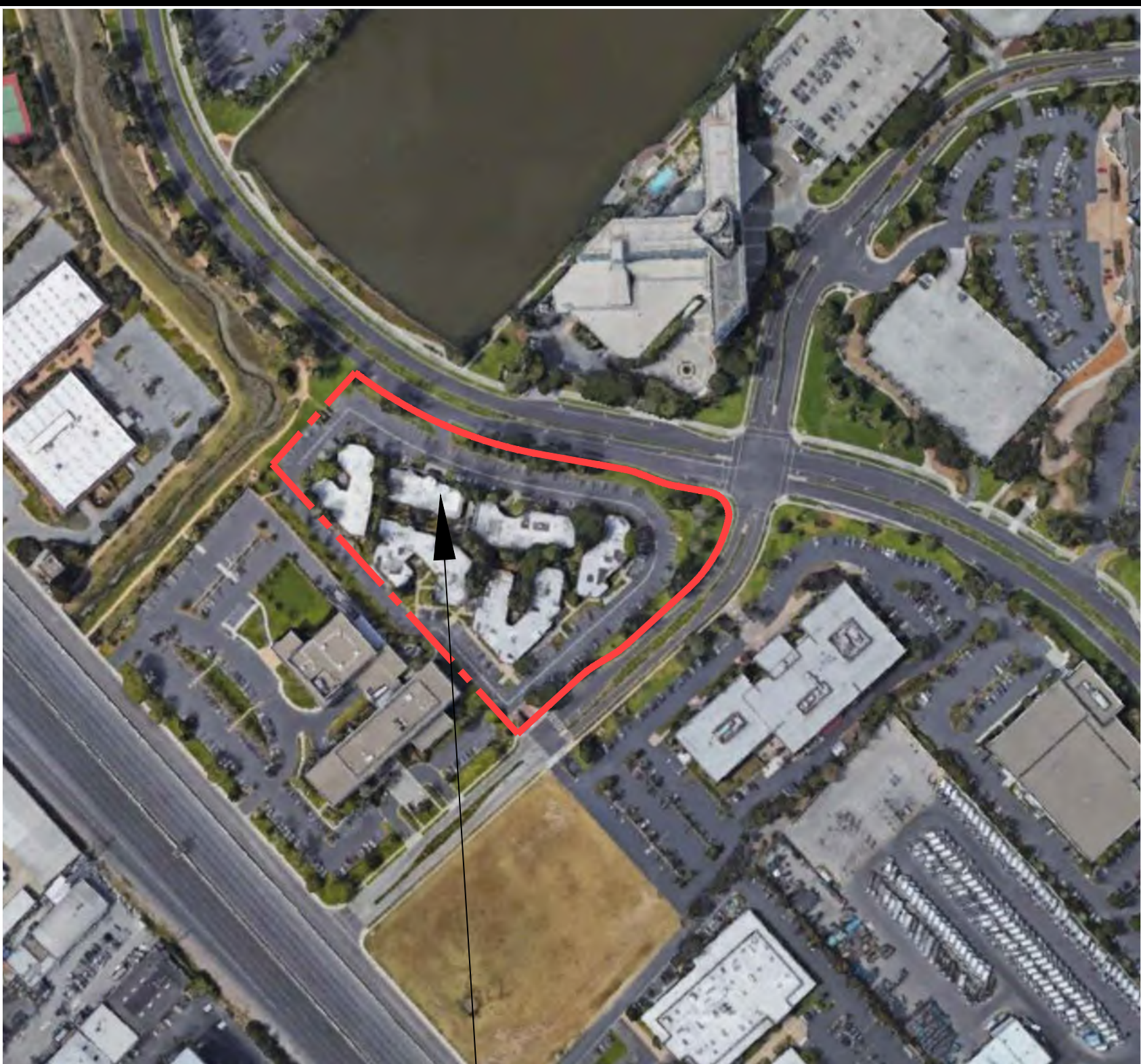
### CIVIL ENGINEER

SANDIS  
1700 S WINCHESTER BLVD, SUITE 200  
CAMPBELL, CA 95008

Phone: 408.636.0962  
Contact: Steven Yasutake  
Email: syasutake@sandis.net

## PROJECT TEAM

## EXISTING SITE - AERIAL VIEW



PROJECT SITE

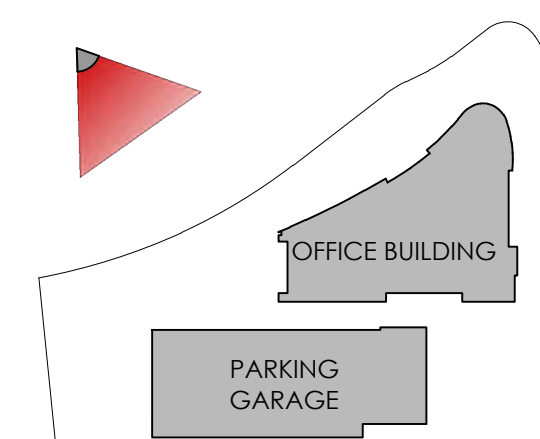




MAGILIGHT

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

PROJECT RENDERING 1  
VIEW FROM TWIN DOLPHIN DRIVE

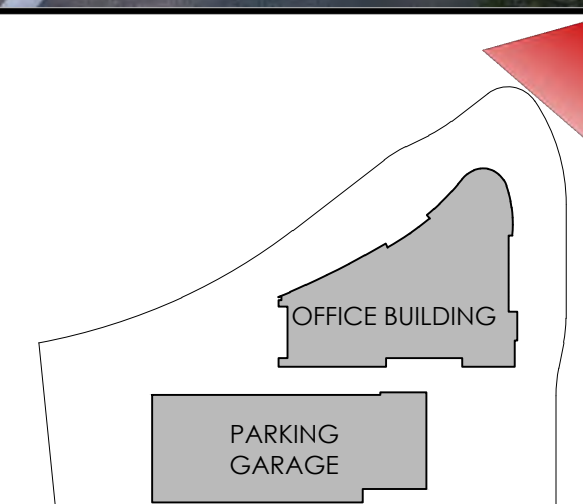
A0.1





# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

PROJECT RENDERING 2  
VIEW FROM THE INTERSECTION OF TWIN  
DOLPHIN DRIVE AND SHORELINE DRIVE

A0.2



**B** IMAGES OF ADJACENT BUILDINGS



1



3



5



7



9



2



4



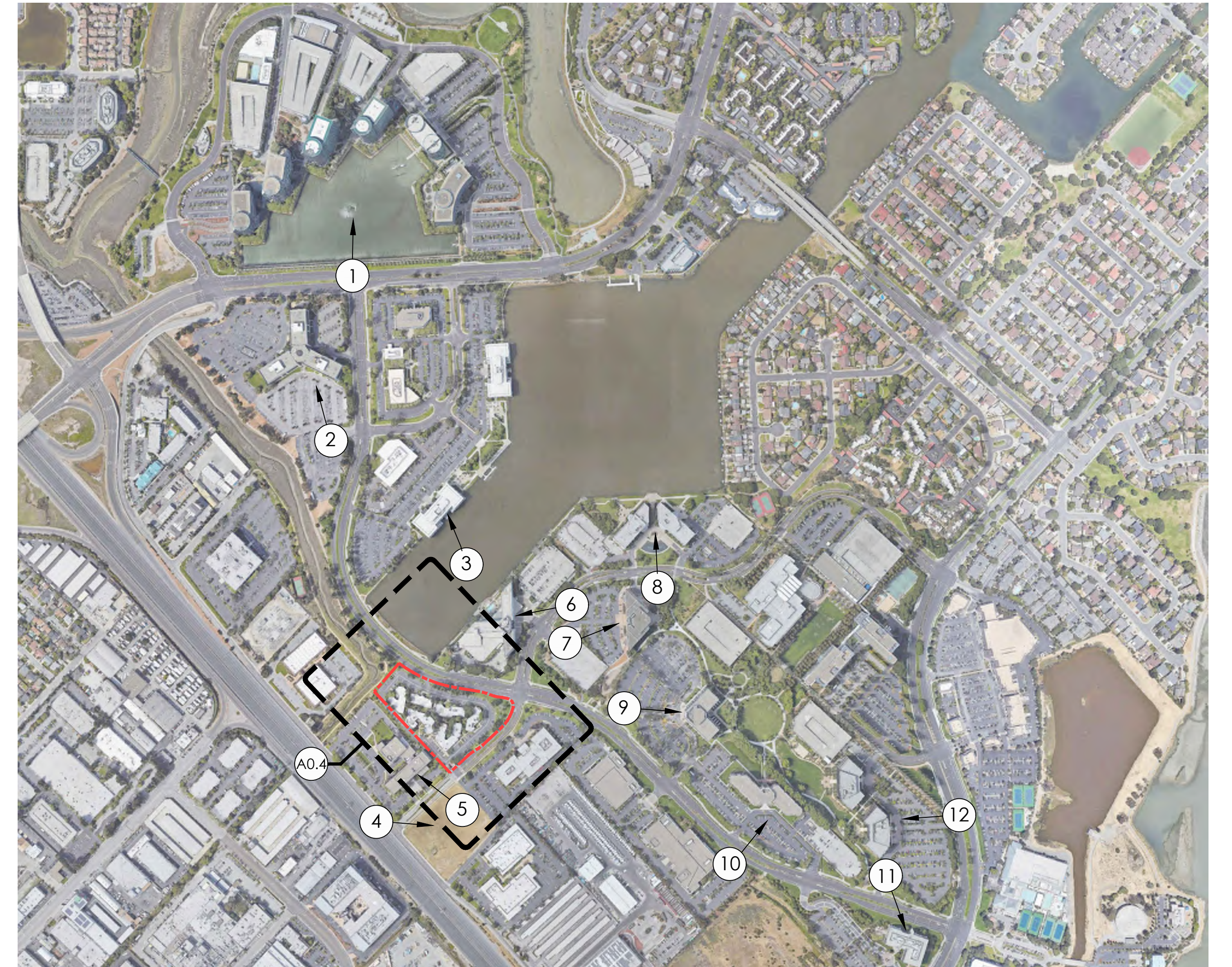
6



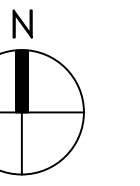
8



10



**A** CONTEXT SITE PLAN



11



12

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020

NEIGHBORHOOD  
CONTEXT

A0.3



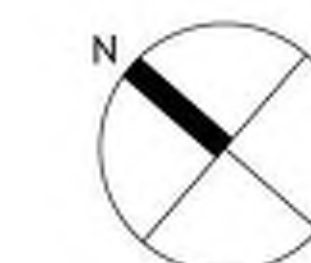


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020

ENLARGED NEIGHBORHOOD  
CONTEXT



FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)

A0.4





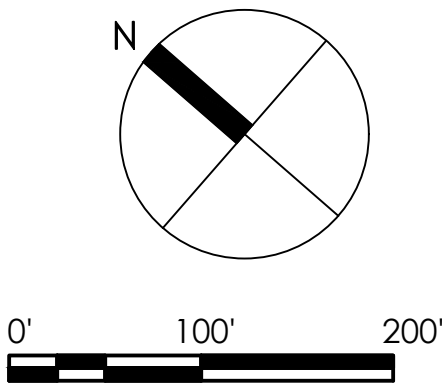
200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020

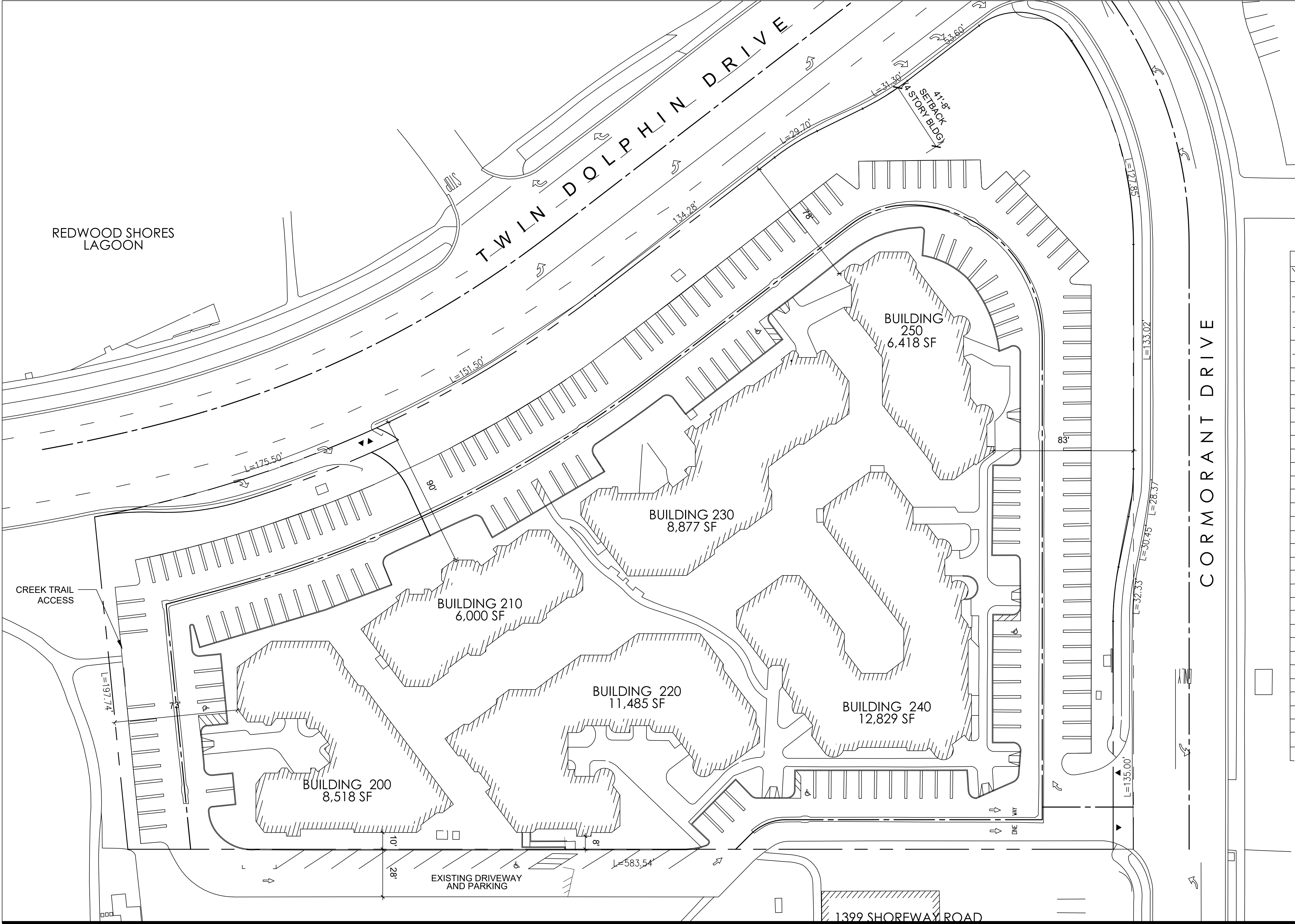
1"=100' SITE PLAN

FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)



A0.5

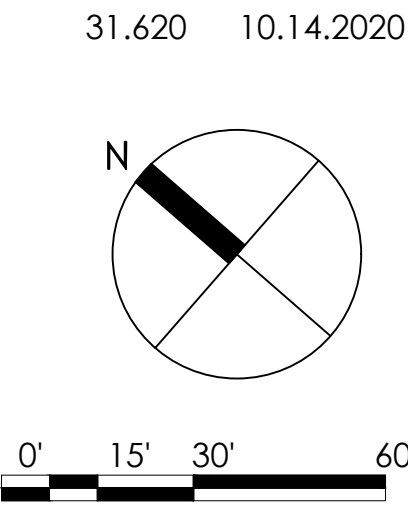




(E) SITE INFORMATION:	
SITE AREA:	204,045 SF (4.68 AC)
EXISTING BUILDING AREA TOTAL:	54,127 SF
EXISTING PARKING PROVIDED:	194 SPACES

200 TWIN DOLPHIN DRIVE

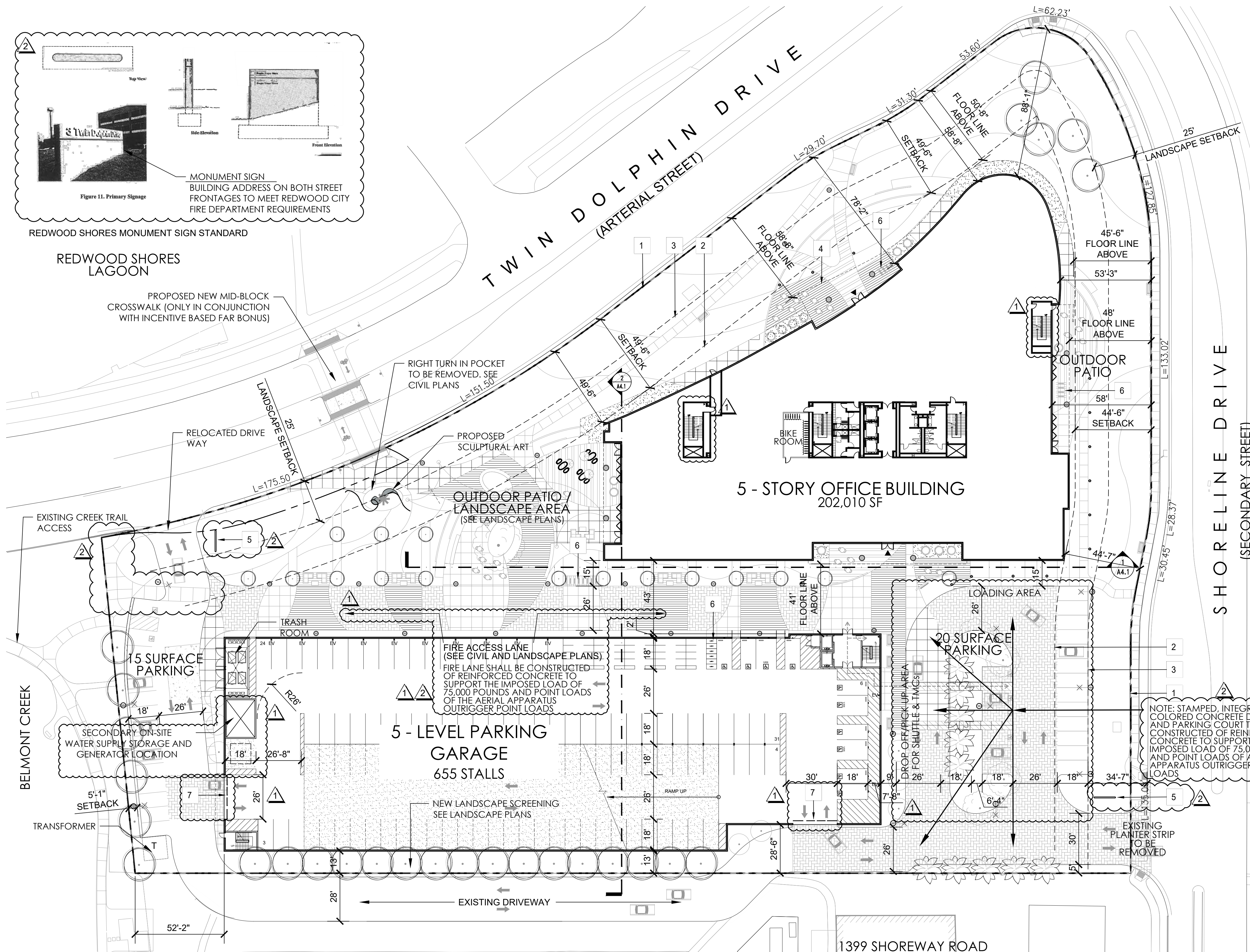
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



EXISTING SITE PLAN

A1.0





### ZONING CALCULATIONS:

SITE AREA: 204,045 SF (4.68 AC)

FAR: 0.99 FAR

NEW 5-STORY OFFICE  
FIRST FLOOR: 39,110 SF  
SECOND FLOOR: 44,210 SF  
THIRD FLOOR: 43,890 SF  
FOURTH FLOOR: 39,390 SF  
FIFTH FLOOR: 35,410 SF  
TOTAL: 202,010 SF

EXTERIOR DECKS  
THIRD FLOOR: 320 SF  
FOURTH FLOOR: 3,340 SF  
FIFTH FLOOR: 4,600 SF  
ROOF DECK: 8,160 SF  
TOTAL: 16,420 SF

BUILDING COVERAGE: 86,070 SF (42%)  
OFFICE FOOTPRINT: 39,110 SF  
GARAGE FOOTPRINT: 46,960 SF

LANDSCAPE+PAVING AREA: 117,975 SF (58%)

TOTAL: 204,045 SF (100%)

NOTE: BUILDING OWNER AND LANDSCAPE ARCHITECT TO ENSURE SPECIES OF TREES THAT ARE CHOSEN DO NOT ENCRANCH ON THE REQUIRED FIRE ACCESS LANES

### DEVELOPMENT STANDARDS MATRIX:

DEVELOPMENT STANDARDS	CP DISTRICT	SBCA ARC	PROPOSED
BUILDING HEIGHT:	100'-0"	ARC'S DISCRETION	89'-0"
SETBACKS:			
FRONT (@ TWIN DOLPHIN)	79'-0"	49'-6"	49'-6"
SIDE (@ SHORELINE DR)	79'-0"	44'-6"	44'-7"
SIDE (@ BELMONT CREEK)	18'-6"	10'-0"	52'-2"
REAR (@ 1399 SHOREWAY ROAD)	33'-6"	10'-0"	13'-0"
FAR:	0.8 + 0.2 INCENTIVE BASED FAR BONUS	ARC'S DISCRETION	0.99

### KEYNOTES:

- PROPERTY LINE
- SETBACK LINE
- LANDSCAPE SETBACK
- LINE OF BUILDING ABOVE
- ILLUMINATED PREMISES IDENTIFICATION
- BIKE PARKING
- MOTORIZED MESH SECURITY GATE AT EACH GARAGE ENTRY PROVIDE KNOX KEY SWITCHES PER CFC 506

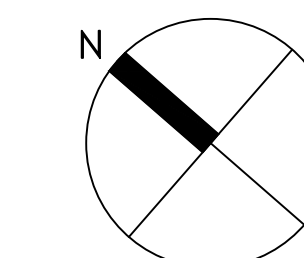
# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020



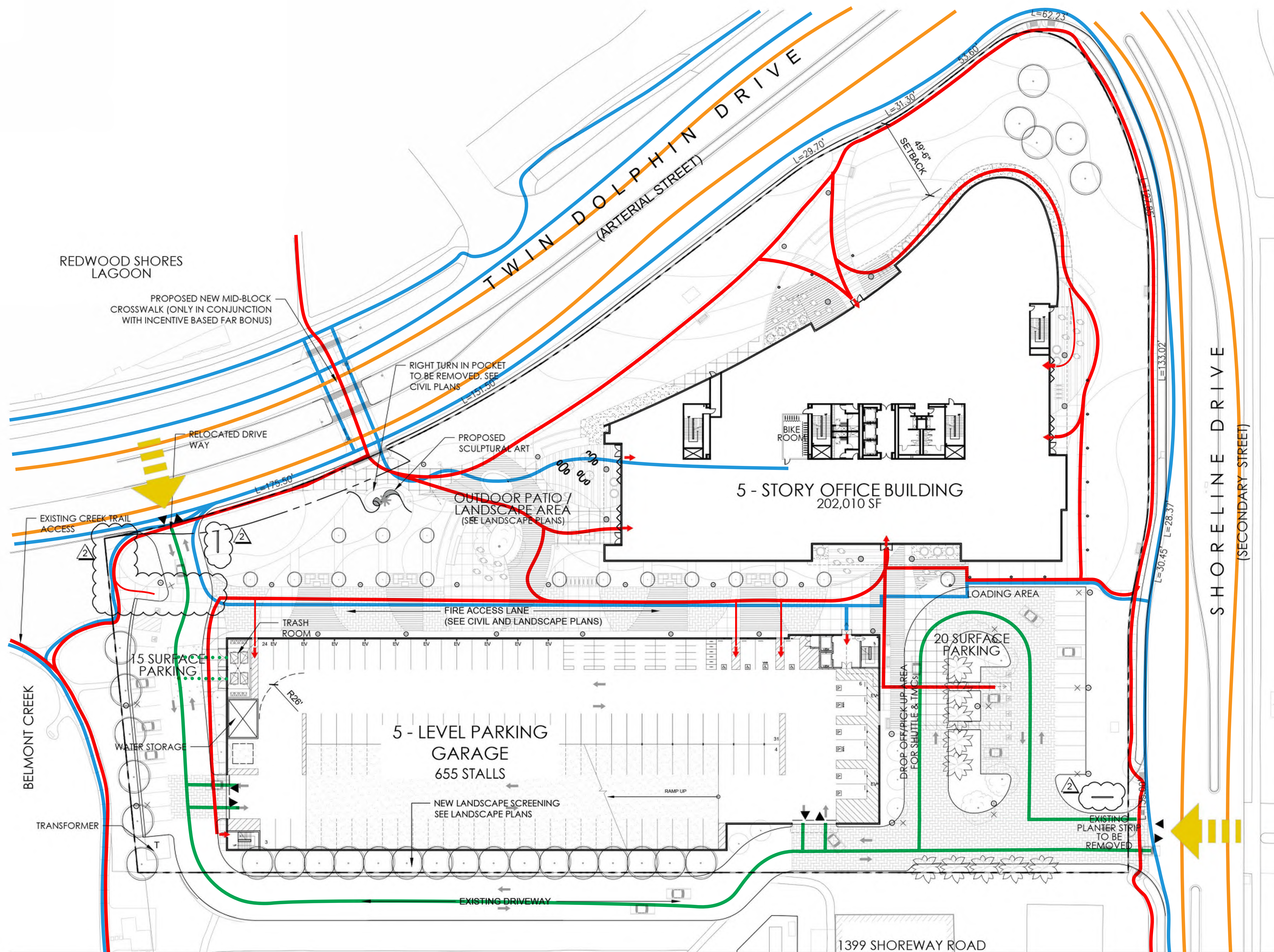
0' 15' 30' 60'

## DIMENSIONED SITE PLAN

- 1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS
- 2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

# A1.1





# LEGEND:

- VEHICULAR SITE ENTRY
- BUILDING ENTRY
- SITE ENTRY
- MAJOR ARTERIAL
- CLASS II BIKE LANE
- DRIVEWAY
- TRASH LOADING PATH
- PEDESTRIAN PATH

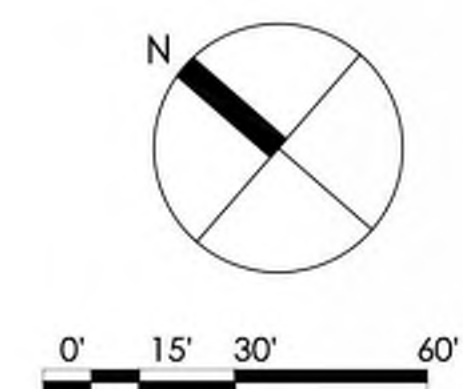
## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020

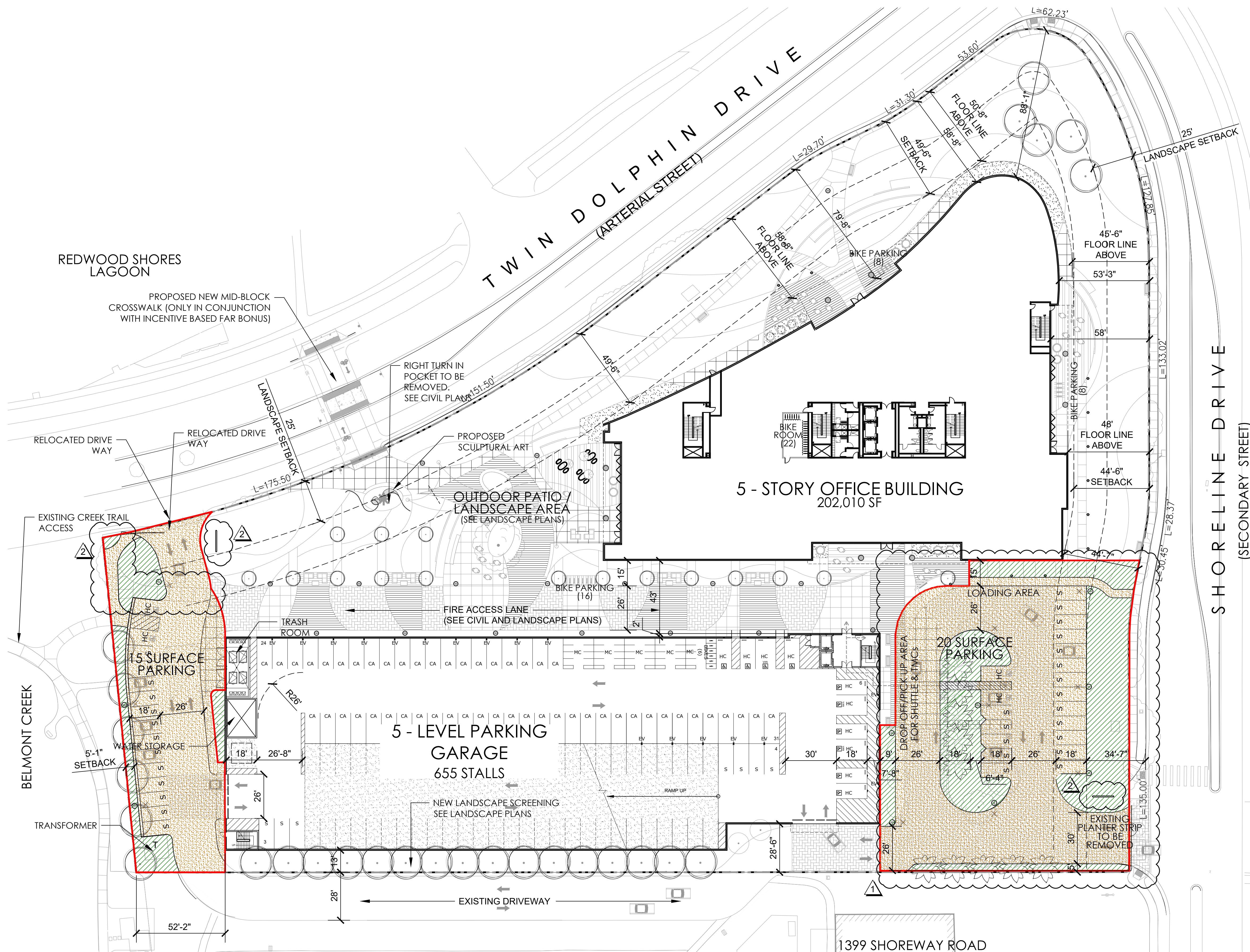
## CIRCULATION PLAN

FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)



A1.2





PARKING CALCULATIONS:		
	REQUIRED	PROVIDED
TOTAL OFFICE BUILDING PARKING	680	680
PARKING RATIO	1/300	1/300
STANDARD PARKING STALLS	536	536
HC STALLS (2%)	14	14
VAN HC STALLS	3	3
CLEAN AIR, CAR/VAN POOL AND ELECTRIC VEHICLES (10%)	68	68
EV CHARGING SPACES (8%)	55	55
MOTORCYCLE PARKING (5%)	34	36
BICYCLE PARKING	41	60
SHORT TERM	-	32
LONG TERM	-	28
BELMONT CREEK TRAIL SHARED PARKING WITH BUILDING		10
TOTAL BUILDING PARKING AND CREEK TRAIL PARKING		690

NOTE: ALL DESIGNATED CARPOOL AND VANPOOL SPACES SHALL BE CLEARLY MARKED WITH SIGNS AND PAVEMENT MARKINGS INDICATING THAT THEY ARE FOR EMPLOYEE CARPOOL AND VANPOOL ONLY.

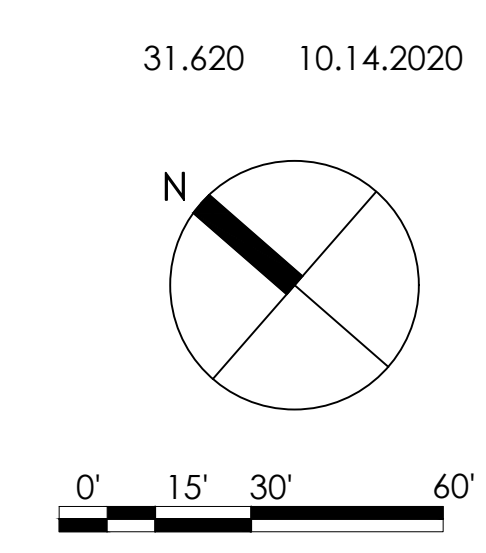
**SURFACE PARKING LOT CALCULATIONS:**

NUMBER OF SURFACE PARKING: 35  
NUMBER OF SHADE TREES REQUIRED: 7  
(1 TREE PER 5 PARKING SPACES)  
NUMBER OF SHADE TREES PROVIDED: 19 + 5 (existing)=24  
NOTE: SHADE TREES SHALL BE A MINIMUM OF 15 GALLON CAN SIZE , CONTAINED IN PLANTERS AND TREE WELLS BORDERED BY SIX INCH HIGH CONCRETE CURB OR EQUIVALENT.

SURFACE PARKING LOT AREA : **27,370 SF**  
MINIMUM % PARKING LOT IN LANDSCAPING  
REQUIRED (FOR 35 PARKING SPACES - 10%): 2,737 SF  
LANDSCAPE PROVIDED : **9,920 SF > 10%**

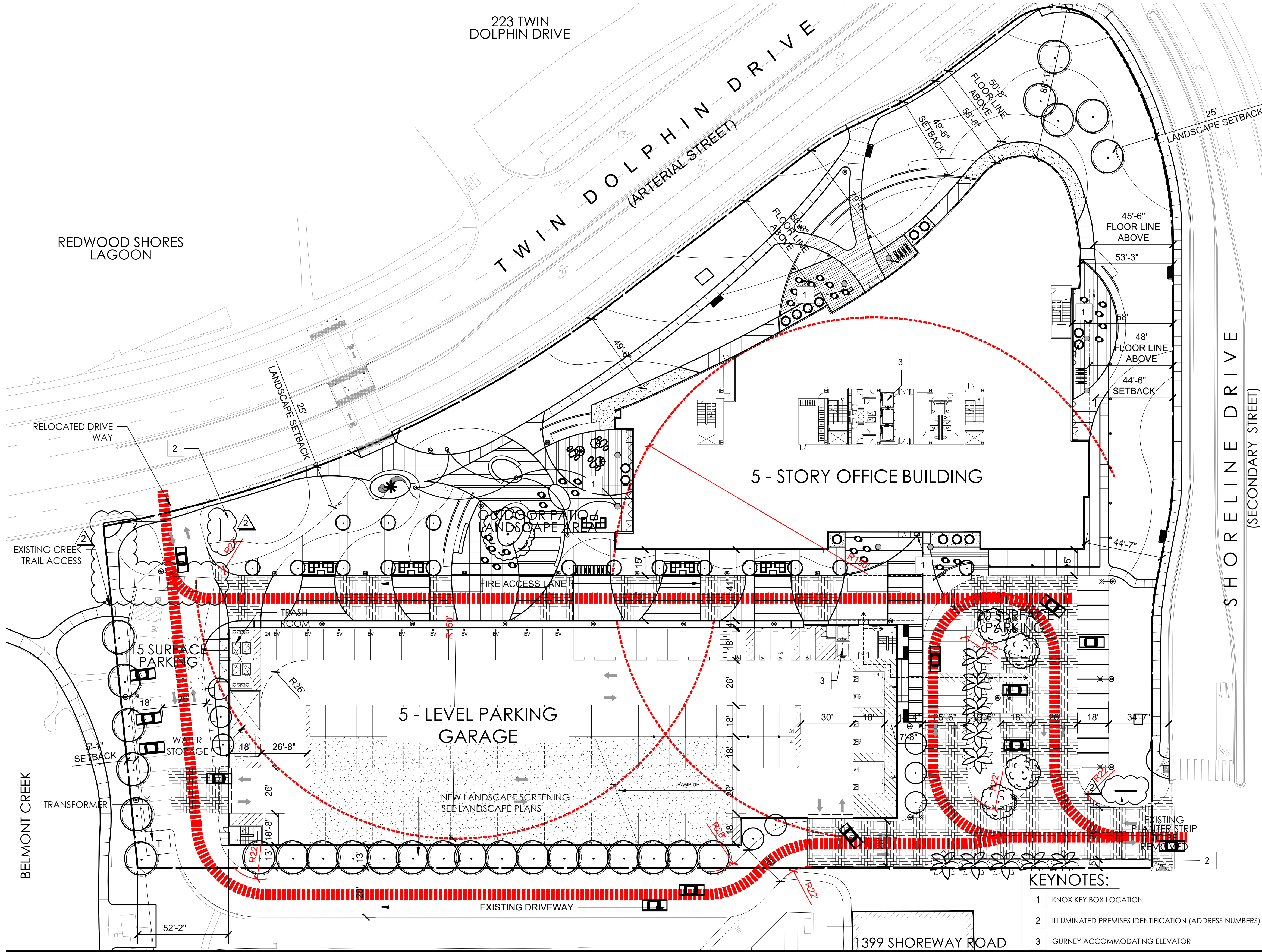
- LEGEND:**
- PARKING AREA, ACCESS DRIVES AND WALKWAY TO BE STAMPED, COLORED CONCRETE PER SHEET A1.1
  - PARKING LOT LANDSCAPE AREA
  - S STANDARD PARKING
  - HC ACCESSIBLE PARKING
  - MC MOTORCYCLE PARKING
  - BIKES BICYCLE PARKING
  - CA CLEAN AIR, CARPOOL AND VANPOOL AND ELECTRIC VEHICLE PARKING

200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



PARKING AND LANDSCAPE PLAN  
1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS  
2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)  
**A1.3**





- ### FIRE DEPARTMENT CONDITIONS:
1. A more comprehensive review of this project will take place at the time of construction permit application and there may be additional requirements.  
ACKNOWLEDGED/COMPLETED
  2. As this project is proposing to have a large occupied roof deck on the sixth floor, the height of the building exceeds 75 feet above the lowest level of fire department vehicular access and therefore shall comply with Section 403 of the 2019 California Building Code and have all of the required high-rise features incorporated into the building's design.
    - o As per section 403.3.3 of the 2019 California Building Code, a secondary "on-site" water supply shall be provided with the amount of water storage being based on the required flow of the fire protection system including hose stream requirements multiplied times 30 minutes with a minimum storage capacity of 15,000 gallons.
    - o Secondary on-site water supply details are indicated on the plan set.ACKNOWLEDGED/COMPLETED
  3. The current plan submission lists the square footage of the roof deck as 8160 square feet. At a concentrated use factor of seven square feet per person, the occupancy of the roof deck is calculated out to be 1166 persons. This occupancy load will require four exit stairs. The plans indicate only two stairwells in the central core area of the building. If the use factor used to calculate the occupancy load is a less concentrated use factor of 15, the occupancy load calculates to 544 which would require three exit stairs.
    - o Provide detailed documentation of the proposed use of the roof deck to determine the correct number of exits required, the required exiting widths, and the travel distances to the exits.
    - o The exiting analysis and two additional exit stairs are provided on the plan set referencing the use factor of 15 square feet per person which would only be applicable if the space will contain un-concentrated use of tables and chairs. If the space contains chairs that are not fixed in concentrated use, then a use factor of seven square feet per person shall be utilized to determine the occupancy load and therefore the exiting requirements.
    - o If it is determined that the more concentrated use factor of seven square feet per person is going to be utilized to determine the occupancy load of the roof deck, the proposed existing width of the stairs is not going to be adequate as the plan set indicates each stairwell will be 60 inches wide that can only accommodate 200 persons each.PER OUR TELEPHONE CONVERSATION ON FEBRUARY 8<sup>TH</sup>, 2021, THE DEVELOPER HAS AGREED TO LIMIT THE USE OF THE ROOF DECK TO 15 SF/PERSON. THE CURRENT PLANS AND EXISTING COMPLY WITH THIS USE. / COMPLETED
  4. Provide a detailed exiting analysis for the entire building that indicates the occupancy loading for all floors, the number and widths of exits, and the travel distances to access the exits from all points within the building.
    - o There are partial exit analysis indicated on multiple plan sets.EXISTING PLANS HAVE BEEN UPDATED TO SHOW A USE FACTOR OF 15 SF/PERSON FOR ALL DECK AREAS. SEE SHEETS A2.1-A2.6 / COMPLETED
  5. Emergency Responder Radio Coverage System - This project is required to have an Emergency Responder Radio Coverage System (ERRCS) installed in accordance with the California Fire Code (CFC) section 510, NFPA 1221, NFPA 72, and the CEC.
    - o The system needs to be a single campus wide system with one set of bi-directional amplifiers with coverage extended into all levels of the building and the garage.
    - o Signal distribution between buildings is typically accomplished with fiber optic cables.
    - o The plans indicate that this requirement will be a deferred submittal.ACKNOWLEDGED/COMPLETED
  6. Fire Department Knox Building Access - Knox Key boxes are required as part of this project to allow emergency access for firefighters to all building entrances. Indicate on the plans that Knox Key boxes will be provided at the entrances to all buildings at locations approved by the fire department. Recessed key boxes shall be installed at the entrances to all buildings five to six feet above finished grade. Any electric gates shall have Knox Key Switches installed as per CFC 906.
    - o The plans indicated the required Knox key boxes on the building but did not indicate if the garage will have motorized gates. If so, Knox gate switches will also be required.THE PLANS SHOW A MOTORIZED MESH SECURITY GATE AT EACH GARAGE ENTRY. KNOX KEY SWITCHES ARE PROVIDED PER CFC 906. SEE SHEET A1.1 KEYNOTE #7 / COMPLETED
  7. Aerial Fire Apparatus Access - For access to structures on-site which exceed 30 feet in height, the minimum width of the required aerial fire apparatus access lanes shall be 26 feet as per section D105 of the California Fire Code.
    - o The proposed structures exceed 30 feet.ACKNOWLEDGED/COMPLETED
  8. At least one of the required aerial fire apparatus access lanes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from each building, and shall be positioned parallel to one of the entire long access sides of each building as per CFC section D105.3.
    - o The plans indicate compliance with this requirement.ACKNOWLEDGED/COMPLETED
  9. Ensure that any architectural features such as canopies and landscaping do not impede aerial fire apparatus access to the roof of the buildings.
    - o Ensure species of trees are chosen that do not exceed the required fire access lanes.
    - o The plans indicate that the proposed trees in the aerial apparatus fire access lane between the garage and the building will be Ginkgo Biloba. According to the Urban Forest Ecosystems Institute at Cal-Poly, the proposed trees planted in an urban environment will grow to 65 feet tall by 25 feet in width and will block aerial apparatus ladder access to the roof.THE LANDSCAPE PLANS HAVE BEEN REVISED TO SHOW A SMALLER TREE SPECIES THAT COMPLY WITH THIS REQUIREMENT. SEE LANDSCAPE PLANS SHEET L-1. / COMPLETED
  10. Fire apparatus access roads shall extend to within 150 feet of all portions of the facilities and all portions of the exterior walls of the first story of the buildings as measured by approved hose pull routes around the exterior of the buildings and garage CFC 503.1.1.
    - o The plans indicate that this requirement is satisfied with the proposed fire access lanes and the City streets.ACKNOWLEDGED/COMPLETED
  11. Fire Apparatus Turn Arouds - Are required at the end of all dead end Fire Access Roads in excess of 150 feet. These turn arounds shall meet the dimensional requirements of the apparatus of the City of Redwood Fire Department CFC 502.3.5 and D103.4.
    - o The plans indicate that there are no dead end fire access lanes proposed.ACKNOWLEDGED/COMPLETED
  12. Turning radius - Turning radius of fire apparatus access roads shall meet the standards of the Redwood City Fire Department CFC 503.2.4.
    - o The plans indicate that the proposed fire access lanes meet the turning radius requirements.ACKNOWLEDGED/COMPLETED
  13. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced in asphaltic concrete or concrete so as to provide all weather driving capabilities 503.2.3.
    - o The plans indicate that stamped pervious concrete will be utilized in the aerial fire apparatus access lane between the garage and the building.
    - o Provide engineering approval that the design will support the imposed load of 75,000 pounds and the point loads of the aerial apparatus outrigger point loads.SEE ATTACHED LETTER FROM SANDIS CIVIL FOR RESPONSE / COMPLETED
  14. Available Water Supply to Project Site - Provide current fire flow information from the water purveyor to indicate the maximum available water flow in gallons per minute (GPM) at a minimum of 20 pounds per square inch (psi) residual pressure. This information must be dated and be within one year of fire flow testing.
    - o Fire flow data was provided from the existing fire hydrants but no source was listed. Fire flow data must be current from the water purveyor and be dated within one year of permit application.PER SANDIS CIVIL RESPONSE, A CURRENT FIRE FLOW TEST REPORT DATED DECEMBER 7, 2020 WAS PERFORMED AND PROVIDED BY CITY OF REDWOOD CITY ENGINEERING. THIS INFORMATION IS REFLECTED ON SHEET TM-7(A). ALSO SEE ATTACHED FIRE FLOW TEST (EXHIBIT A). IT IS WITHIN 1 YEAR. / COMPLETED
  15. Fire flow requirements for buildings and facilities shall be determined utilizing Appendix B of the CFC 507.3.
    - o Fire flow requirement was provided as 3000 GPM at 20 psi residual pressure for the garage and the building Table B105.1(C) CFC.
    - o The utility report dated March 2020 indicates the proposed construction type for the high-rise is Type-IIIb. The architectural plan set indicates the construction type will be Type-IIA. The fire flow requirement referenced above is based on the construction type being Type-IIA. If this project is proposed to be of Type-IIb construction, significantly more fire flow will be required.
    - o The revised plans indicate the construction type for both the garage and the building will be Type-IIb.CURRENT UTILITY REPORT WAS SUBMITTED 01/06/2021 WHICH SUPERSEDES THE MARCH 2020 REPORT. SEE ATTACHED LETTER FROM SANDIS CIVIL FOR DETAILED RESPONSE. / COMPLETED
  16. Number and spacing of fire hydrants are based on the required fire flow and shall adhere to Appendix C of the CFC 507.5.
    - o Fire flow requirement of 3000 GPM requires a minimum of three fire hydrants with average spacing of 400 feet between them Table C102.1 CFC.
    - o This is based on the building being built utilizing Type-IIA construction.ACKNOWLEDGED/COMPLETED
  17. Automatic Fire Sprinkler / Automatic Wet Standpipe Systems Required - As the proposed buildings are four or more stories in height all of the buildings and garage areas are required to be equipped with wet standpipe / fire sprinkler systems. Provide plans and hydraulic calculations for the design of these systems. The plans shall include interior wet standpipe connections in all of the building's stairwells with outlets on the intermediate landings with at least one extending to the roof that need to be included in the hydraulic calculations.
    - o The roof level standpipe needs to be at the top of the stairwell closest to the proposed roof deck.
    - o There is indication on the plans that this will be a deferred submittal.ACKNOWLEDGED/COMPLETED
  18. Fire Department Connections - FDC's to the fire sprinkler / standpipe systems shall be located at the fire access side of all buildings within 50 feet of a Fire Hydrant on the same side of the road.
    - o This requirement needs to be a part of the fire sprinkler / wet standpipe system plan submittal.
    - o The plans indicate that the proposed locations of the FDC's are within 50 feet of fire hydrants.ACKNOWLEDGED/COMPLETED
  19. Fire Alarm Systems Required - UL Central Station fully addressable fire alarm systems are required in all buildings meeting NFPA 72. Provide plans and voltage drop calculations for the design of these systems.
    - o There is indication that the fire alarm plans are a deferred submittal.ACKNOWLEDGED/COMPLETED
  20. Premises Identification (Address Numbers) - Indicate on the plans where the illuminated premises identification (address) will be located and the size (minimum 12") in a contrasting background facing the street from which the building takes the address CFC 905.
    - o The plans indicate the locations of two address monuments but not the prescriptive requirements listed above.BUILDING ADDRESSES WILL SHOW ON FUTURE MONUMENT SIGNS AND HAVE BEEN ADDED TO BUILDING ELEVATIONS. SEE SHEETS A3.2-A3.4 AND A4.3. THESE NEW BUILDING ADDRESS SIGNS ON ELEVATIONS EXCEED 12" MINIMUM. / COMPLETED
  21. Gurney Accommodating Elevator Requirement - Elevators in buildings that are four stories or more shall provide for fire department emergency access to all floors. At least one elevator car in each building shall be of such a size and arrangement to accommodate an ambulance gurney 24 inches by 84 inches with not less than 6-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical service. The symbol shall not be less than 3 inches high and shall be placed inside on both sides of the hoist-way door frame CFC 3002.4.
    - o The plans indicate that one elevator in the garage and one in the building will accommodate a gurney.ACKNOWLEDGED/COMPLETED
  22. All of the requirements of the Redwood City Municipal Code Section 12.23 need to be incorporated into the building with the exception of the Firefighter's Communication System as this project is required to install an approved ERRCS. The requirements include Emergency Planning signage, Public Address System, and Fire Equipment Cache rooms.
    - o These requirements are not indicated or acknowledged on the plan set.THESE REQUIREMENTS HAVE BEEN ADDED TO THE DRAWINGS ON SHEET A1.4, "FIRE DEPARTMENT CONDITIONS" / COMPLETED
  23. Portable Fire Extinguishers Required - Portable fire extinguishers, with a minimum classification of 2A:10BC are required to be permanently installed in all buildings within 75 feet of travel from all portions of the building in compliance with NFPA 10 and CFC 906.
    - o The plans acknowledge this requirement but do not indicate the proposed locations. The locations of the required fire extinguishers can be a part of the permit application subject to verification by the fire inspector.ACKNOWLEDGED/COMPLETED

200 TWIN DOLPHIN DRIVE

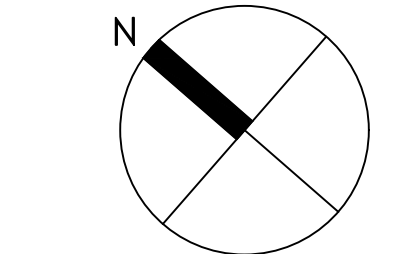
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

FIRE ACCESS PLAN AND  
DEPARTMENT CONDITIONS

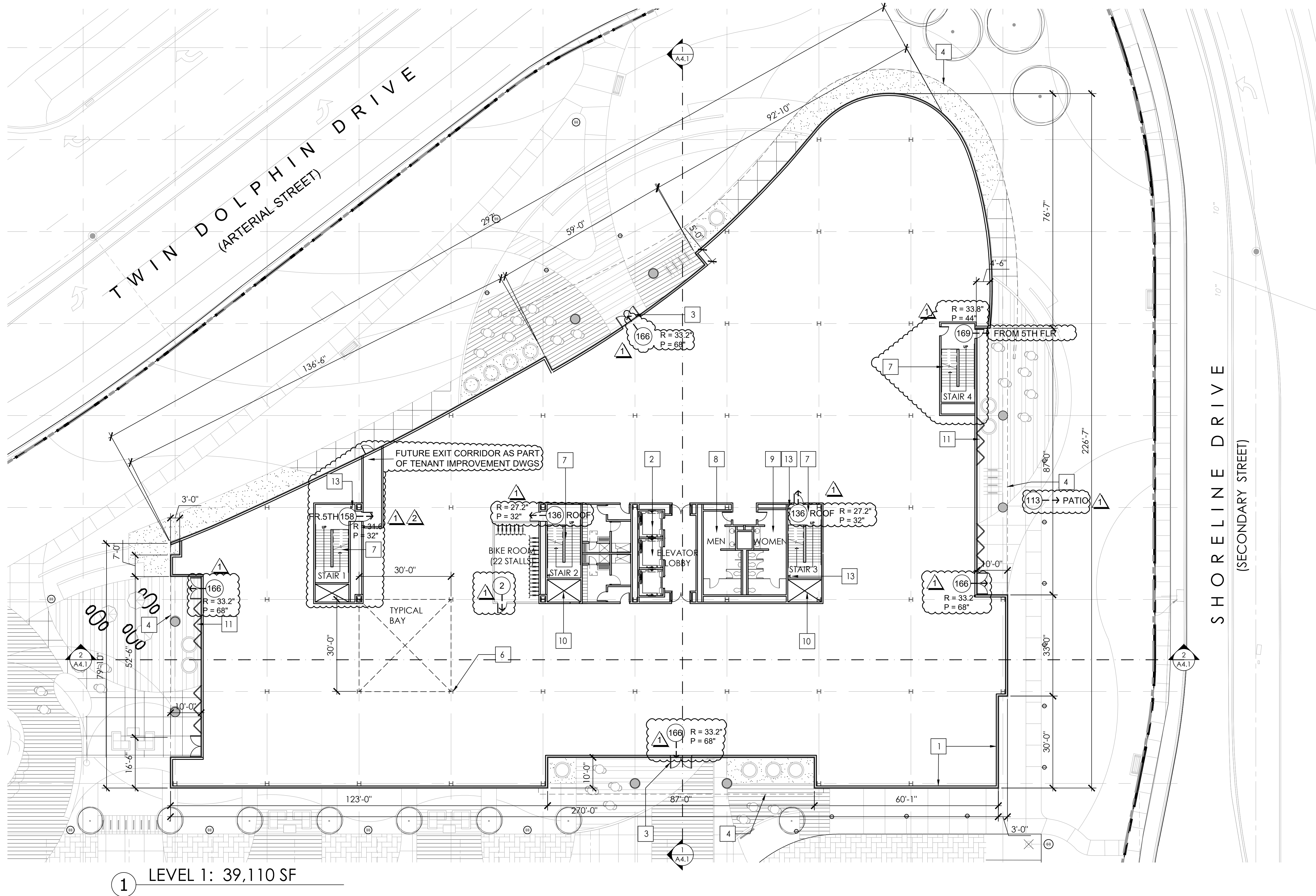
31.620 10.14.2020



FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)

A1.4





- KEYNOTES:**
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 ELEVATORS
  - 3 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
  - 4 LINE OF BUILDING ABOVE
  - 5 LINE OF BUILDING BELOW
  - 6 STRUCTURAL COLUMN
  - 7 EXIT STAIRS
  - 8 MEN'S RESTROOM
  - 9 WOMEN'S RESTROOM
  - 10 UTILITY CHASE
  - 11 SLIDING FOLDING DOOR W/ CLEAR GLAZING
  - 12 EXIT FROM EXTERIOR DECK
  - 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM
  - 14 PARAPET WITH GLASS PARTITIONS FOR WIND BARRIER PER WIND ASSESSMENT REPORT

**OCCUPANT LOAD & EXITING**

OFFICE SPACE	34,763 SF / 150 SF =
OCCUPANCY B	232 OCCUPANTS
BIKE ROOM	402 SF/300 SF = 2

EXITING INTO OFFICE SPACE FROM STAIRS:  
STAIR 1 158 MAX. OCC. IS FROM 5th  
STAIR 2 136 MAX. OCC. IS FROM ROOF  
STAIR 3 136 MAX. OCC. IS FROM ROOF

TOTAL EXITING FROM 1ST FLOOR =  
232 + 158 + 136 + 136 + 2 = 664 (3 EXITS)  
EXITS PROVIDED: 4 @ 166 OCC. EACH.

STAIR 4 EXITS DIRECTLY OUT = 169 (MAX. OCC FROM 5TH)

PATIO 1,682 SF / 15 SF = 113 OCC.  
PATIO IS OPEN FOR FREE EXIT'G

**LEGEND**

- 12 → INDICATES NUMBER OF OCCUPANTS EXITING EA. DOOR
- R DOOR WIDTH REQ'D BY OCC LOAD
- P DOOR WIDTH PROVIDED

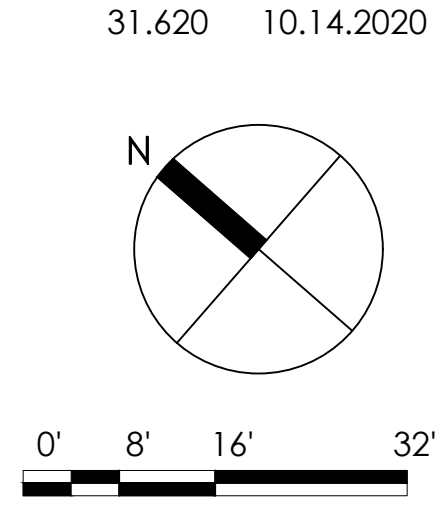
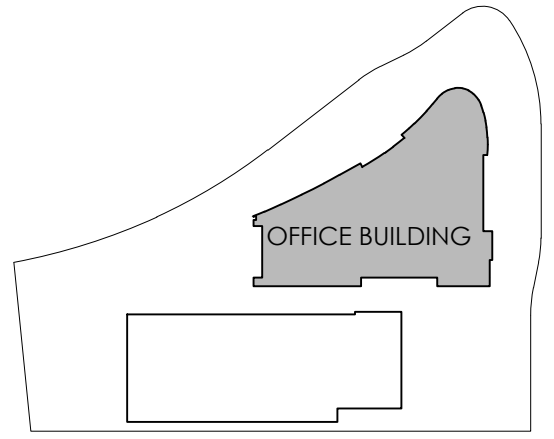
**NOTES**

ALL STAIRS ARE 60" WIDE & ALLOW FOR 200 OCCUPANTS EACH, WHICH IS GREATER THAN REQUIRED BY EXITING LOADS.

EXITS FROM STAIRS WILL BE INTO FUTURE EXIT CORRIDORS DESIGNED AS PART OF THE TENANT IMPROVEMENT PERMIT SUBMITTAL.

TRAVEL DISTANCE TO EXITS ON EACH FLOOR WILL BE SHOWN AT THE TIME OF TENANT IMPROVEMENT DOCUMENTS BEING SUBMITTED FOR PERMIT.

200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

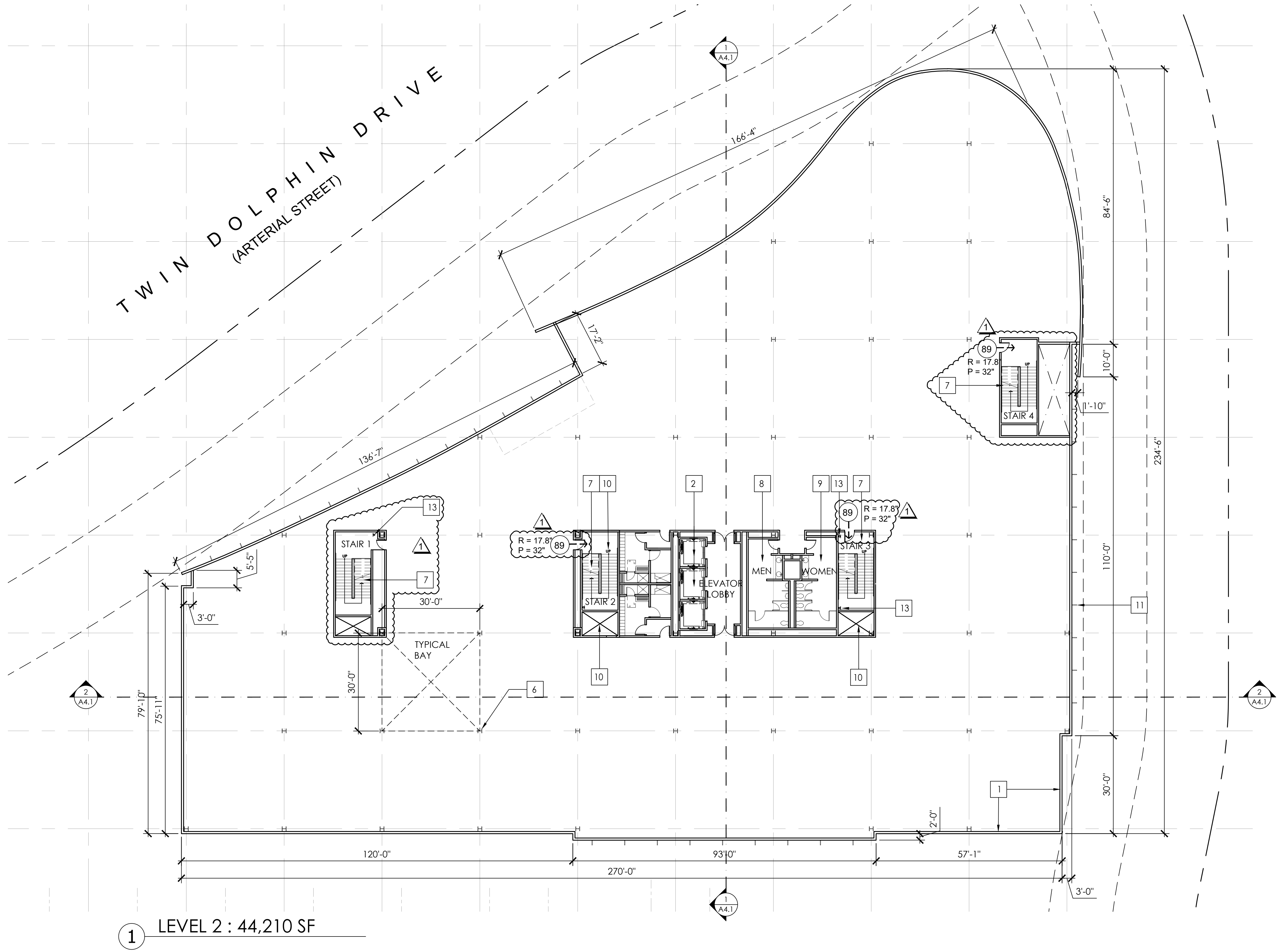


**FIRST FLOOR PLAN**

- 1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS
- 2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A2.1





1 LEVEL 2 : 44,210 SF

**KEYNOTES:**

- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 ELEVATORS
- 3 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 4 LINE OF BUILDING ABOVE
- 5 LINE OF BUILDING BELOW
- 6 STRUCTURAL COLUMN
- 7 EXIT STAIRS
- 8 MEN'S RESTROOM
- 9 WOMEN'S RESTROOM
- 10 UTILITY CHASE
- 11 GLASS FINS
- 12 EXIT FROM EXTERIOR DECK
- 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM
- 14 PARAPET WITH GLASS PARTITIONS FOR WIND BARRIER PER WIND ASSESSMENT REPORT

**OCCUPANT LOAD & EXITING:**

OFFICE SPACE OCCUPANCY B 39,974 SF / 150 SF = 267 OCCUPANTS

**EXITING INTO STAIRS:**

STAIR 2	89 OCC.
STAIR 3	89 OCC.
STAIR 4	89 OCC.

**LEGEND**

12 → INDICATES NUMBER OF OCCUPANTS EXITING EA. DOOR

**R** DOOR WIDTH REQ'D BY OCC LOAD

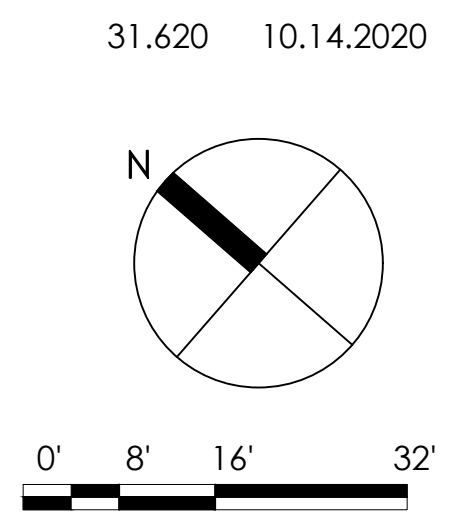
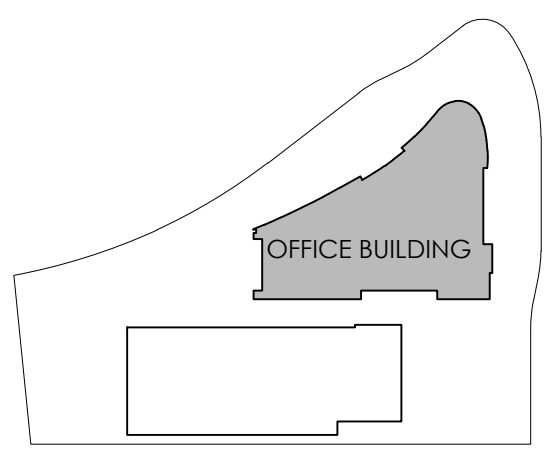
**P** DOOR WIDTH PROVIDED

**NOTES**

ALL STAIRS ARE 60" WIDE & ALLOW FOR 200 OCCUPANTS EACH , WHICH IS GREATER THAN REQUIRED BY EXITING LOADS.

EXITS FROM STAIRS WILL BE INTO FUTURE EXIT CORRIDORS DESIGNED AS PART OF THE TENANT IMPROVEMENT PERMIT SUBMITTAL..

200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



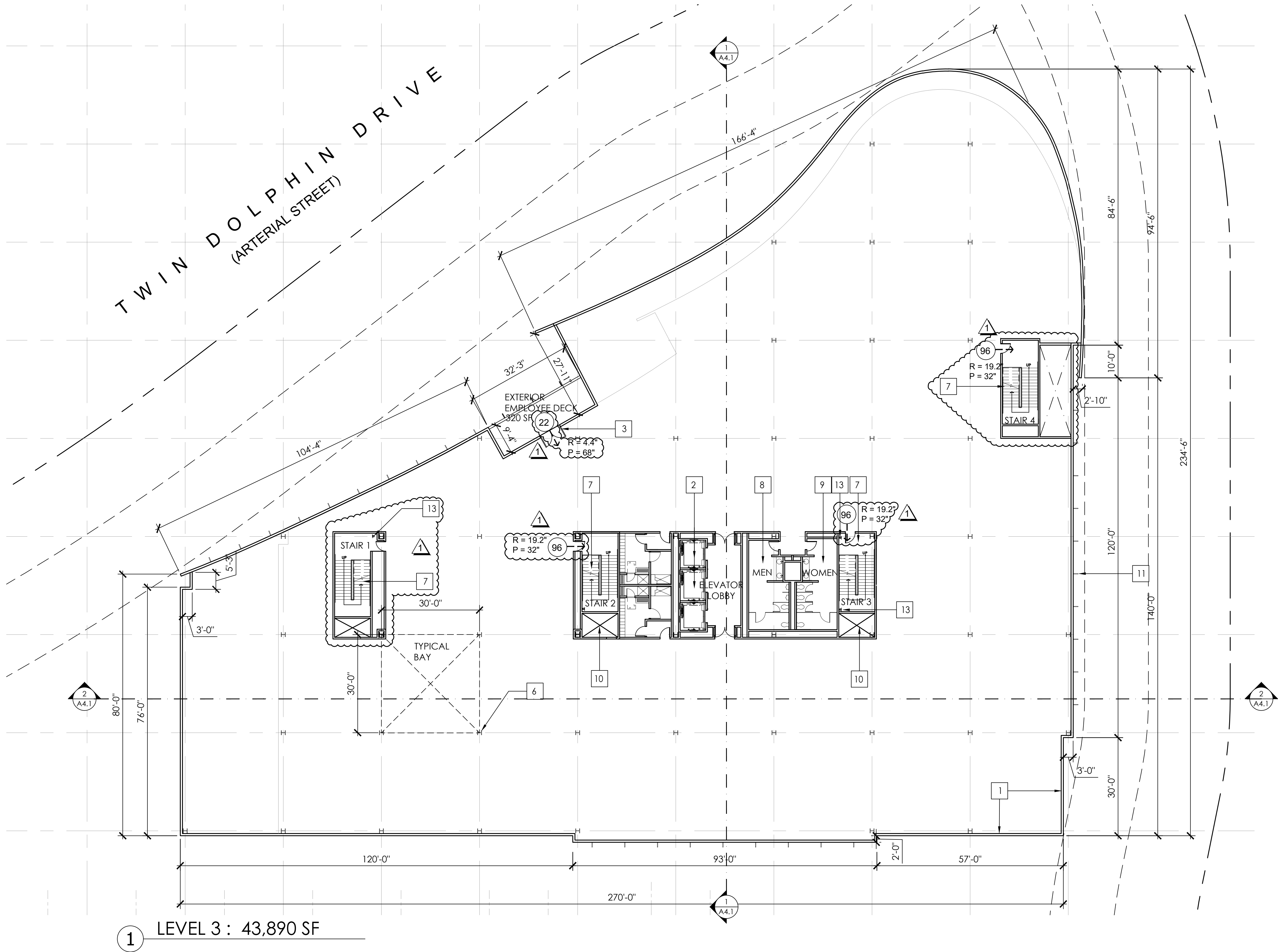
**SECOND FLOOR PLAN**

1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS

2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A2.2





- KEYNOTES:
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 ELEVATORS
  - 3 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
  - 4 LINE OF BUILDING ABOVE
  - 5 LINE OF BUILDING BELOW
  - 6 STRUCTURAL COLUMN
  - 7 EXIT STAIRS
  - 8 MEN'S RESTROOM
  - 9 WOMEN'S RESTROOM
  - 10 UTILITY CHASE
  - 11 GLASS FINS
  - 12 EXIT FROM EXTERIOR DECK
  - 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM
  - 14 PARAPET WITH GLASS PARTITIONS FOR WIND BARRIER PER WIND ASSESSMENT REPORT

**OCCUPANT LOAD & EXITING:**

OFFICE SPACE 39,654 SF / 150 SF = 265 OCCUPANTS  
OCCUPANCY B

EXITING INTO OFFICE SPACE FROM DECK:  
320 SF DECK/15 SF = 22 OCC.

TOTAL EXITING TO STAIRS FROM 3RD FLOOR:  
265 + 22 = 287  
STAIR 2 96 OCC.  
STAIR 3 96 OCC.  
STAIR 4 96 OCC.

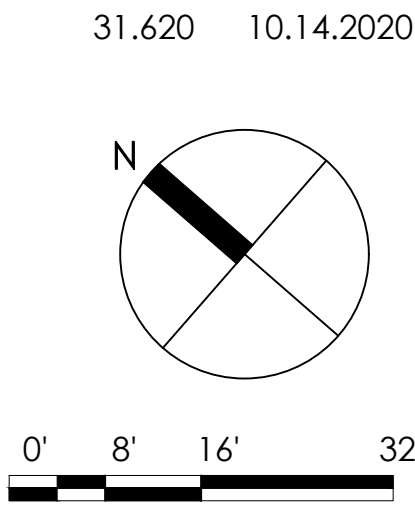
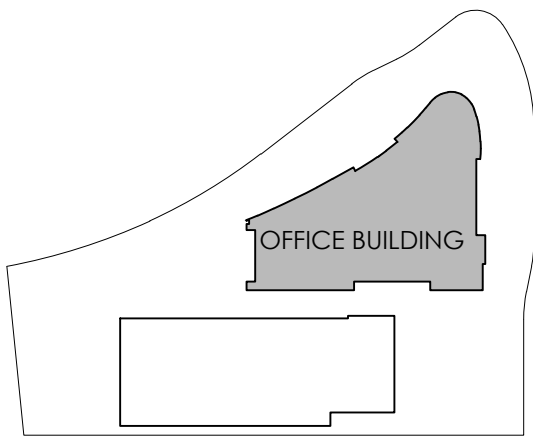
- LEGEND**
- 12 → INDICATES NUMBER OF OCCUPANTS EXITING EA. DOOR
  - R DOOR WIDTH REQ'D BY OCC LOAD
  - P DOOR WIDTH PROVIDED

**NOTES**

ALL STAIRS ARE 60" WIDE & ALLOW FOR 200 OCCUPANTS EACH , WHICH IS GREATER THAN REQUIRED BY EXITING LOADS.

EXITS FROM STAIRS WILL BE INTO FUTURE EXIT CORRIDORS DESIGNED AS PART OF THE TENANT IMPROVEMENT PERMIT SUBMITTAL.

200 TWIN DOLPHIN DRIVE  
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



**THIRD FLOOR PLAN**

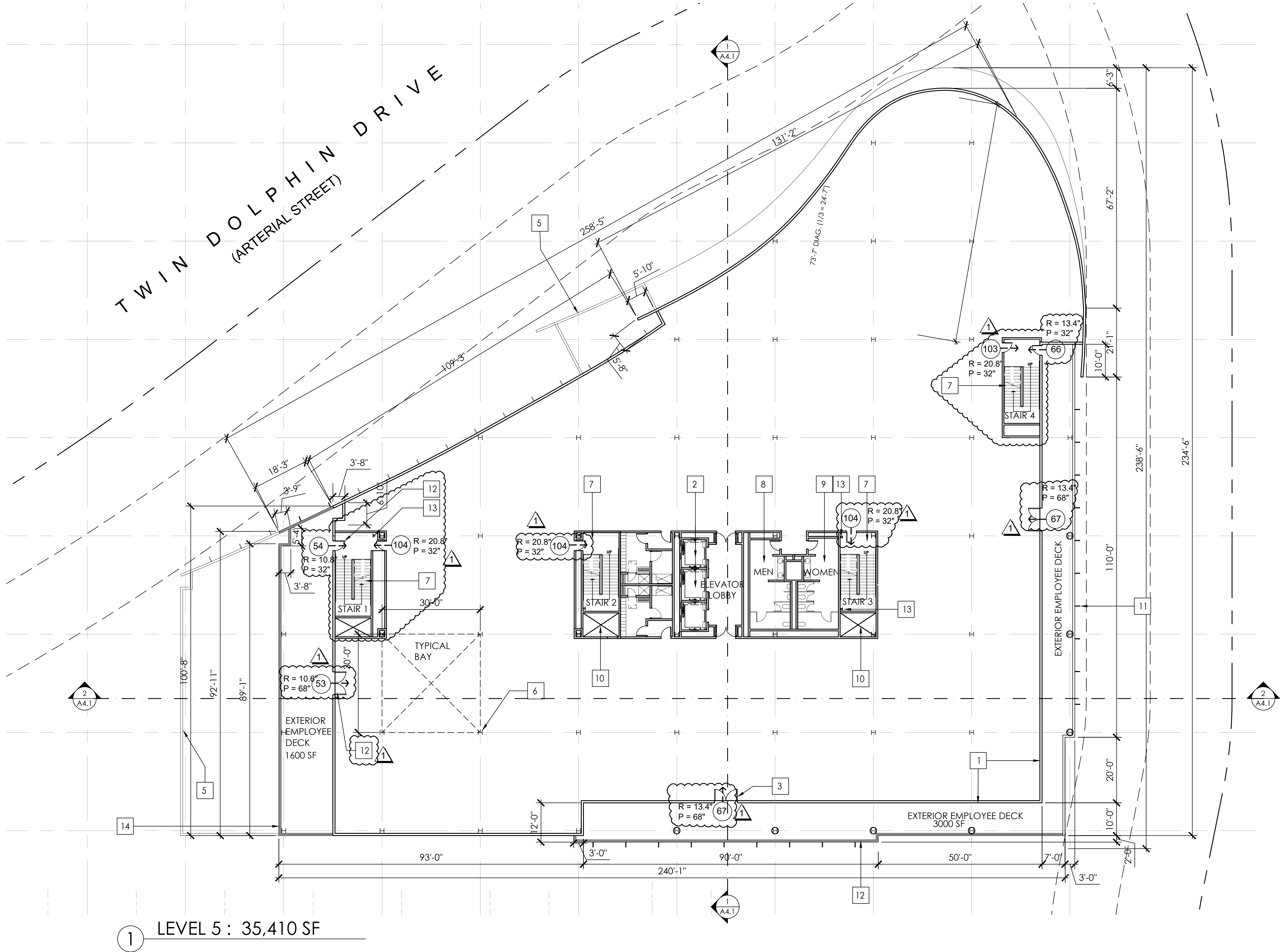
1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS  
2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A2.3









- KEYNOTES:
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 ELEVATORS
  - 3 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
  - 4 LINE OF BUILDING ABOVE
  - 5 LINE OF BUILDING BELOW
  - 6 STRUCTURAL COLUMN
  - 7 EXIT STAIRS
  - 8 MEN'S RESTROOM
  - 9 WOMEN'S RESTROOM
  - 10 UTILITY CHASE
  - 11 GLASS FINS
  - 12 EXIT FROM EXTERIOR DECK
  - 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM
  - 14 PARAPET WITH GLASS PARTITIONS FOR WIND BARRIER PER WIND ASSESSMENT REPORT

OCCUPANT LOAD & EXITING

OFFICE SPACE 34,165 SF / 150 SF =  
OCCUPANCY B 228 OCCUPANTS

EXITING INTO OFFICE SPACE FROM DECKS:  
1,600 SF DECK/15 SF = 107 OCC.  
53 INTO SPACE; 54 INTO STAIR 1  
3,000 SF DECK/15 SF = 200 OCC.  
134 INTO SPACE; 66 INTO STAIR 4

TOTAL EXITING TO STAIRS FROM 5TH FLOOR:  
228 + 53 + 134 = 371 OCC.  
STAIR 1 104 OCC. +54 FR. DECK = 158  
STAIR 2 104 OCC.  
STAIR 3 104 OCC.  
STAIR 4 103 OCC. +66 FR. DECK = 169

DIRECT EXIT TO STAIR 1 = 54 FROM DECK.  
DIRECT EXIT TO STAIR 4 = 66 FROM DECK.

LEGEND

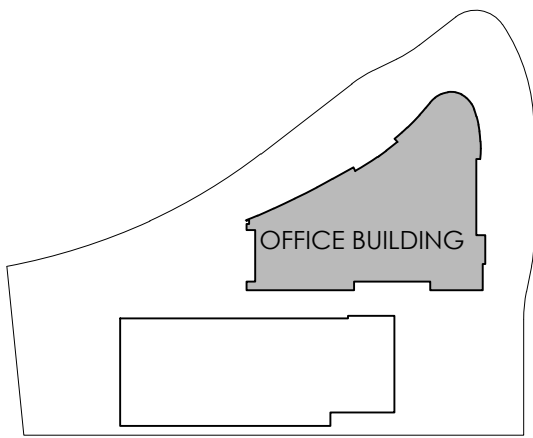
- 12 → INDICATES NUMBER OF OCCUPANTS EXITING EA. DOOR
- R DOOR WIDTH REQ'D BY OCC LOAD
- P DOOR WIDTH PROVIDED

NOTES

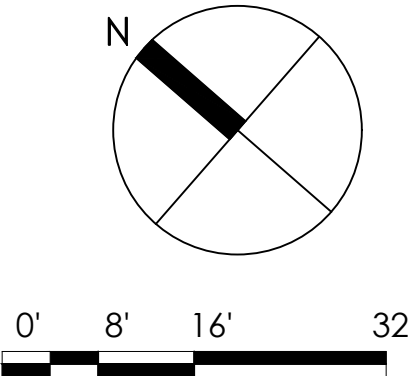
ALL STAIRS ARE 60" WIDE & ALLOW FOR 200 OCCUPANTS EACH , WHICH IS GREATER THAN REQUIRED BY EXITING LOADS.  
EXITS FROM STAIRS WILL BE INTO FUTURE EXIT CORRIDORS DESIGNED AS PART OF THE TENANT IMPROVEMENT PERMIT SUBMITTAL.

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

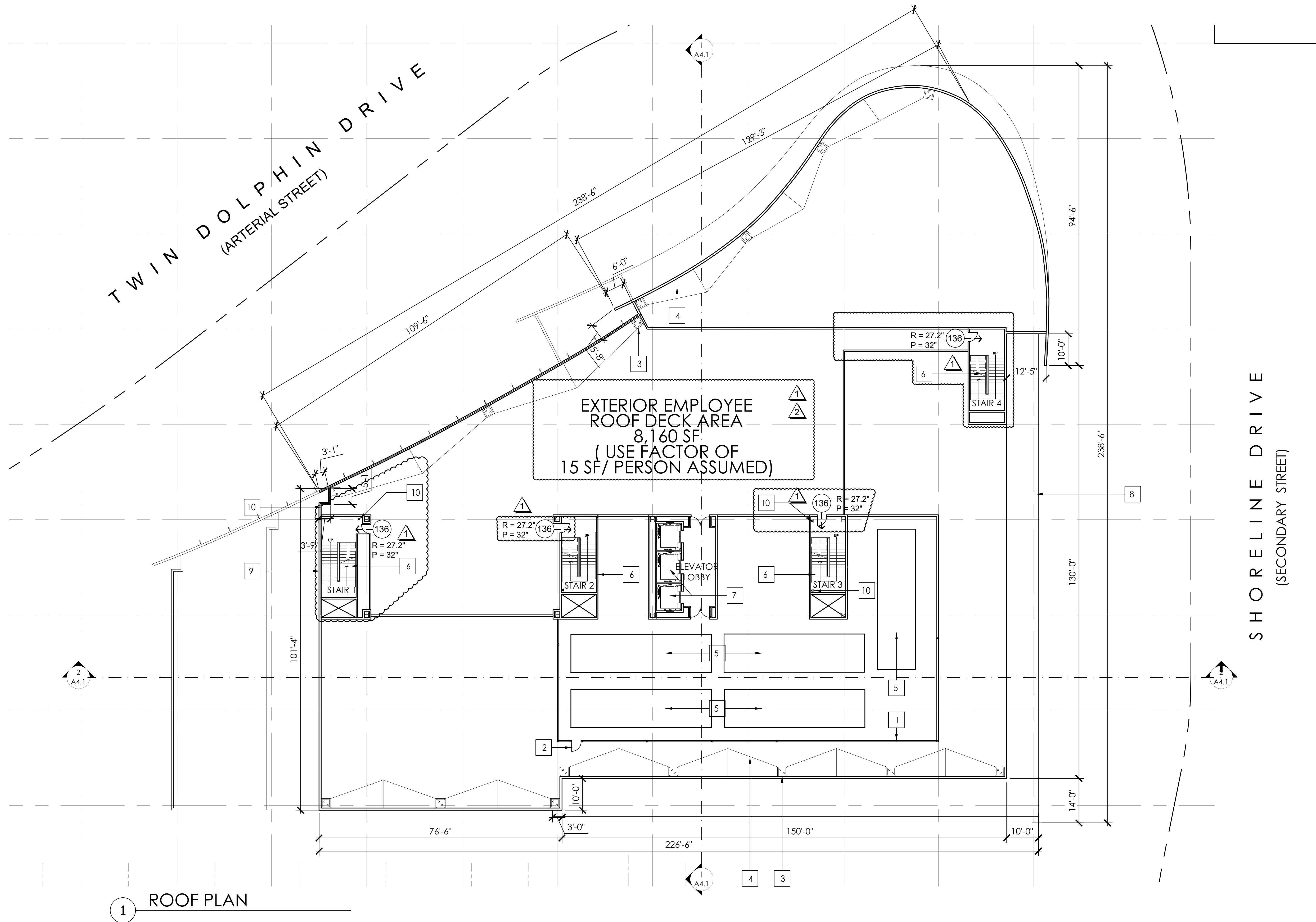


FIFTH FLOOR PLAN

- 1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS
- 2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A2.5



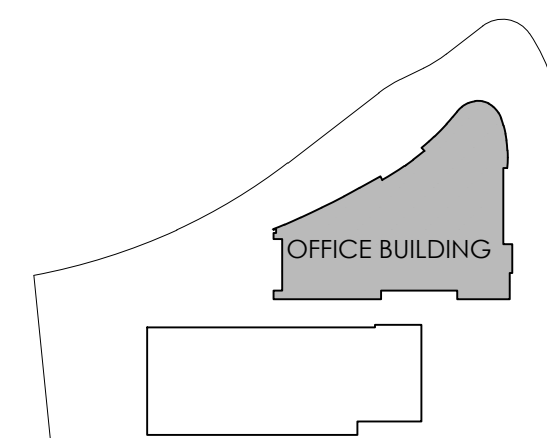


# 200 TWIN DOLPHIN DRIVE

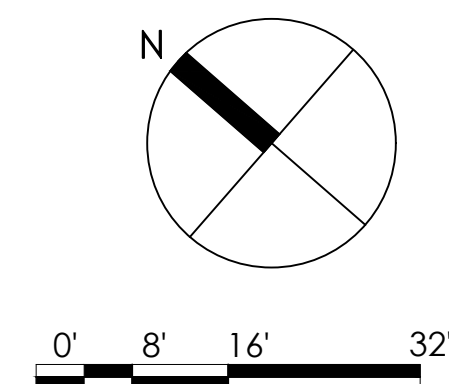
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

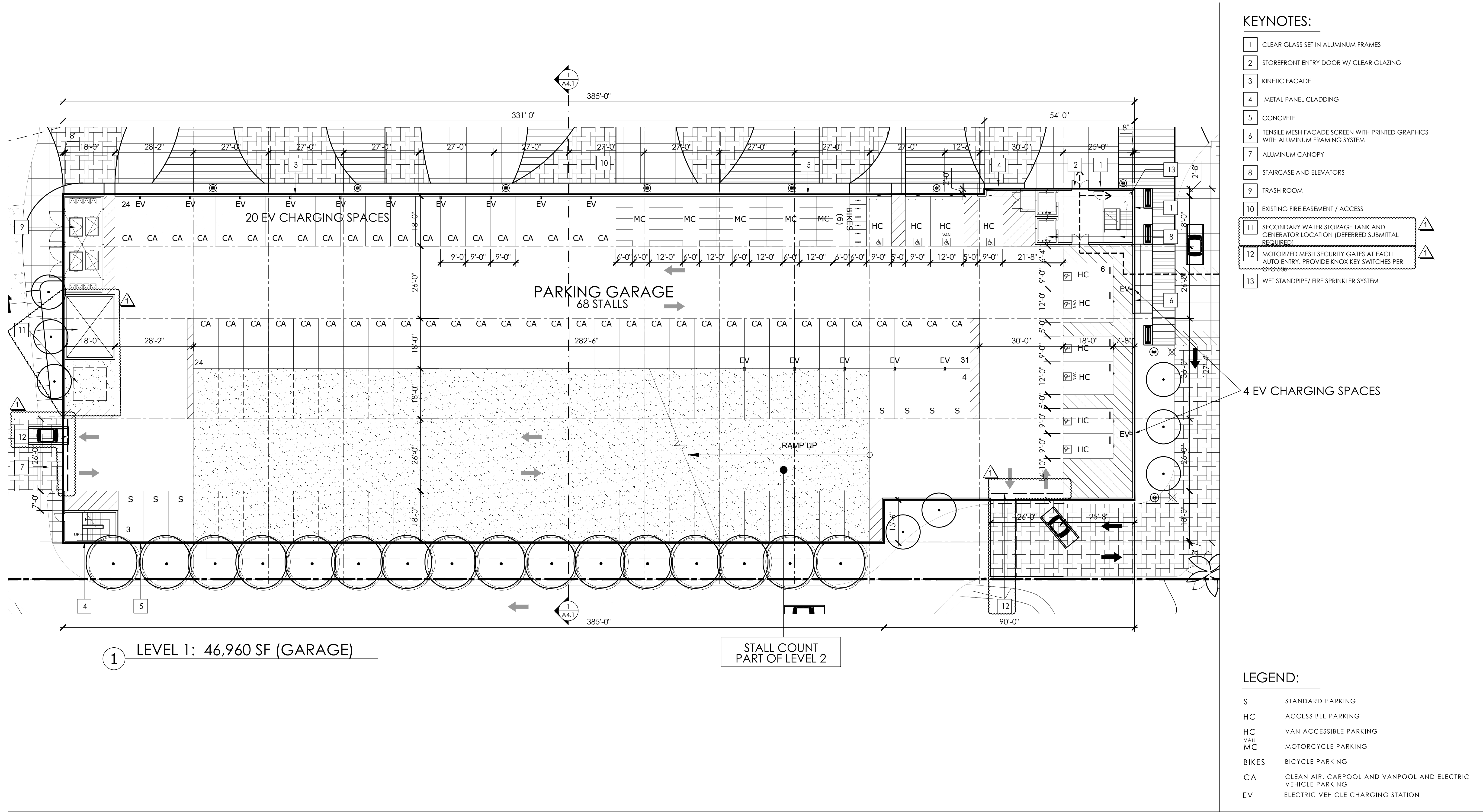


## ROOF PLAN

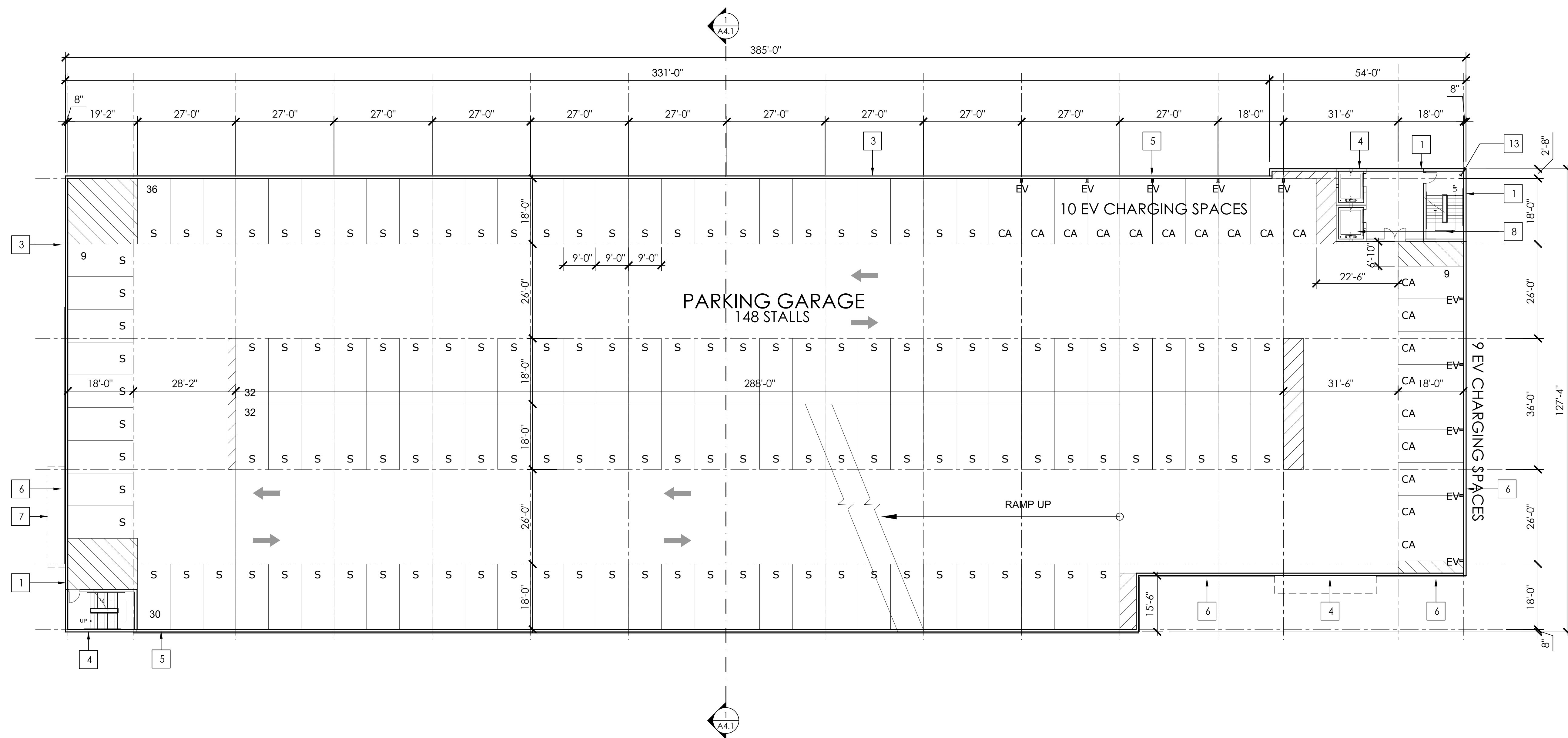
- 1 JANUARY 4, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS
- 2 FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

# A2.6





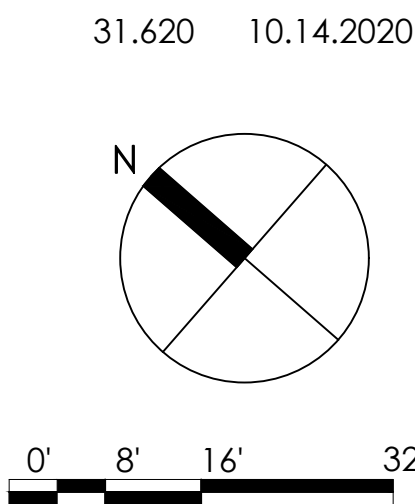
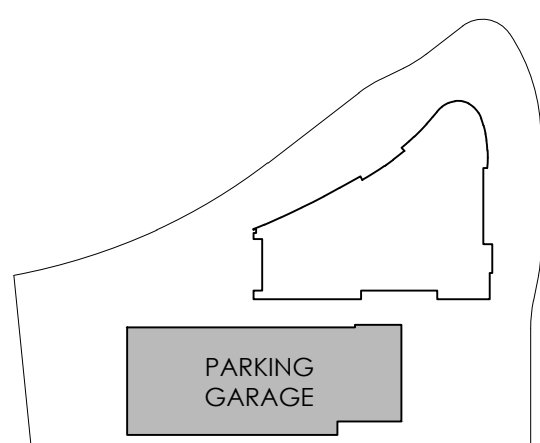




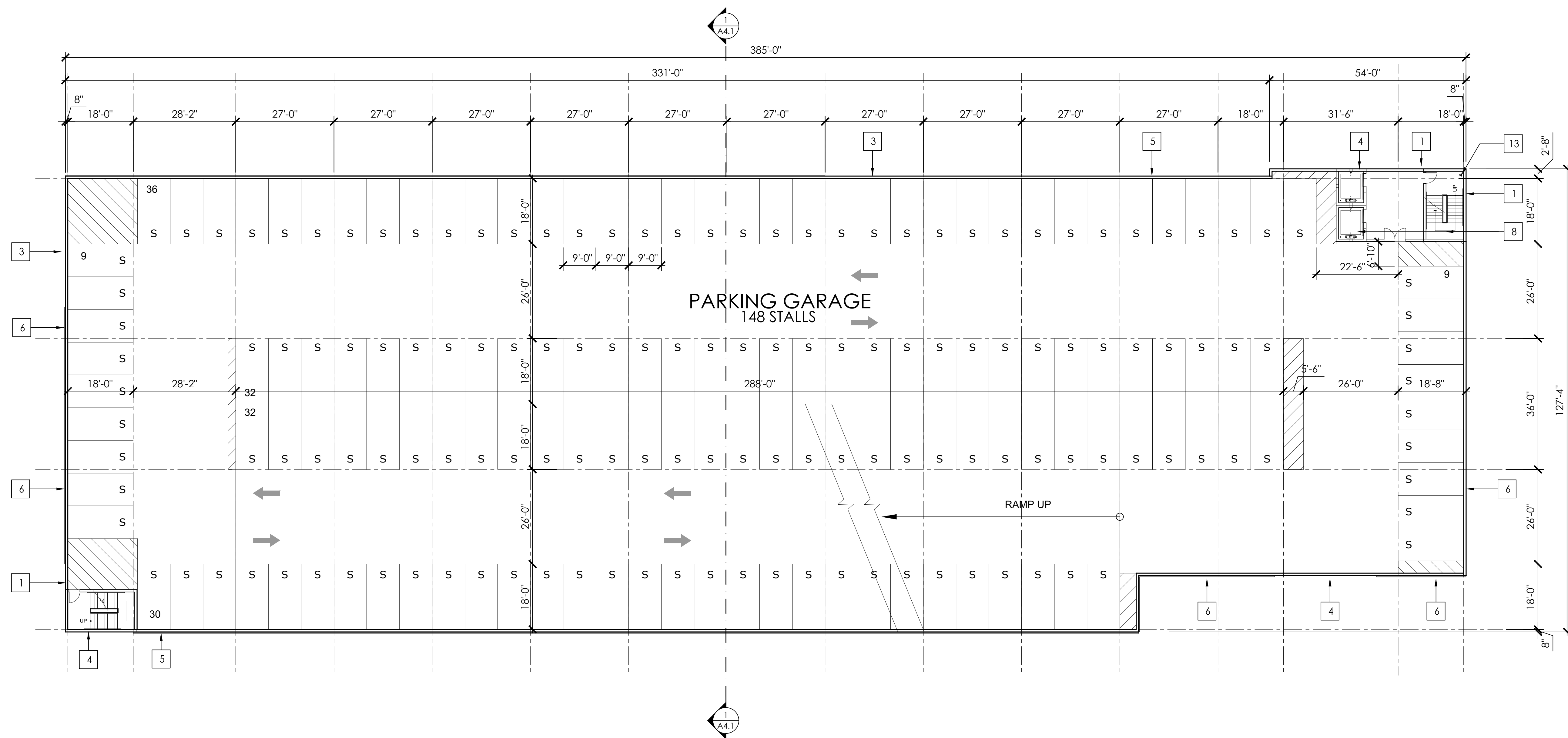
- KEYNOTES:**
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
  - 3 KINETIC FACADE
  - 4 METAL PANEL CLADDING
  - 5 CONCRETE
  - 6 TENSILE MESH FACADE SCREEN WITH PRINTED GRAPHICS WITH ALUMINUM FRAMING SYSTEM
  - 7 ALUMINUM CANOPY
  - 8 STAIRCASE AND ELEVATORS
  - 9 TRASH ROOM
  - 10 EXISTING FIRE EASEMENT / ACCESS
  - 11 SECONDARY WATER STORAGE TANK AND GENERATOR LOCATION (DEFERRED SUBMITTAL REQUIRED)
  - 12 MOTORIZED MESH SECURITY GATES AT EACH AUTO ENTRY. PROVIDE KNOX KEY SWITCHES PER CFC 506
  - 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM

1 LEVEL 2 : 46,960 SF (GARAGE)

- LEGEND:**
- S STANDARD PARKING
  - HC ACCESSIBLE PARKING
  - HC VAN ACCESSIBLE PARKING
  - MC MOTORCYCLE PARKING
  - BIKES BICYCLE PARKING
  - CA CLEAN AIR, CARPOOL AND VANPOOL AND ELECTRIC VEHICLE PARKING
  - EV ELECTRIC VEHICLE CHARGING STATION







1 LEVEL 3 : 46,960 SF (GARAGE)

KEYNOTES:

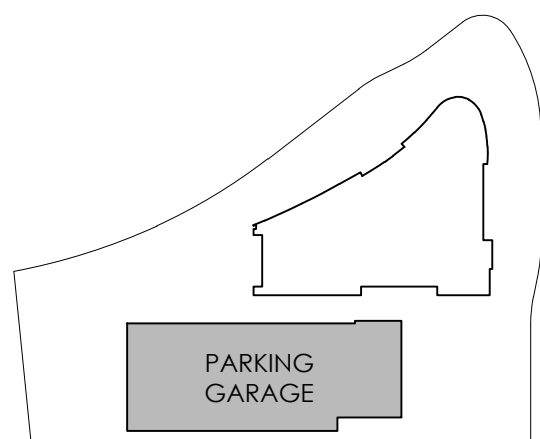
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 KINETIC FACADE
- 4 METAL PANEL CLADDING
- 5 CONCRETE
- 6 TENSILE MESH FACADE SCREEN WITH PRINTED GRAPHICS WITH ALUMINUM FRAMING SYSTEM
- 7 ALUMINUM CANOPY
- 8 STAIRCASE AND ELEVATORS
- 9 TRASH ROOM
- 10 EXISTING FIRE EASEMENT / ACCESS
- 11 SECONDARY WATER STORAGE TANK AND GENERATOR LOCATION (DEFERRED SUBMITTAL REQUIRED)
- 12 MOTORIZED MESH SECURITY GATES AT EACH AUTO ENTRY. PROVIDE KNOX KEY SWITCHES PER CFC 506
- 13 WET STANDPIPE/ FIRE SPRINKLER SYSTEM

LEGEND:

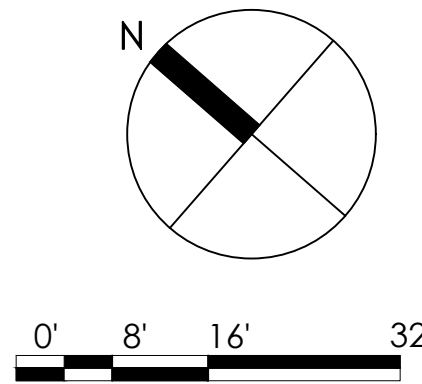
- S STANDARD PARKING
- HC ACCESSIBLE PARKING
- HC VAN ACCESSIBLE PARKING
- MC MOTORCYCLE PARKING
- BIKES BICYCLE PARKING
- CA CLEAN AIR, CARPOOL AND VANPOOL AND ELECTRIC VEHICLE PARKING
- EV ELECTRIC VEHICLE CHARGING STATION

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



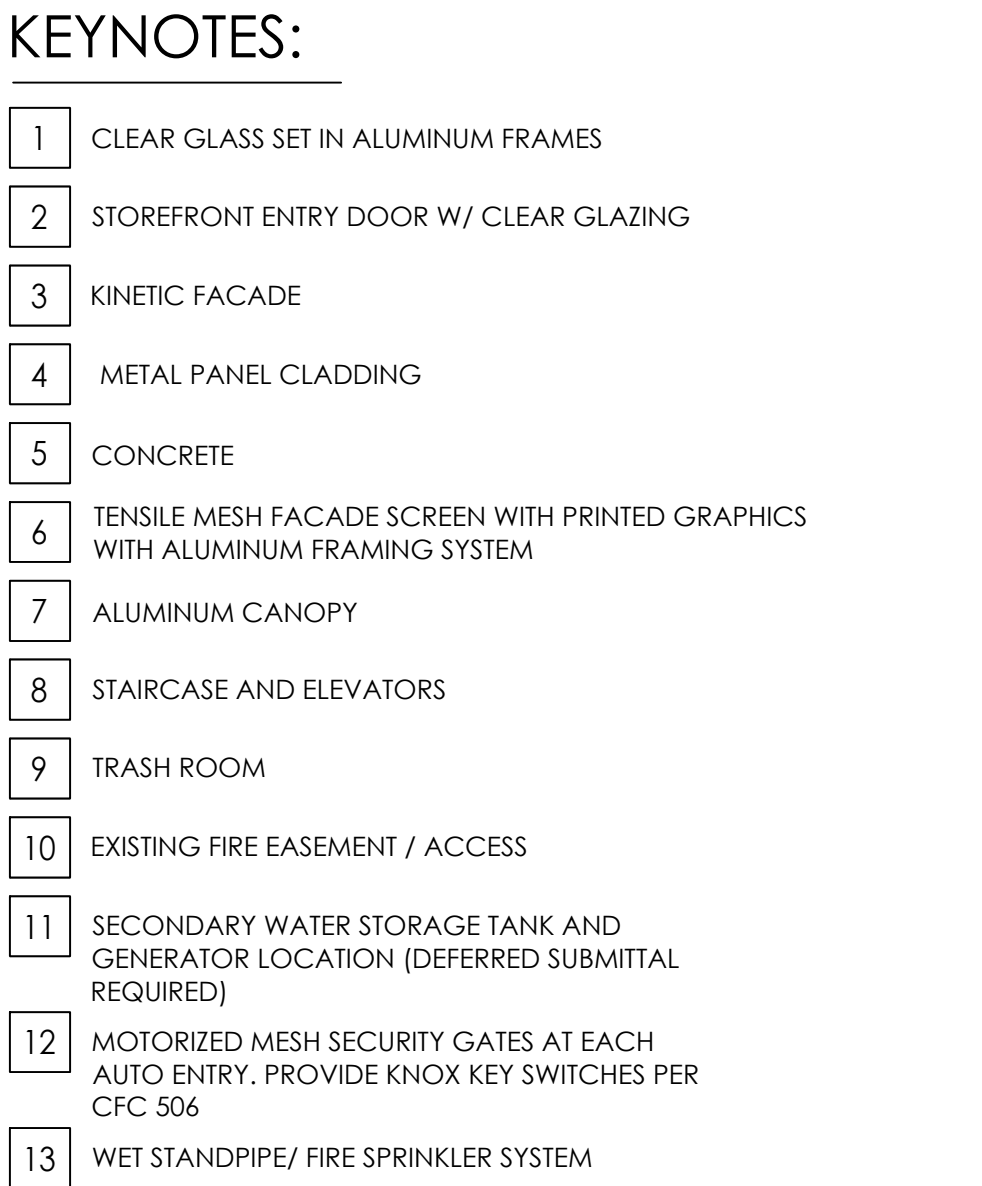
31.620 10.14.2020



GARAGE PLAN LEVEL 3-4

A2.9





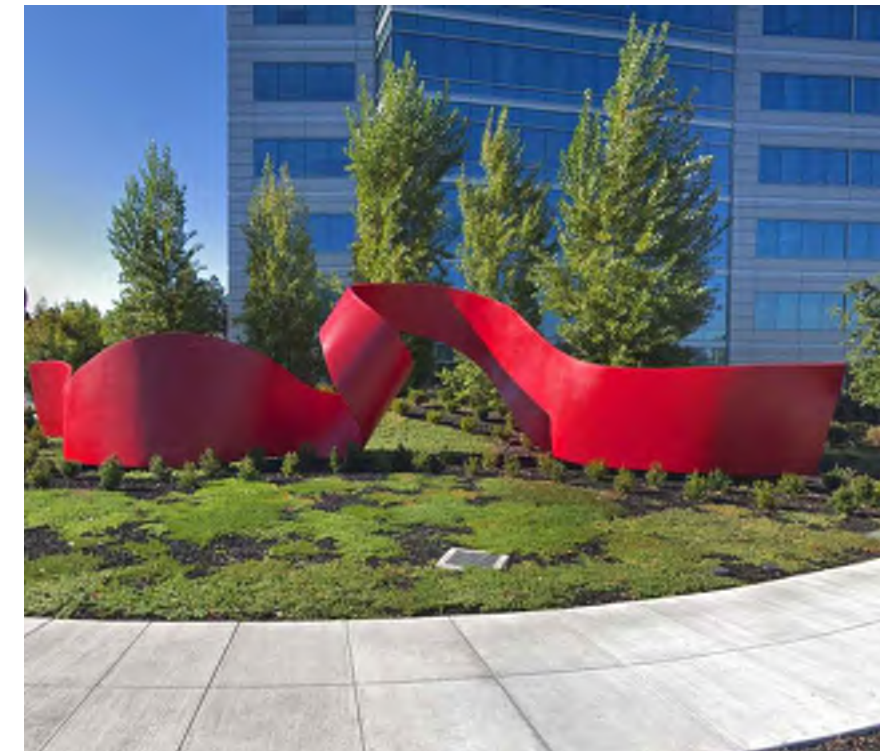
## LEGEND:

S	STANDARD PARKING
HC	ACCESSIBLE PARKING
HC VAN	VAN ACCESSIBLE PARKING
MC	MOTORCYCLE PARKING
BIKES	BICYCLE PARKING
CA	CLEAN AIR, CARPOOL AND VANPOOL AND ELECTRIC VEHICLE PARKING
EV	ELECTRIC VEHICLE CHARGING STATION





1. OUTDOOR SEATING AND LANDSCAPING 2. PUBLIC ART SCULPTURE



3. TENSILE STRUCTURE CANOPY



4. FACADE MATERIALS AND FORM STUDY



5. FACADE MATERIALS AND STEPPING FLOORS



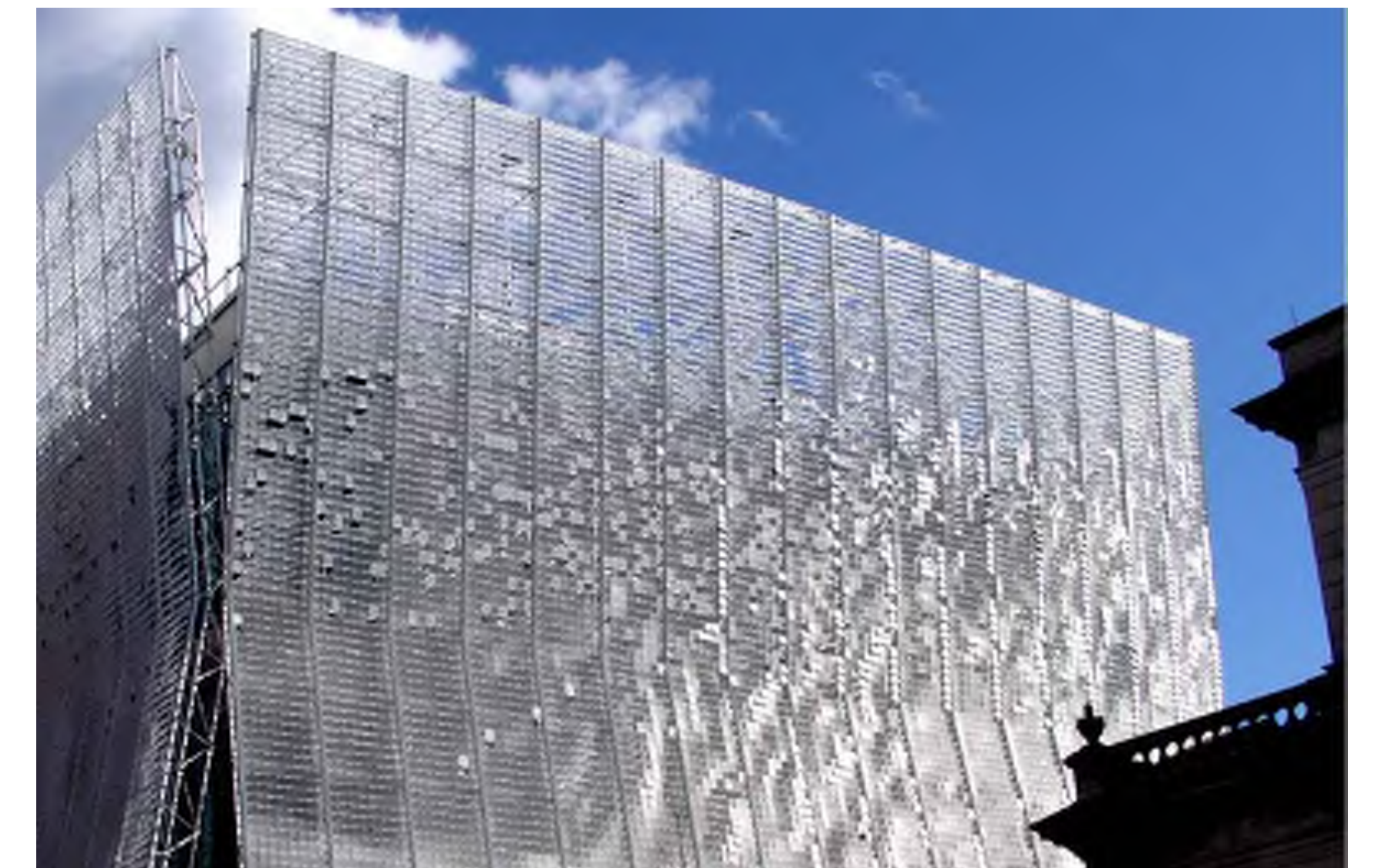
6. ROOF AND EXTERIOR EMPLOYEE DECKS



7. PARKING GARAGE PRINTED SCREEN



8. KINETIC WALL



# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

31.620 10.14.2020

DESIGN IMAGERY

FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)

A3.0



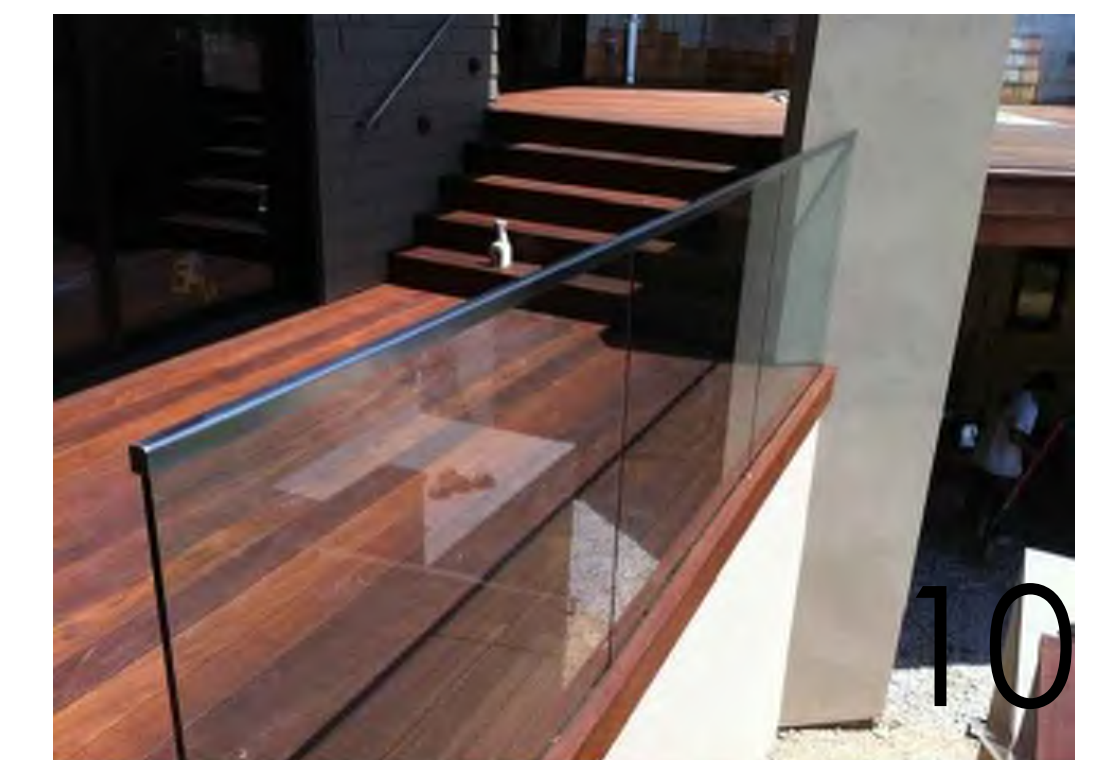
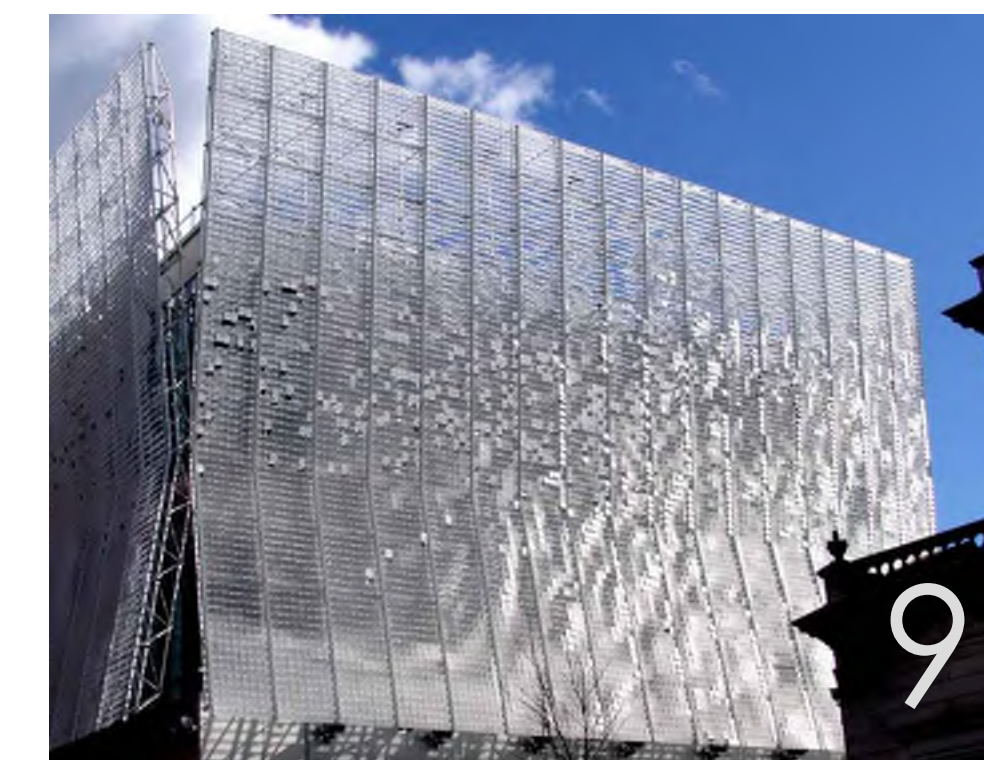
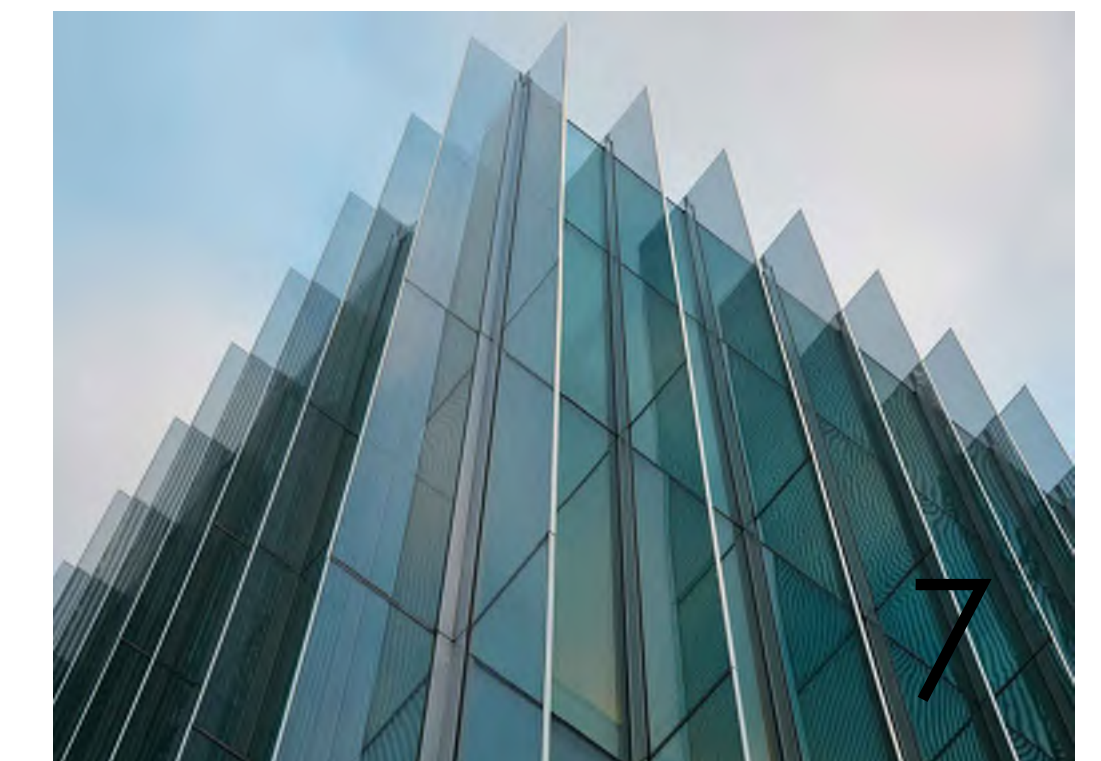
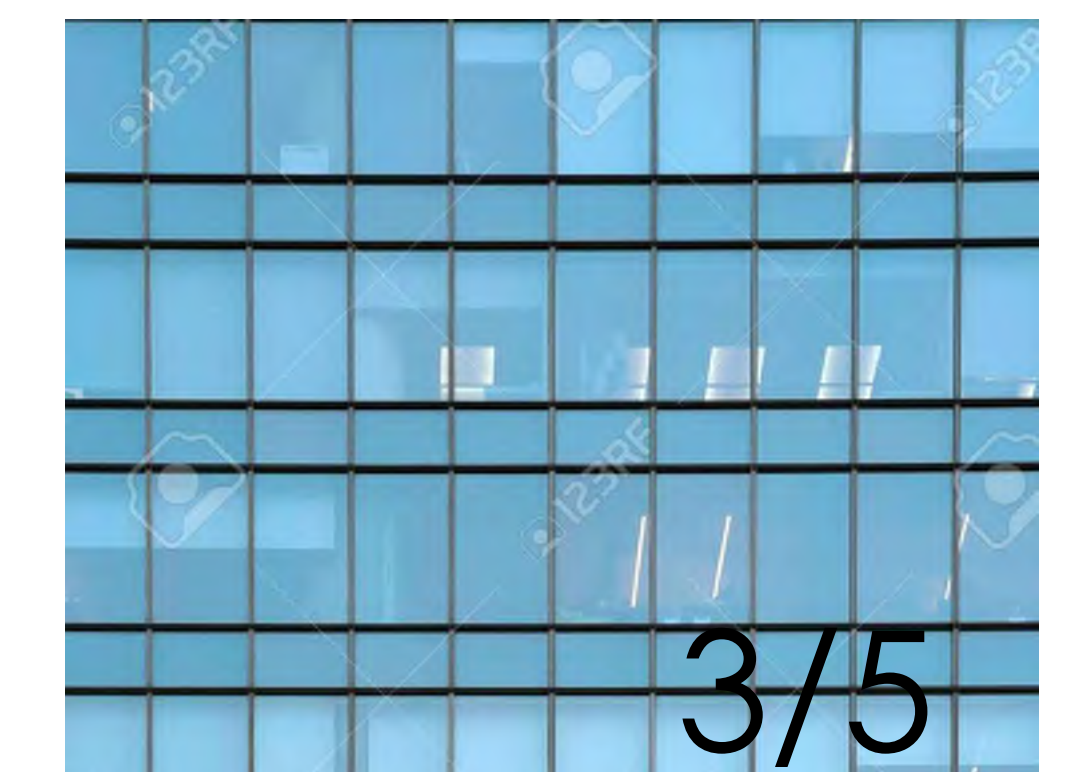
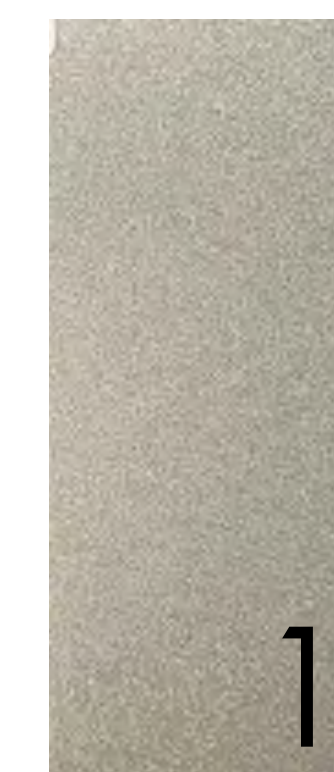


1 NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION



2 EAST ELEVATION/ SHORELINE DR ELEVATION

- 3 MATERIAL AND COLOR SCHEDULE
- |  |  |
|--|--|
| 1 METAL CLADDING - ALUCOBOND - METAL PANEL - COLOR: MOONSTONE METALLIC - PVDF/FEVE | 7 GLASS FINIS - W&W GLASS, LLC - PILKINGTON PLANAR ADVANTAGES                            |
| 2 BUTT JOINT CLEAR GLAZING - GUARDIAN ULTRACLEAR LOW IRON GLASS                    | 8 MESH SCREEN - STRUCTURFLEX - FLEX FACADES - PES VENTILATED MESH - CUSTOM TREE GRAPHICS |
| 3 FROSTED SPANDREL GLASS 1 - GUARDIAN DECO HT SPANDREL GLASS - COLOR: GRAY         | 9 KINETIC WALL - EXTECH - KINETICWALL DYNAMIC FACADE                                     |
| 4 FROSTED SPANDREL GLASS 2 - GUARDIAN DECO HT SPANDREL GLASS - COLOR: WHITE        | 10 CLEAR GLASS RAILING SYSTEM - GUARDIAN ULTRACLEAR LOW IRON GLASS                       |
| 5 CLEAR GLASS - GUARDIAN ULTRACLEAR LOW IRON GLASS                                 | 11 SAIL CANOPY - COLOUR TREE - RIGHT TRIANGLE SUN SHADE SAIL CANOPY - COLOR: TURQUOISE   |
| 6 CLEAR GRAY GLASS - GUARDIAN GLASS - SUNGUARD COATINGS - COLOR: GRAY              | 12 SLIDING GLASS WALL - NANAWALL - ALUMINUM FRAMED FOLDING GLASS WALL - SL60             |

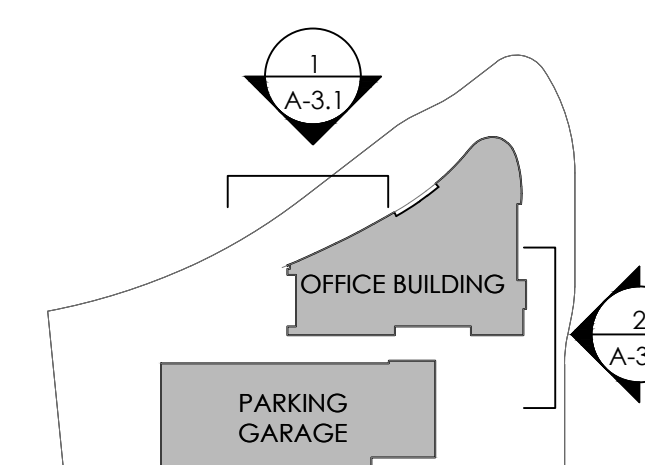


# 200 TWIN DOLPHIN DRIVE

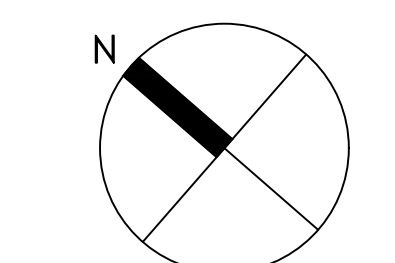
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

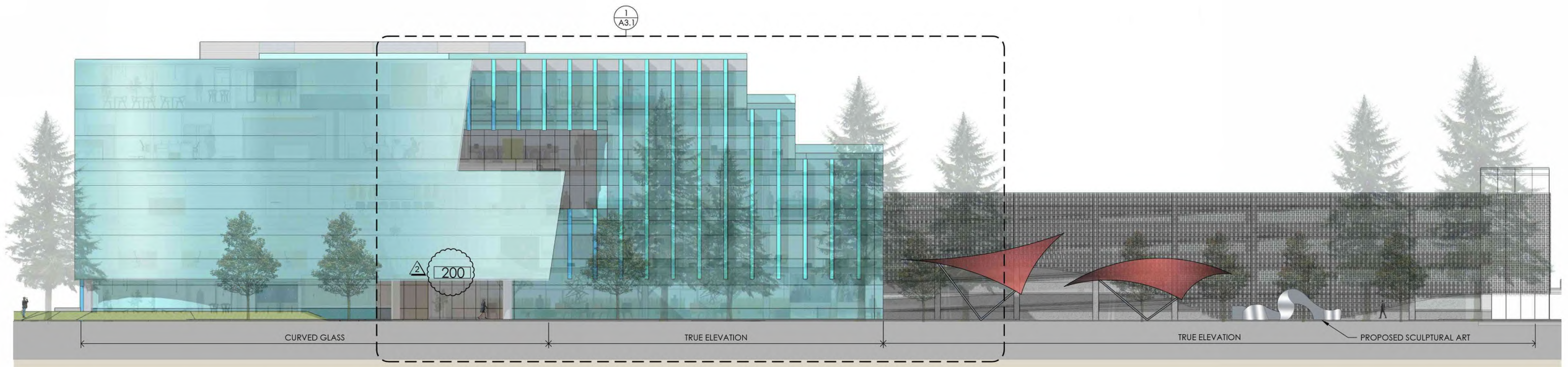


0' 4' 8' 16'

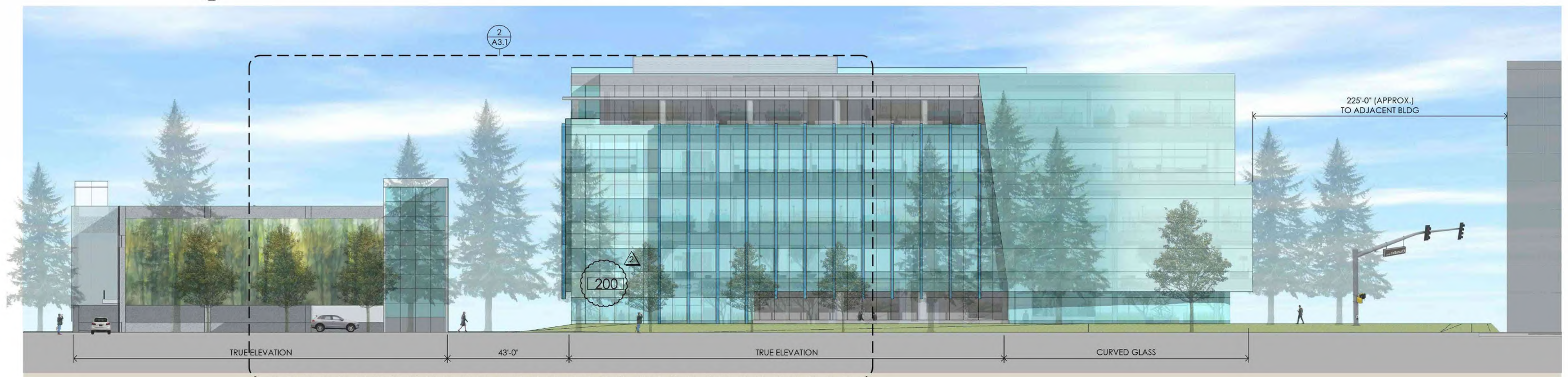
MATERIALS AND FINISHES

A3.1





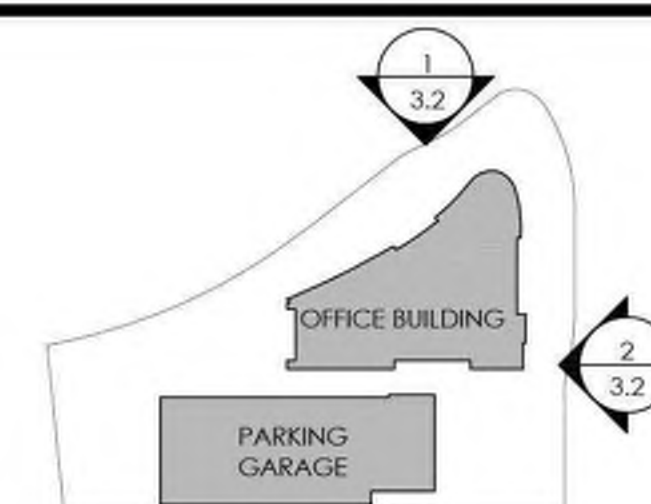
① NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION



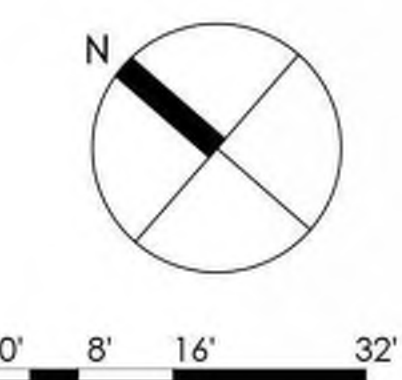
② EAST ELEVATION / SHORLINE DRIVE ELEVATION

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

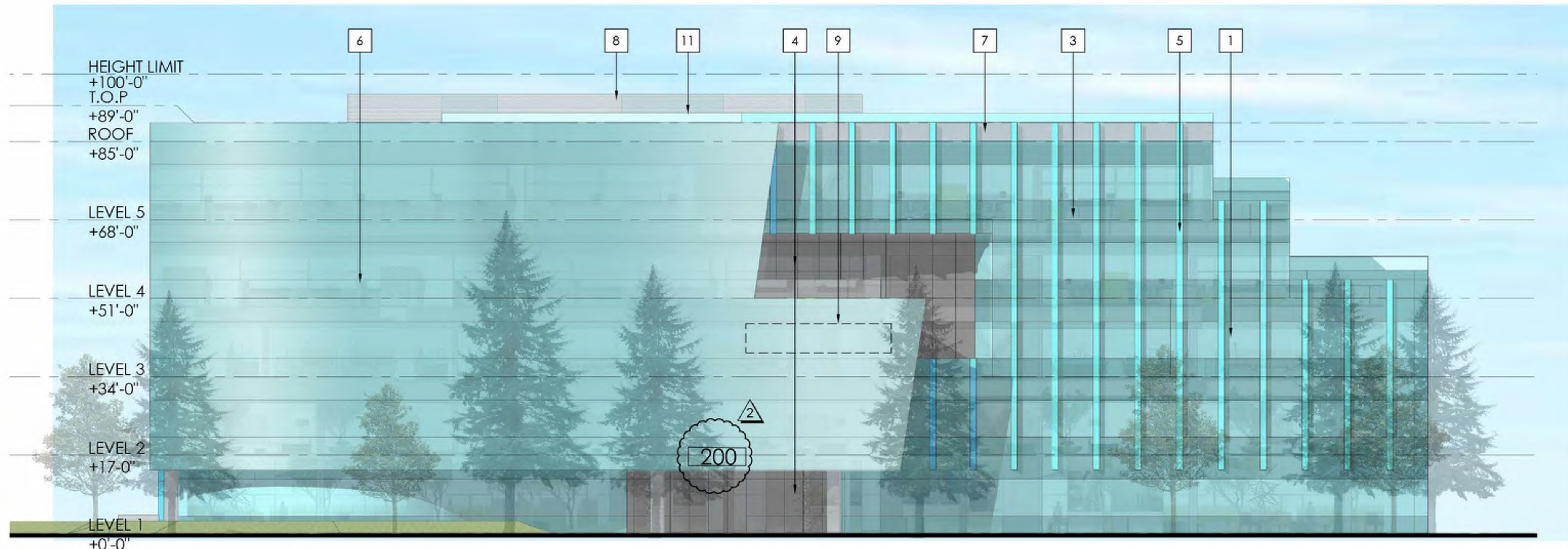


## SITE ELEVATIONS

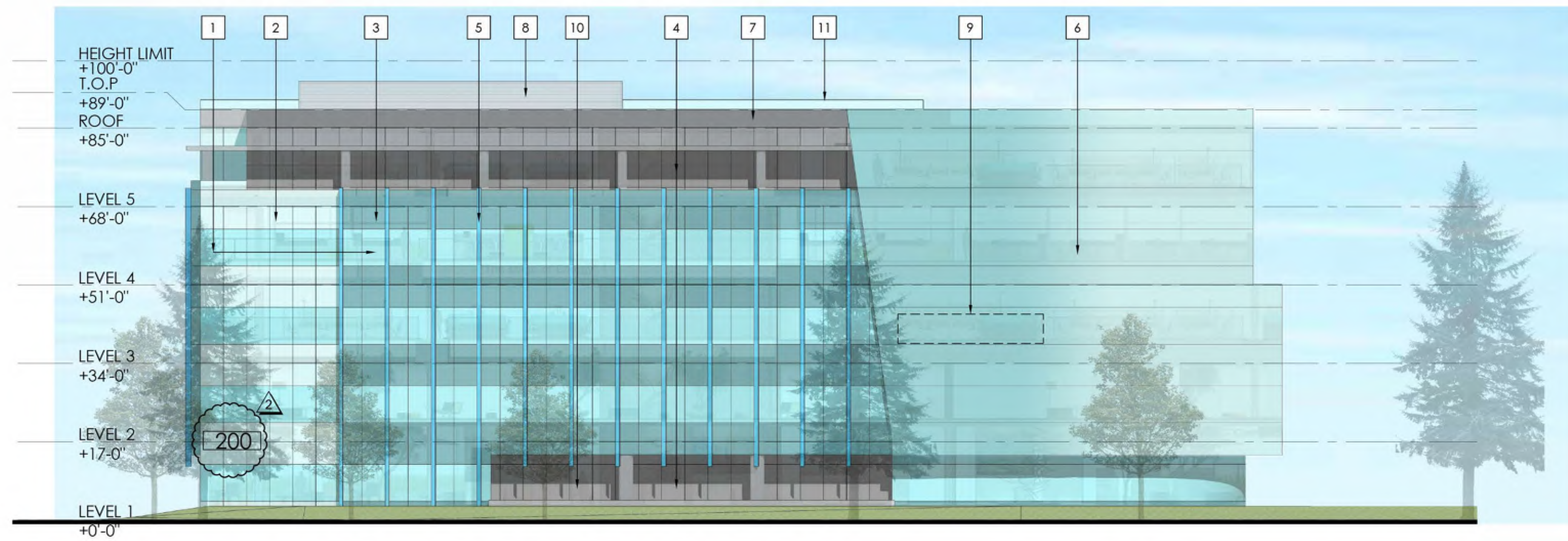
② FEBRUARY 15, 2021 PLANNING, FIRE  
AND PUBLIC WORKS COMMENTS (R2)

A3.2





① NORTH ELEVATION/ TWIN DOLPHIN DR ELEVATION

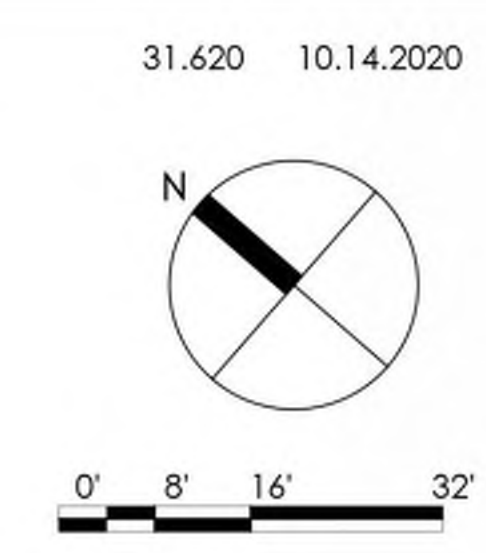
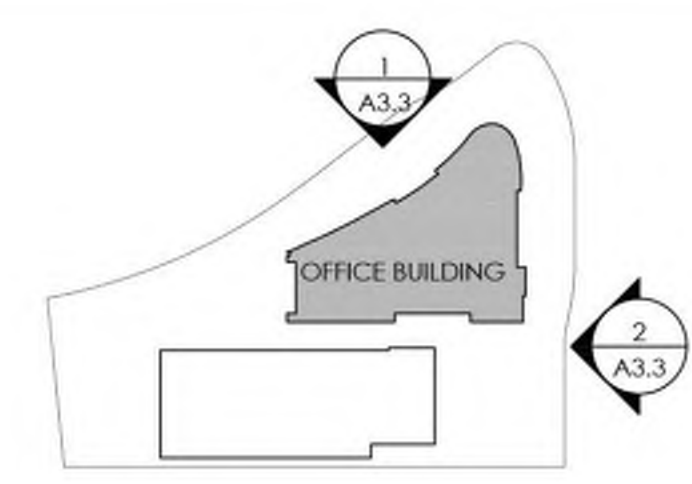


② EAST ELEVATION / SHORELINE DRIVE ELEVATION

- KEYNOTES:**
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 FROSTED SPANDREL GLASS - TYPE 1
  - 3 FROSTED SPANDREL GLASS - TYPE 2
  - 4 TINTED GRAY CLEAR GLASS
  - 5 GLASS FINS
  - 6 BUTT JOINT CLEAR GLAZING SYSTEM
  - 7 LOUVERED METAL CLADDING
  - 8 METAL ROOF SCREEN
  - 9 FUTURE LOCATION FOR SIGNAGE
  - 10 SLIDING/FOLDING GLASS DOORS
  - 11 GLASS PARTITION FOR WIND BARRIER
  - 12 RAISED ILLUMINATED BUILDING ADDRESS 24" HIGH (REQUIRED MINIMUM 12") WITH CONTRASTING BACKGROUND FACING THE STREET

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

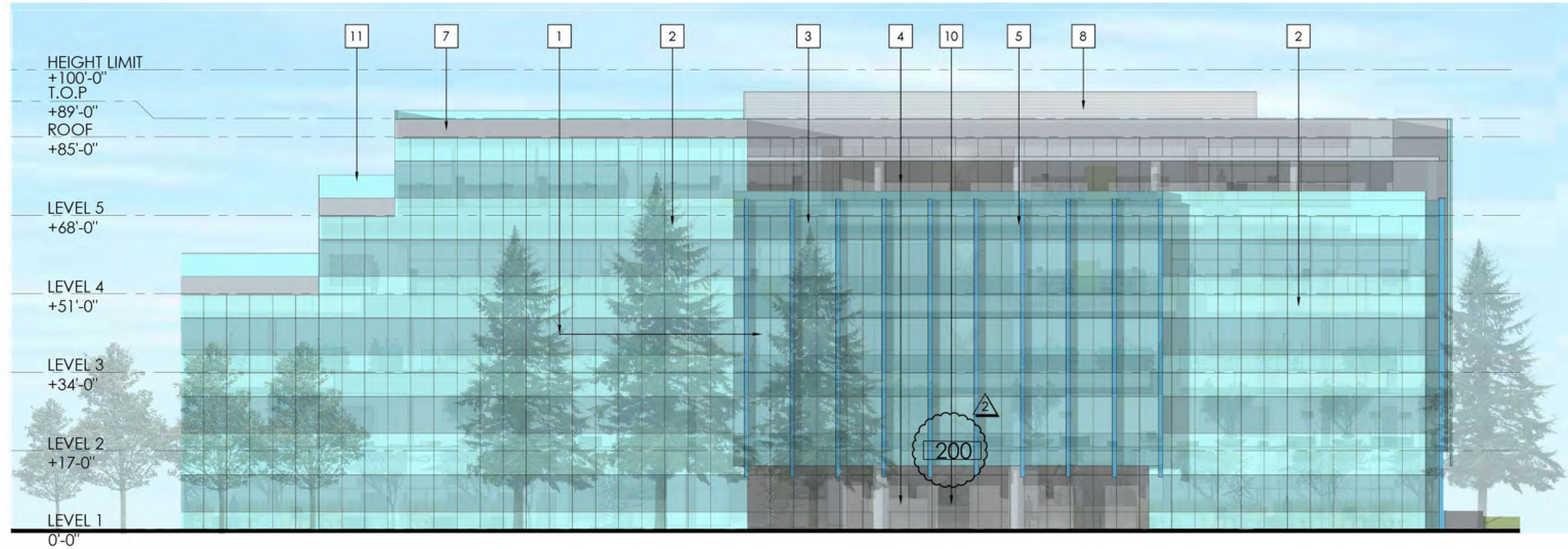


ELEVATIONS 1

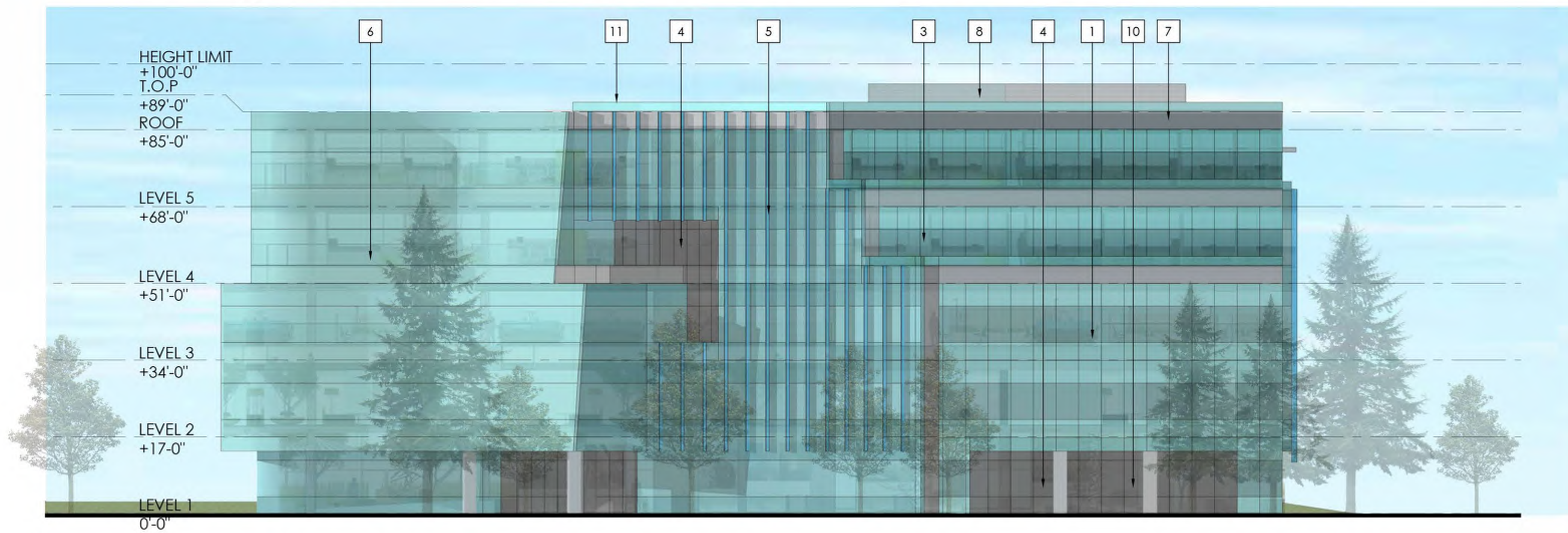
△ FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A3.3





③ SOUTH ELEVATION



④ WEST ELEVATION

#### KEYNOTES:

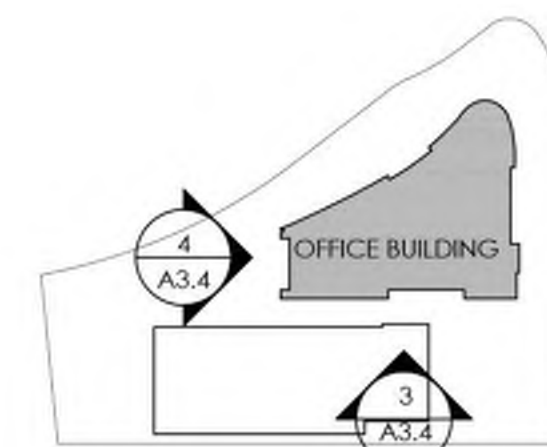
- ① CLEAR GLASS SET IN ALUMINUM FRAMES
- ② FROSTED SPANDREL GLASS - TYPE 1
- ③ FROSTED SPANDREL GLASS - TYPE 2
- ④ TINTED GRAY CLEAR GLASS
- ⑤ GLASS FINIS
- ⑥ BUTT JOINT CLEAR GLAZING SYSTEM
- ⑦ METAL CLADDING
- ⑧ LOUVERED METAL ROOF SCREEN
- ⑨ FUTURE LOCATION FOR SIGNAGE
- ⑩ SLIDING/FOLDING GLASS DOORS
- ⑪ GLASS PARTITION FOR WIND BARRIER
- ⑫ RAISED ILLUMINATED BUILDING ADDRESS 24" HIGH (REQUIRED MINIMUM 12") WITH CONTRASTING BACKGROUND FACING THE STREET

## 200 TWIN DOLPHIN DRIVE

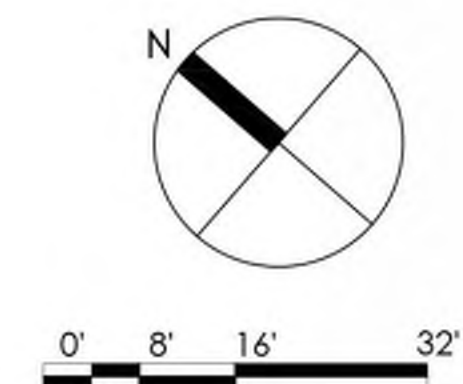
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

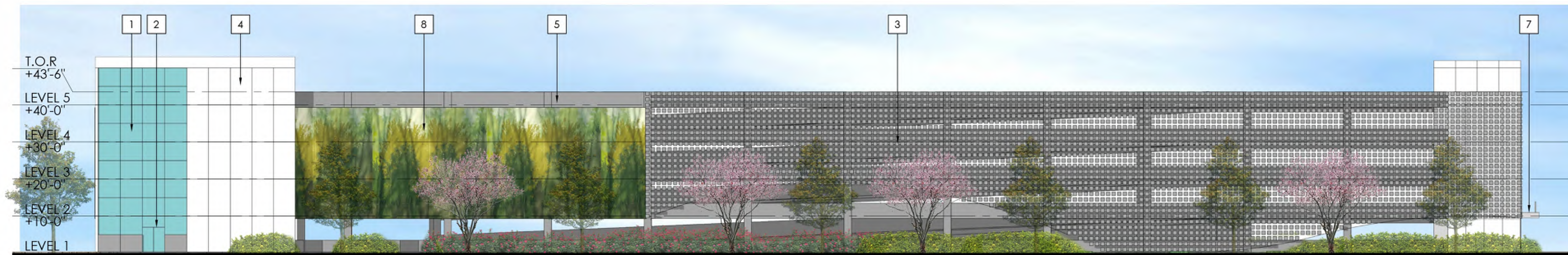


#### ELEVATIONS 2

② FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A3.4

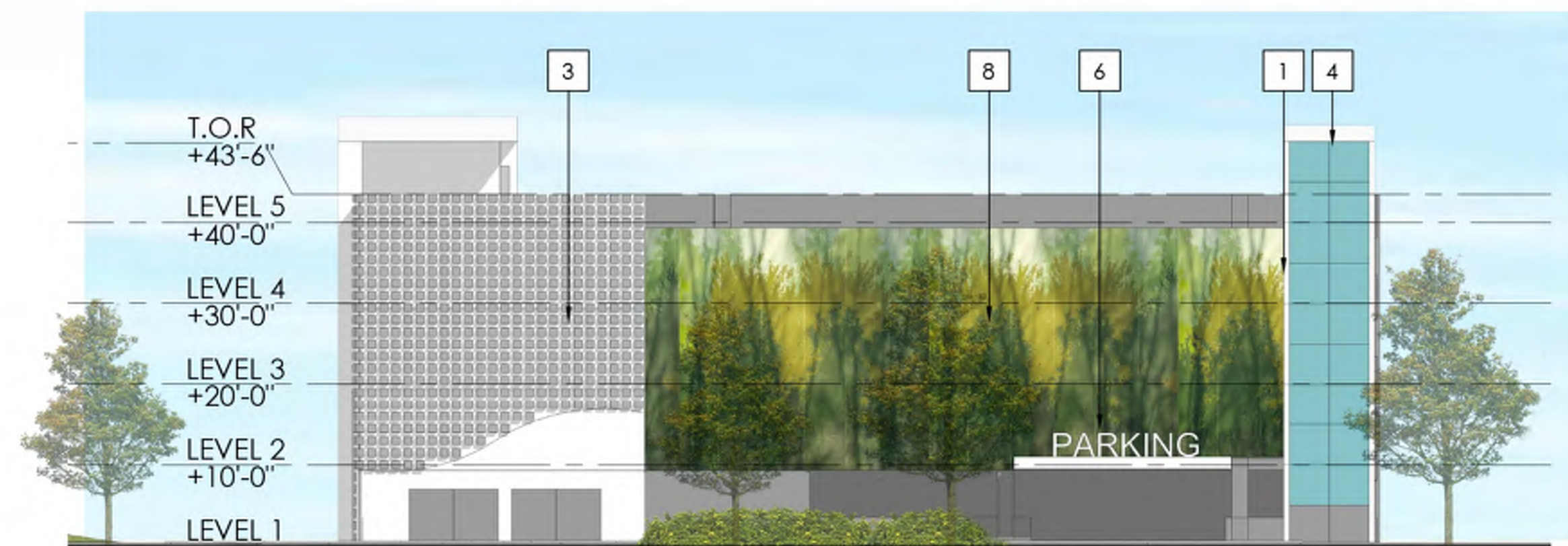




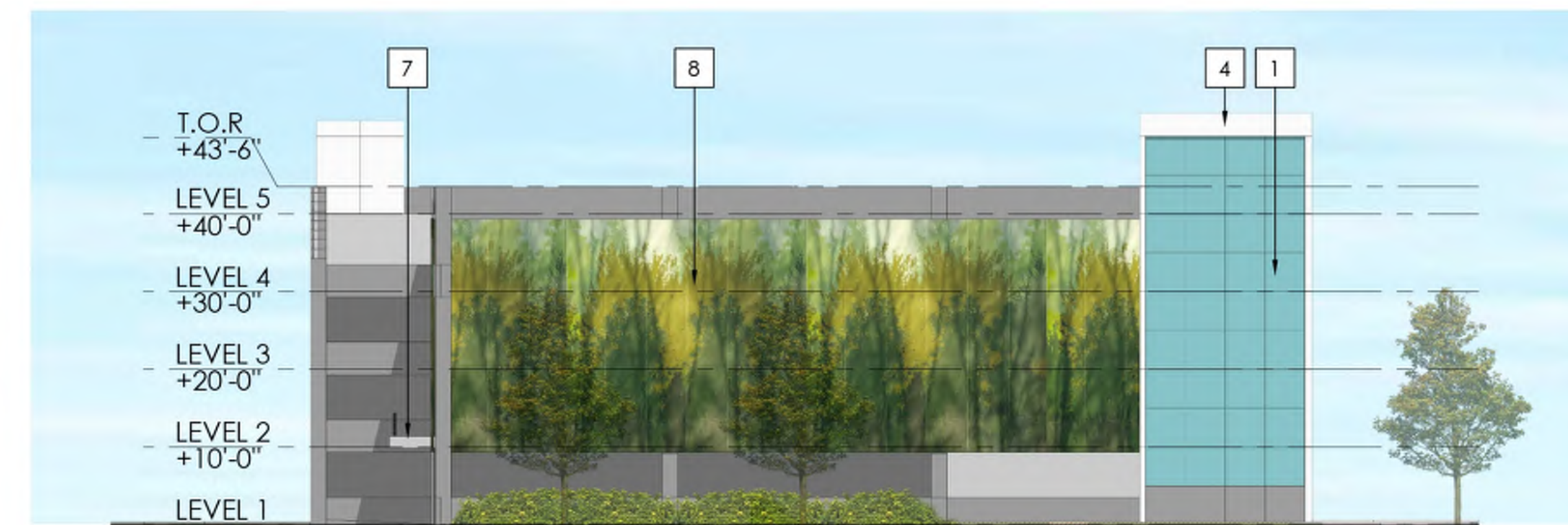
① NORTH ELEVATION FACING OFFICE BUILDING



③ SOUTH ELEVATION FACING NEIGHBORING PROPERTY



④ WEST ELEVATION



② EAST ELEVATION / SHORELINE DRIVE ELEVATION

#### KEYNOTES:

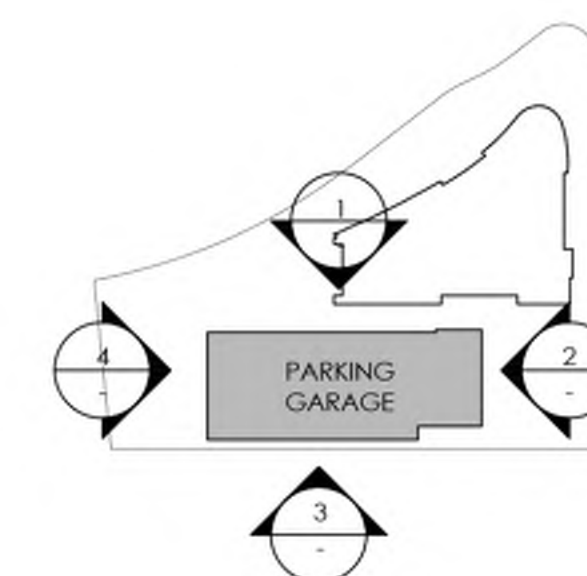
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 3 KINETIC WALL FACADE
- 4 METAL PANEL CLADDING
- 5 CONCRETE
- 6 SIGNAGE
- 7 ALUMINUM CANOPY
- 8 TENSILE MESH FACADE SCREEN WITH PRINTED GRAPHICS WITH ALUMINUM FRAMING SYSTEM
- 9 VINE PLANTING

## 200 TWIN DOLPHIN DRIVE

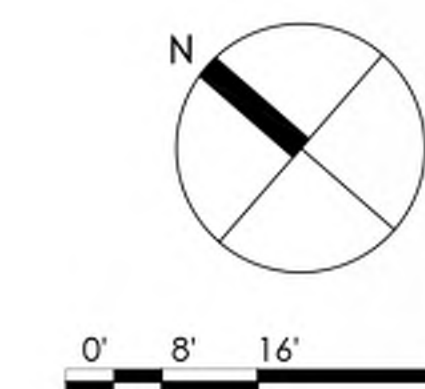
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



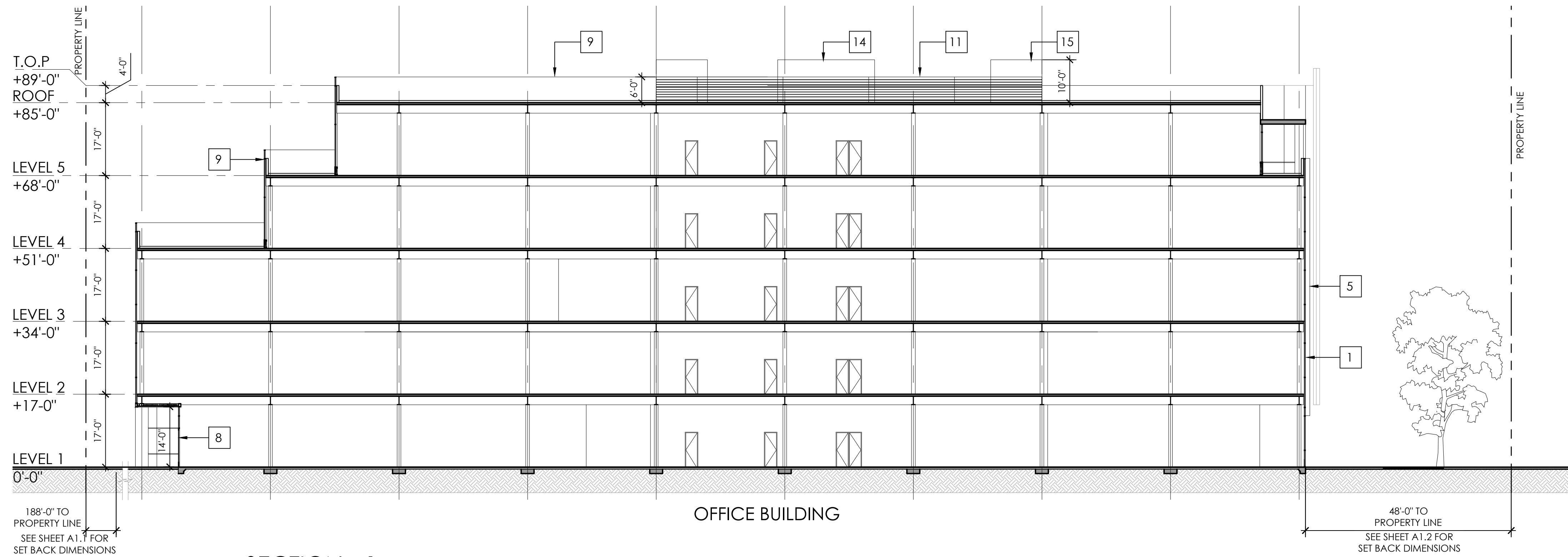
31.620 10.14.2020



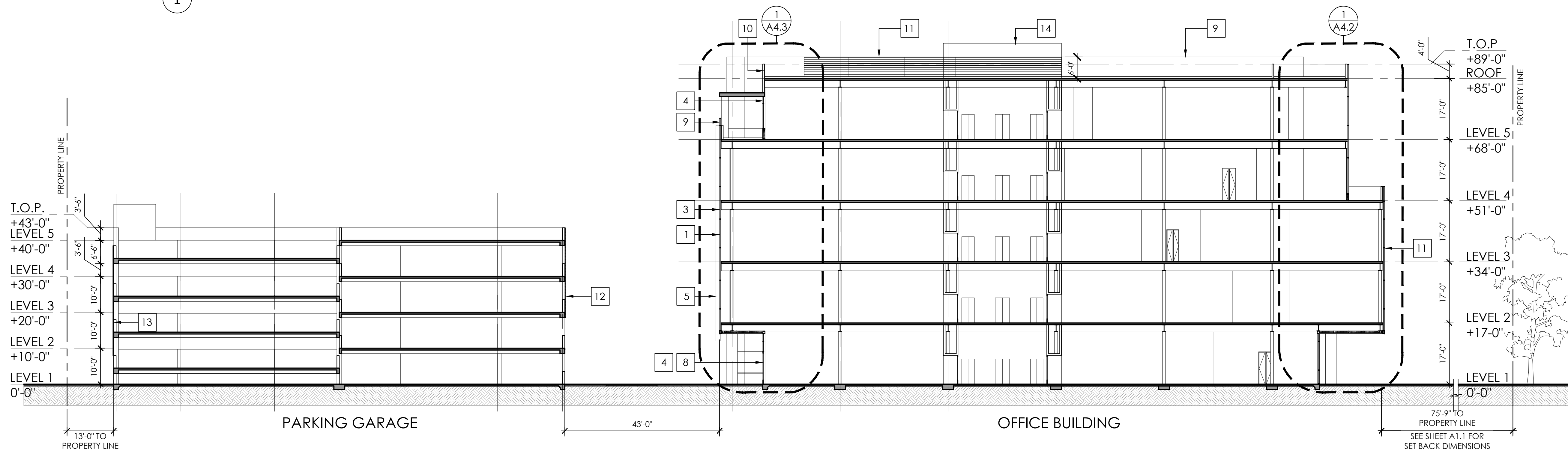
ELEVATIONS-  
PARKING GARAGE

A3.5





1 SECTION - 1



2 SECTION - 2

## KEYNOTES:

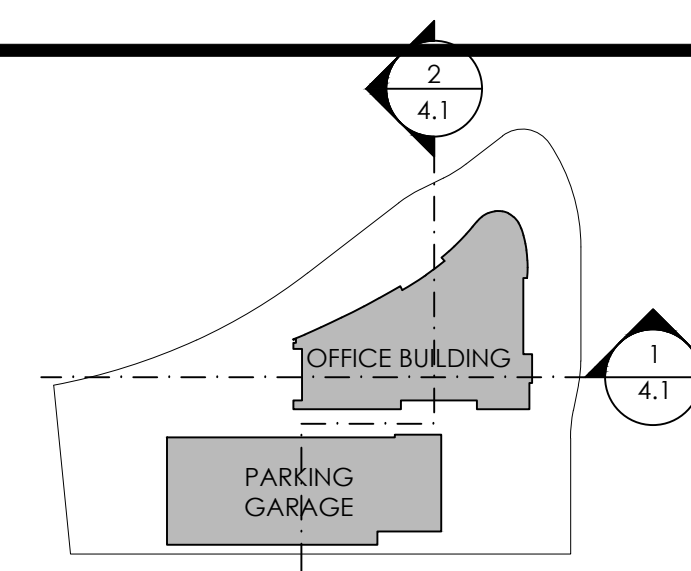
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
- 2 FROSTED SPANDREL GLASS - TYPE 1
- 3 FROSTED SPANDREL GLASS - TYPE 2
- 4 TINTED GRAY CLEAR GLASS
- 5 GLASS FINS
- 6 BUTT JOINT CLEAR GLAZING SYSTEM
- 7 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
- 8 SLIDING/FOLDING GLASS DOORS
- 9 GLASS PARTITIONS FOR WIND BARRIER
- 10 METAL PANEL CLADDING
- 11 LOUVERED METAL ROOF SCREEN
- 12 KINETIC FACADE
- 13 MESH SCREEN
- 14 ELEVATOR TO ROOF
- 15 STAIR TO ROOF

# 200 TWIN DOLPHIN DRIVE

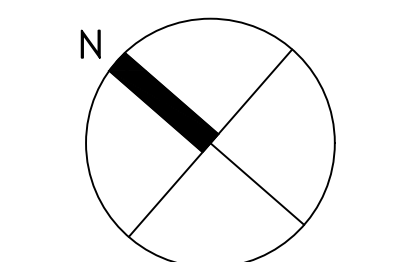
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020

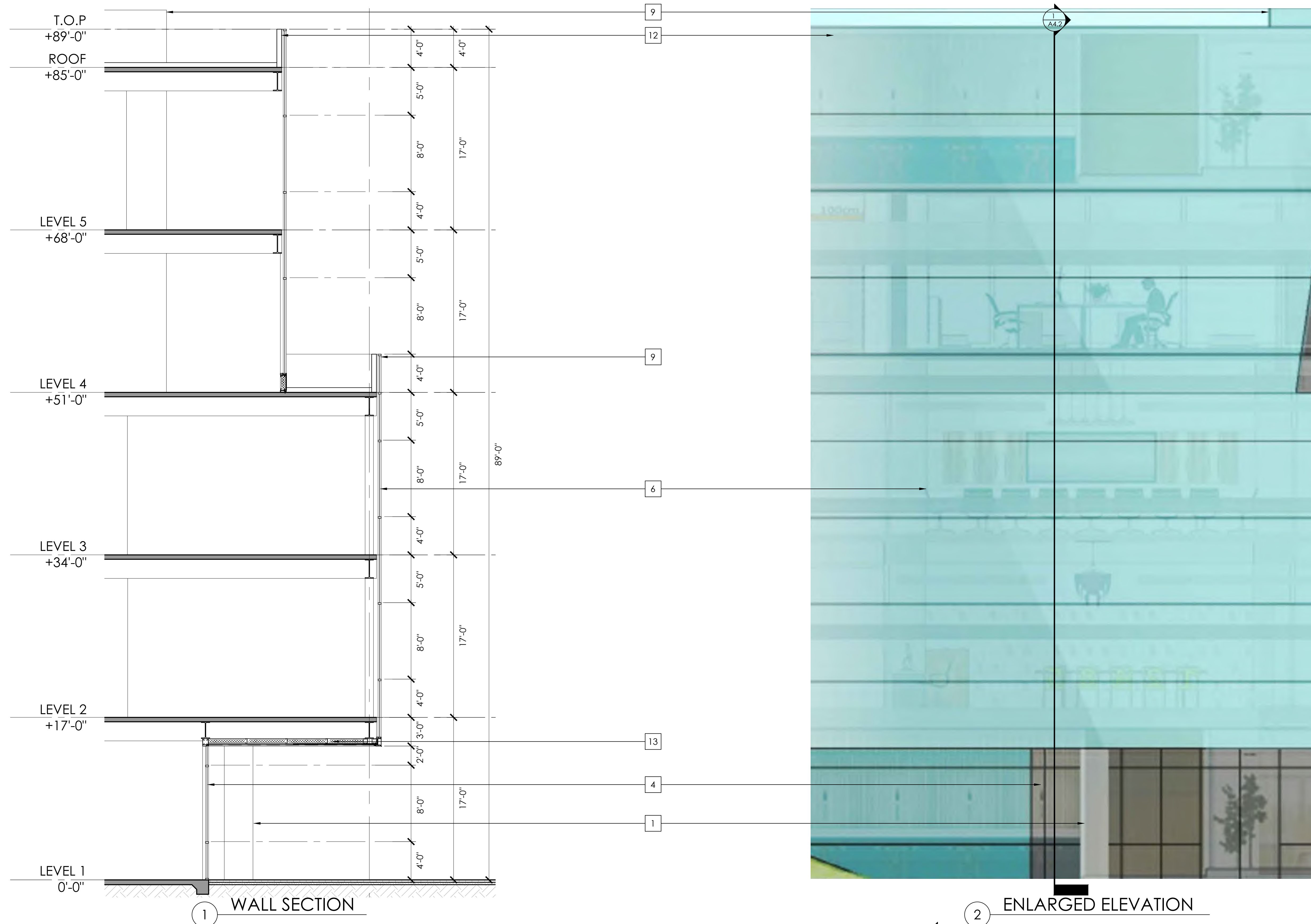


0' 8' 16' 32'

BUILDING SECTIONS

A4.1

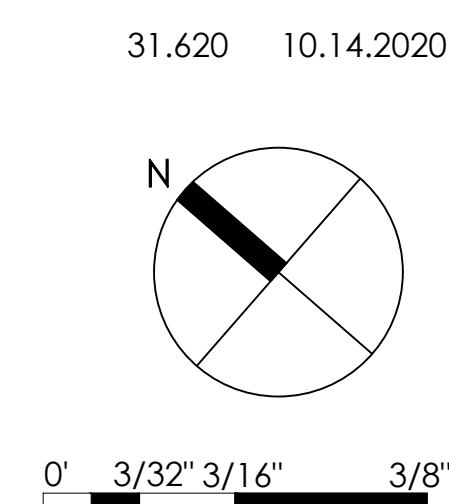
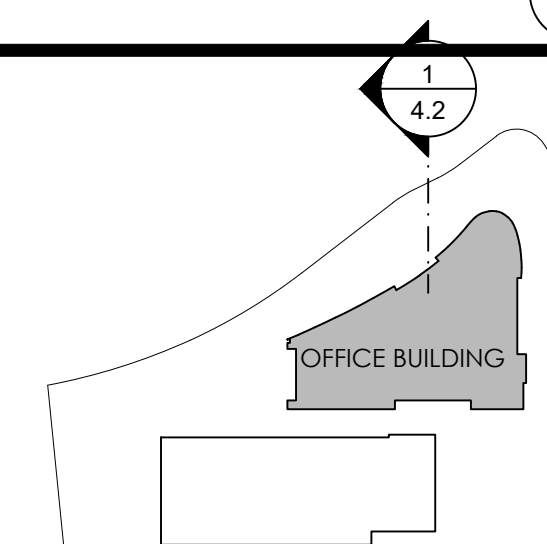




- KEYNOTES:**
- 1 CLEAR GLASS SET IN ALUMINUM FRAMES
  - 2 FROSTED SPANDREL GLASS - TYPE 1
  - 3 FROSTED SPANDREL GLASS - TYPE 2
  - 4 TINTED GRAY CLEAR GLASS
  - 5 GLASS FINIS
  - 6 BUTT JOINT CLEAR GLAZING SYSTEM
  - 7 STOREFRONT ENTRY DOOR W/ CLEAR GLAZING
  - 8 SLIDING/FOLDING GLASS DOORS
  - 9 GLASS WIND PARTITION BASED ON WIND REPORT STUDY
  - 10 METAL PANEL CLADDING
  - 11 LOUVERED METAL ROOF SCREEN
  - 12 PARAPET
  - 13 INSULATION

# 200 TWIN DOLPHIN DRIVE

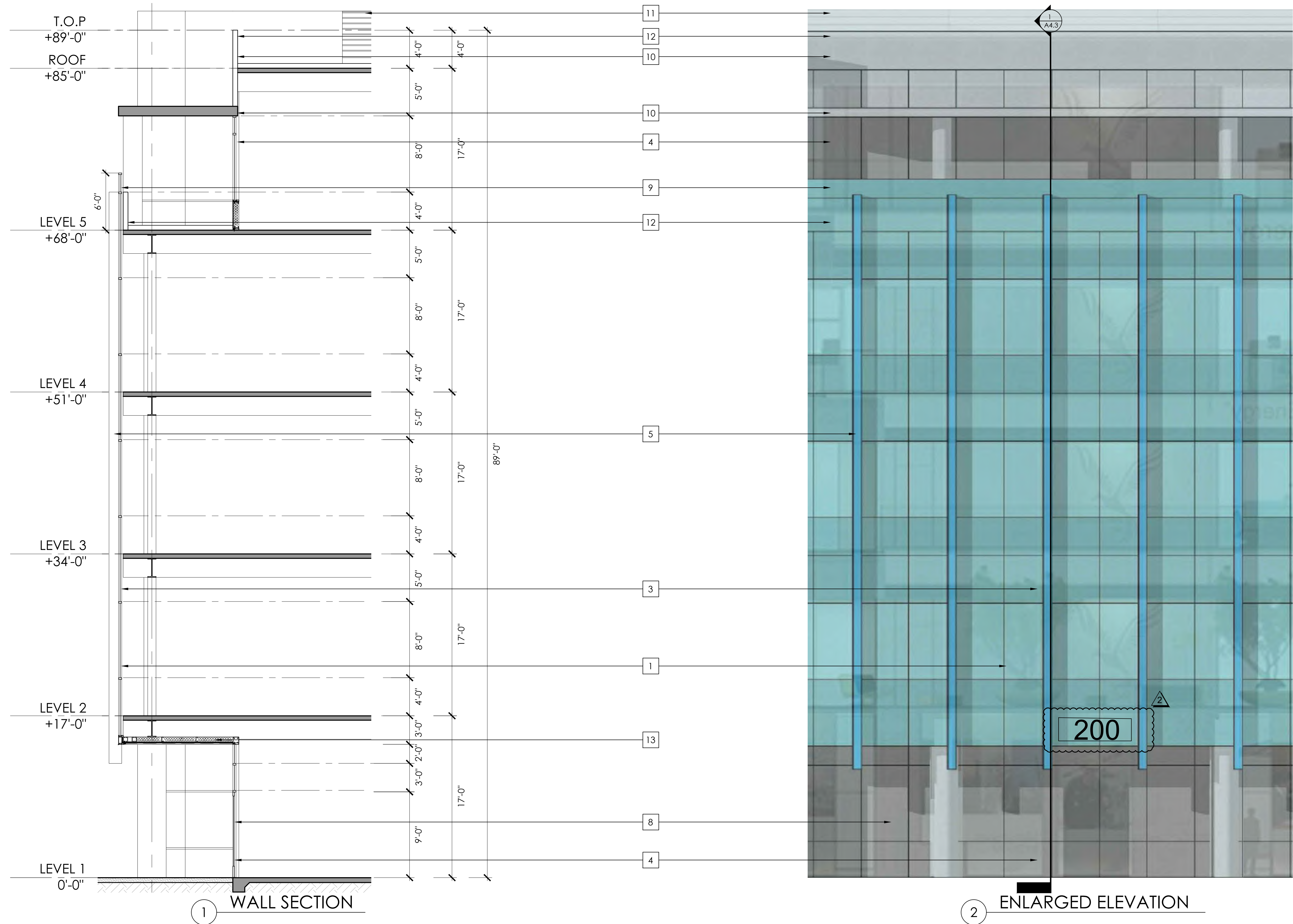
REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



WALL SECTION AND ENLARGED ELEVATION

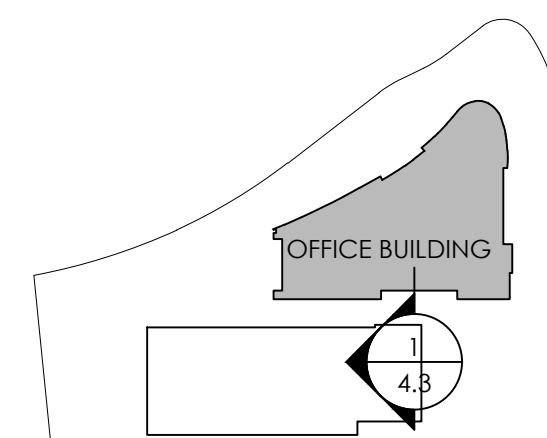
A4.2



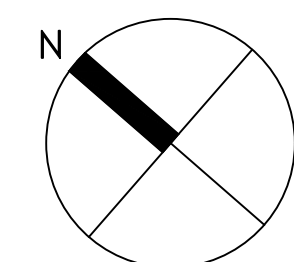


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.



31.620 10.14.2020



0' 3/32" 3/16" 3/8"

## WALL SECTION AND ENLARGED ELEVATION

FEBRUARY 15, 2021 PLANNING, FIRE AND PUBLIC WORKS COMMENTS (R2)

A4.3



PLANT PALETTE

TREES (70 New Trees Proposed)			
KEY	SIZE*	BOTANICAL NAME	COMMON NAME
ARB MAR	24"Box	Arbutus 'Marina'	Strawberry Tree
PIN CAN	24"Box	Pinus canariensis	Canary Island Pine
MEL QUI	24"Box	Melaleuca quinquenervia	Cajuput Tree
LOP CON	24"Box	Lophostemon confertus	Brisbane Box
MET EXC	24"Box	Metrosideros excelsa	New Zealand Xmas Tree
PHO DAC	48"Box	Phorbea doctyllera	Dots Palm
RHA MAJ	24"Box	Rhapiolepis 'Majestic Beauty'	Majestic Beauty Indian Hawthorn
QUE AGR	48"Box	Quercus agrifolia	Coast Live Oak
TRI LAU	24"Box	Tristania laurina 'Elegant'	Water Gum
SHRUBS			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
AJ	5 Gal	Arbutus unedo 'Compacta'	Strawberry Tree
ACI	5 Gal	Acacia cognata 'Cousin It'	Dwarf River Wattle
AC	5 Gal	Artemisia c. 'Mantana'	Mantora Sagebrush
CV	5 Gal	Callistemon viminalis 'Slim'	Bottlebrush
CC	5 Gal	Ceanothus 'Candice'	Wild Lilac
CS	5 Gal	Coleonema 'Sunset Gold'	Dwarf Coleonema
DL	5 Gal	Dietes 'Lemon Drops'	Fortnight Lily
EW	5 Gal	Euphorbia characias wulfenii	Euphorbia
LX	5 Gal	Lavandula x intermedia 'Grosso'	Lavender
LA	5 Gal	Lavatera assurgentiflora	Tree Mallow
LS	5 Gal	Leptospermum scoparium	New Zealand Tea Tree
OL	5 Gal	Olea 'Little Olea'	Dwarf Olive
PY	5 Gal	Phormium 'Yellow Wave'	New Zealand Flax
PM	5 Gal	Phormium 'Manrovia Red'	New Zealand Flax
RC	5 Gal	Rhamnus c. 'Mound San Bruno'	Mound San Bruno Coffeeberry
WM	5 Gal	Westringia 'Morning Light'	Coast Rosemary

**Planting Design Notes:**  
The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use based on the SBCA Landscape Guidelines, but also does not preclude use of other appropriate plant material. The landscape shall incorporate plants that are tolerant of the challenging conditions of the site and that are appropriate to the local climate. These plants are found along the streets, and roof deck open space areas. Native, habitat-enhancing, and low water-use plants should be selected as to complement the character of the project.

Fire Access Lane is proposed to have Majestic Beauty Indian Hawthorn trees planted near it. These trees are narrow in stature.

All trees shall be a minimum of 24" box size. All shrubs and vines shall be a minimum of 5 gallon size. All groundcover shall be a minimum of 1 gallon size.

All planted areas are to be irrigated with Recycled Water. An automatic underground irrigation system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the Water District's rules and regulations for Recycled Water service and water use. 80% of the irrigation system shall be drip irrigation.

**Existing Tree Disposition:**  
See Arbotist Report prepared by Walter Levison on June 5th, 2018. All existing interior trees on site are proposed for removal due to conflicts with the proposed site development, as well as some due to the poor health and condition of the trees. Site perimeter trees along the street frontages have been evaluated and most are proposed to remain as part of the proposed site development. See sheet L-7.

PERENNIALS AND GRASSES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
AG	1 Gal	Anigraanthos 'Gold Velvet'	Kangaroo Paw
CT	1 Gal	Carex tumulicola	Berkeley Sedge
DC	1 Gal	Deschampsia c. holciformis	Pacific Hair Grass
CT	5 Gal	Chondropetalum tectorum	Cape Rush
HS	5 Gal	Helictotrichon sempervirens	Blue Oat Grass
MU	5 Gal	Muhlenbergia capillaris 'Regal Mist'	Pink Muhly
LL	5 Gal	Lamandra longifolia 'Breeze'	Dwarf mist Rush
PO	5 Gal	Pennisetum 'Fairy Tail'	Fairy Tail Fountain Grass
SA	5 Gal	Stipa arundinacea	Pheasant's Tail Grass
VL	1 Gal	Verbena ilacina 'De La Mina'	Cedros Island Verbena
GROUNDCOVERS			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
ACH	1 Gal	Achillea millefolium	Yarrow
BTP	1 Gal	Baccharis pilularis 'Twin Peaks'	Coyote Brush
CEA	1 Gal	Ceanothus 'Yankee Point'	Ceanothus
ROS	1 Gal	Rosmarinus off. 'Prostratus'	Rosemary
SEN	1 Gal	Senecio mandraliscae	Blue Chalk Sticks
VINES			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
CL	5 Gal	Clytostoma callistegoides	Lavender Trumpet Vine
CM	5 Gal	Calystegia macrostegia	California Morning Glory

Existing Earth Mounds to remain to extent possible.  
New ornamental grasses and perennials, Typ.

**LOUNGE PLAZA:**  
- Accent Permeable Paving in patterns (pavers, concrete)  
- Accent Planter pots in gravel.  
- Outdoor Lounge Furniture.  
- Custom Seat Walls at specimen tree planting area.  
- Pedestrian Scale Poles and Bollard Lights, Typ.  
- Art Walls w/ signage.  
- Orchard Planting.

**LAGOON PLAZA:**  
-Pedestrian Plaza w/ accent planting and seating.  
-Artist Sculpture (by owner).  
- Shade Elements.  
- Art Walls w/ signage.

**SECONDARY ENTRY:**  
- Accent Permeable Paving in patterns (pavers, concrete)  
- Outdoor Office Furniture.  
- Pedestrian Scale Poles and Bollard Lights, Typ.  
- Accent Planter pots in gravel.  
- Bike Parking, Typ.  
- Art Walls w/ signage.

Office Brake-out space, Typ.  
Stormwater Treatment Area, S.C.D.  
Maintenance Gravel Band, Typ.  
5' wide concrete City Sidewalk, Typ.

Existing Earth Mounds to remain to extent possible.  
New ornamental grasses and perennials, Typ.

5' wide concrete City Sidewalk, Typ.

Existing Trees to Remain, Typ.

5' wide concrete City Sidewalk, Typ.

5 PIN CAN

Stormwater Treatment Area, S.C.D.

Office Brake-out space, Typ.

**SECONDARY ENTRY:**  
- Accent Permeable Paving in patterns (pavers, concrete)  
- Outdoor Office Furniture.  
- Pedestrian Scale Bollard Lights, Typ.  
- Bike Parking, Typ.  
- Art Walls w/ signage.

SHORELINE DRIVE

Planting Header, Typ.

5' wide concrete City Sidewalk, Typ.

Existing Trees to Remain, Typ.

Street Scale Pole Light, Typ.

Accent Sign Wall, S.A.D.

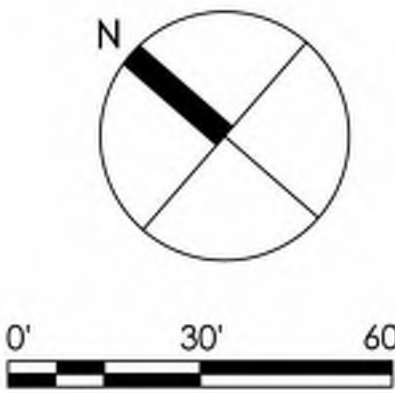
**ENTRY DRIVE:**  
- Accent Vehicular Paving in patterns (concrete and stamped asphalt) over engineered road subgrade to meet City of Redwood City Fire Department standards.  
- Street Scale Pole Lights, Typ.

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020



ILLUSTRATIVE LANDSCAPE SITE PLAN

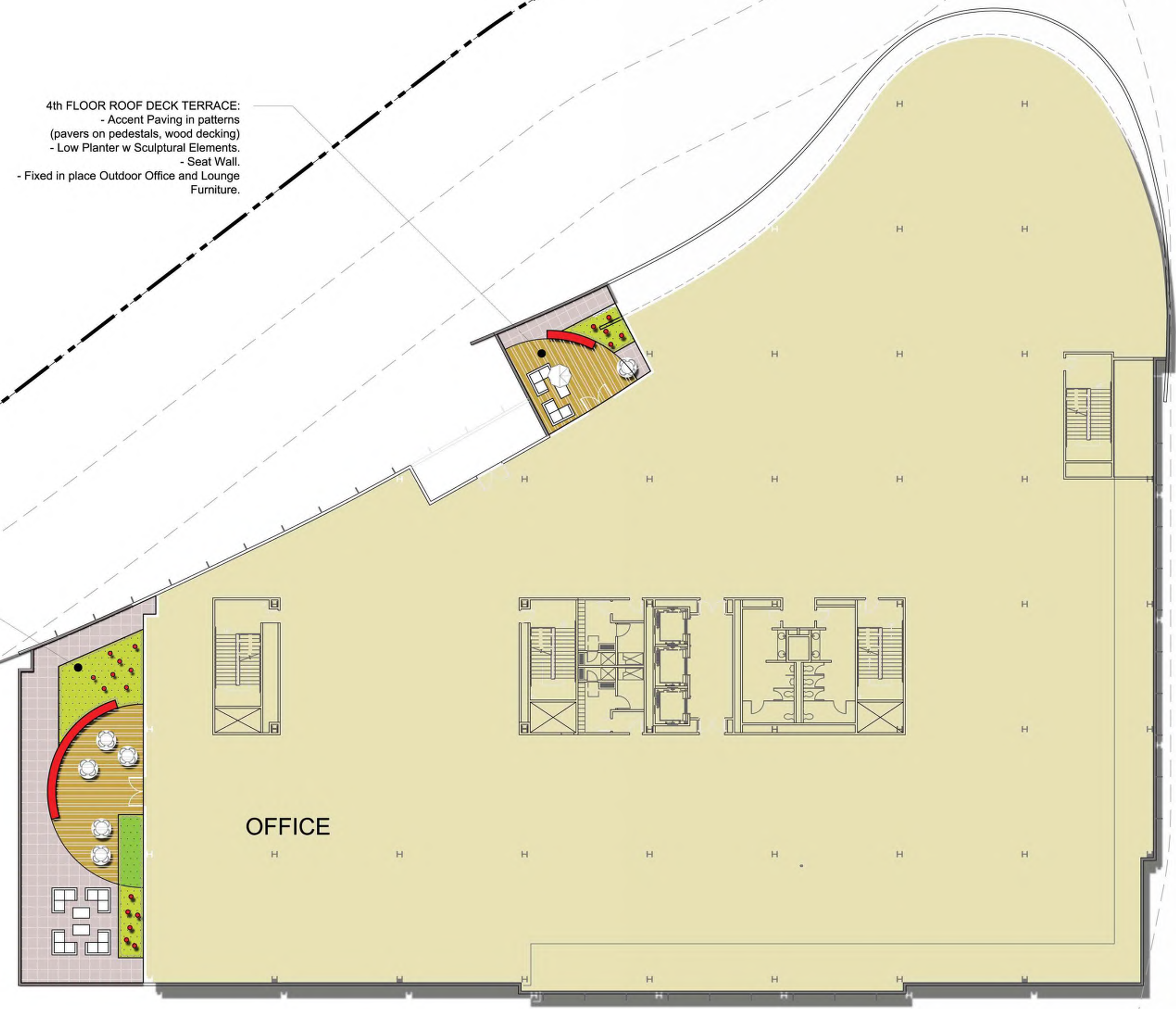
FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

L-1



4th FLOOR ROOF DECK TERRACE:  
 - Accent Paving in patterns  
 (pavers on pedestals, wood decking)  
 - Low Planter w Sculptural Elements.  
 - Seat Wall.  
 - Fixed in place Outdoor Office and Lounge  
 Furniture.

4th FLOOR ROOF DECK TERRACE:  
 - Accent Paving in patterns  
 (pavers on pedestals, wood decking)  
 - Low Planter w Sculptural Elements.  
 - Seat Wall.  
 - Fixed in place Outdoor Office and Lounge  
 Furniture.

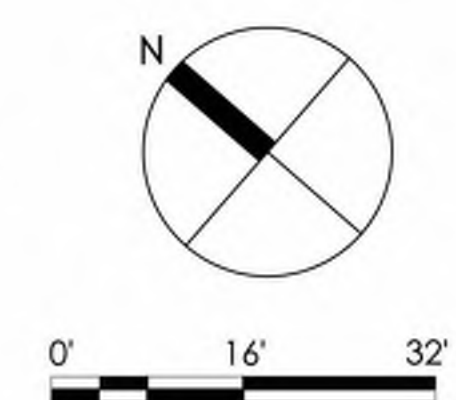


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
 SAND HILL PROPERTY COMPANY  
 KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects • Land Planners  
 181 Greenwich Street  
 San Francisco, CA 94111  
 T 415 433 4672  
 F 415 433 5003  
 www.tgp-inc.com

31.620 12.22.2020

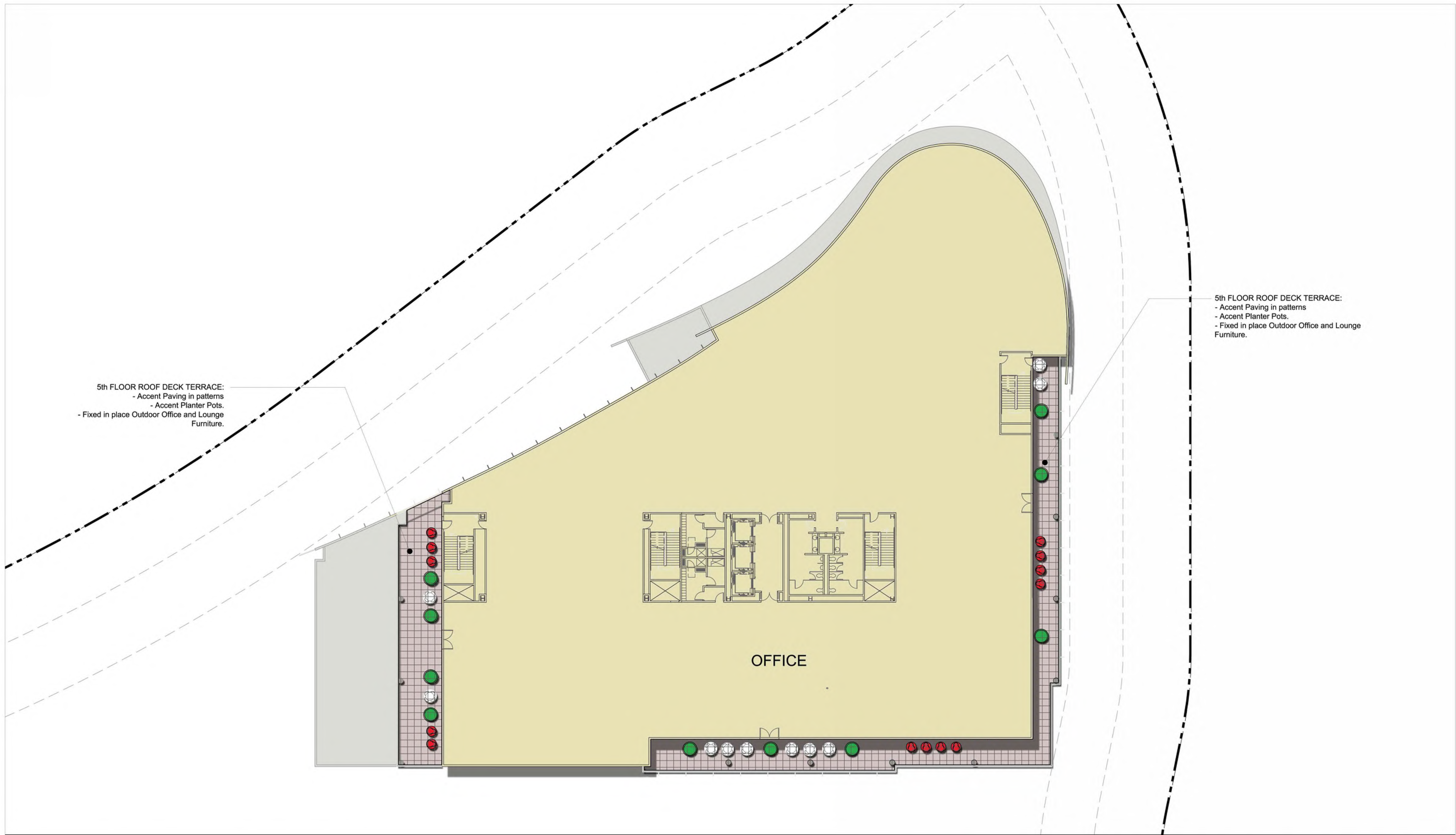


## ILLUSTRATIVE LANDSCAPE 4TH FLOOR ROOF DECK TERRACE PLAN

FEBRUARY 5, 2021  
 PLANNING, FIRE & PW COMMENTS

# L-2



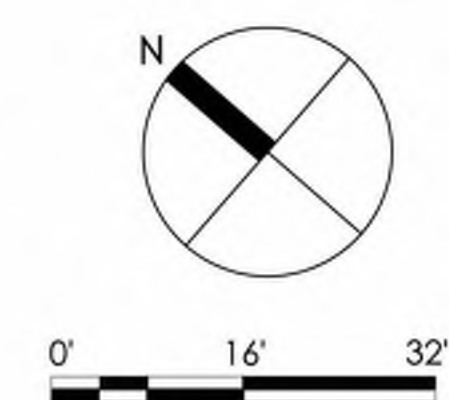


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020



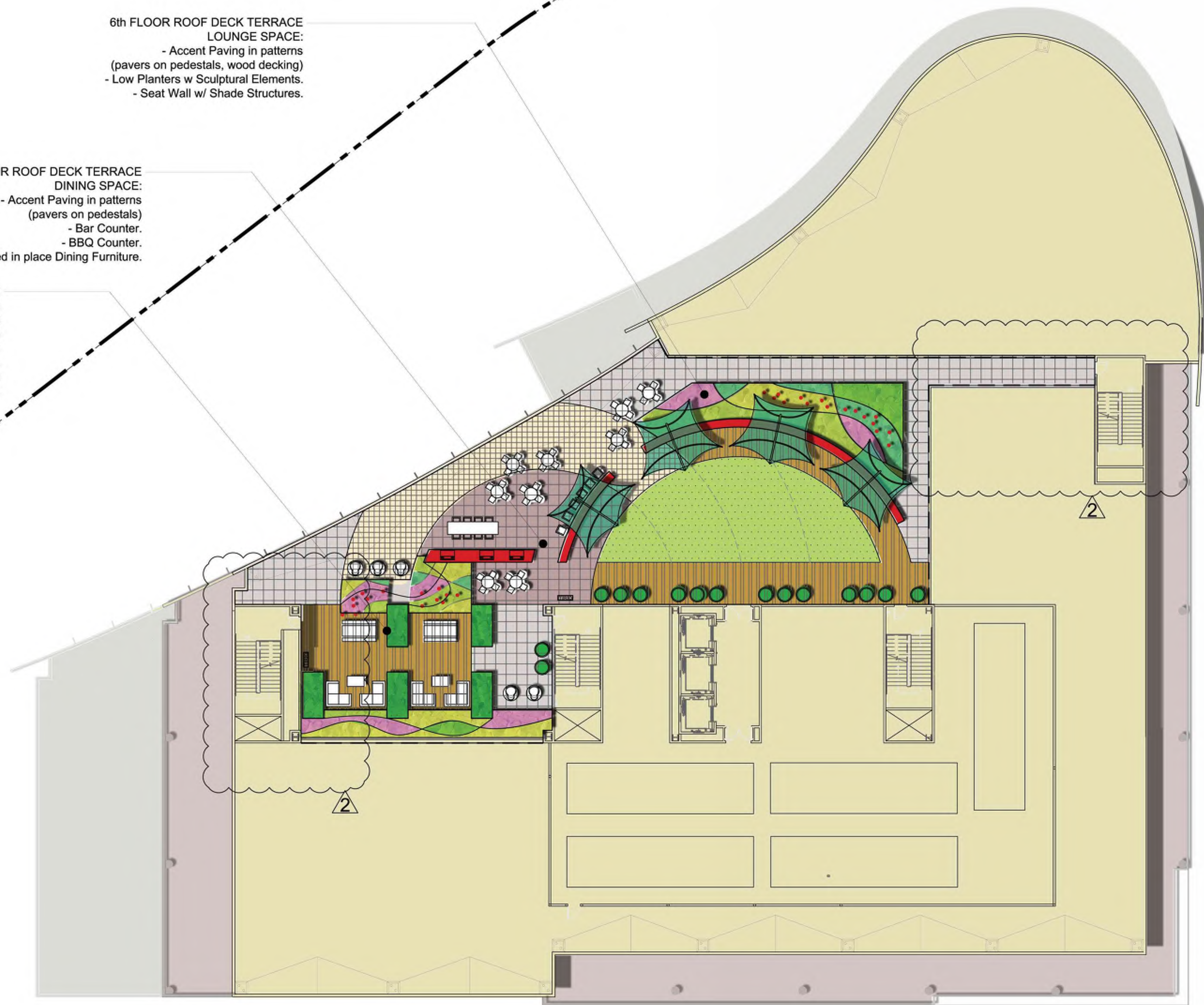
## ILLUSTRATIVE LANDSCAPE 5TH FLOOR ROOF DECK TERRACE PLAN

 FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

# L-3



- 6th FLOOR ROOF DECK TERRACE  
LOUNGE SPACE:  
- Accent Paving in patterns  
(pavers on pedestals, wood decking)  
- Low Planters w/ Sculptural Elements.  
- Seat Wall w/ Shade Structures.
- 6th FLOOR ROOF DECK TERRACE  
DINING SPACE:  
- Accent Paving in patterns  
(pavers on pedestals)  
- Bar Counter.  
- BBQ Counter.  
- Fixed in place Dining Furniture.
- 6th FLOOR ROOF DECK TERRACE  
WORK SPACE:  
- Accent Paving in patterns  
(pavers on pedestals, wood decking)  
- Low Planters.  
- Tall Planters w/ separation planting.  
- Fixed in place Outdoor Office and Lounge  
Furniture.

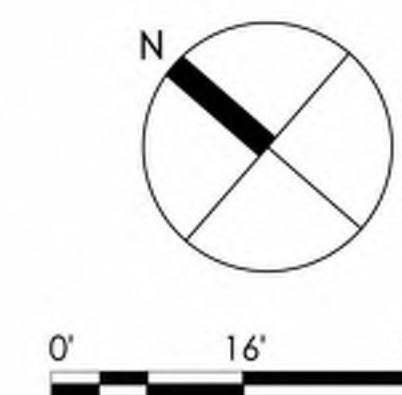


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020

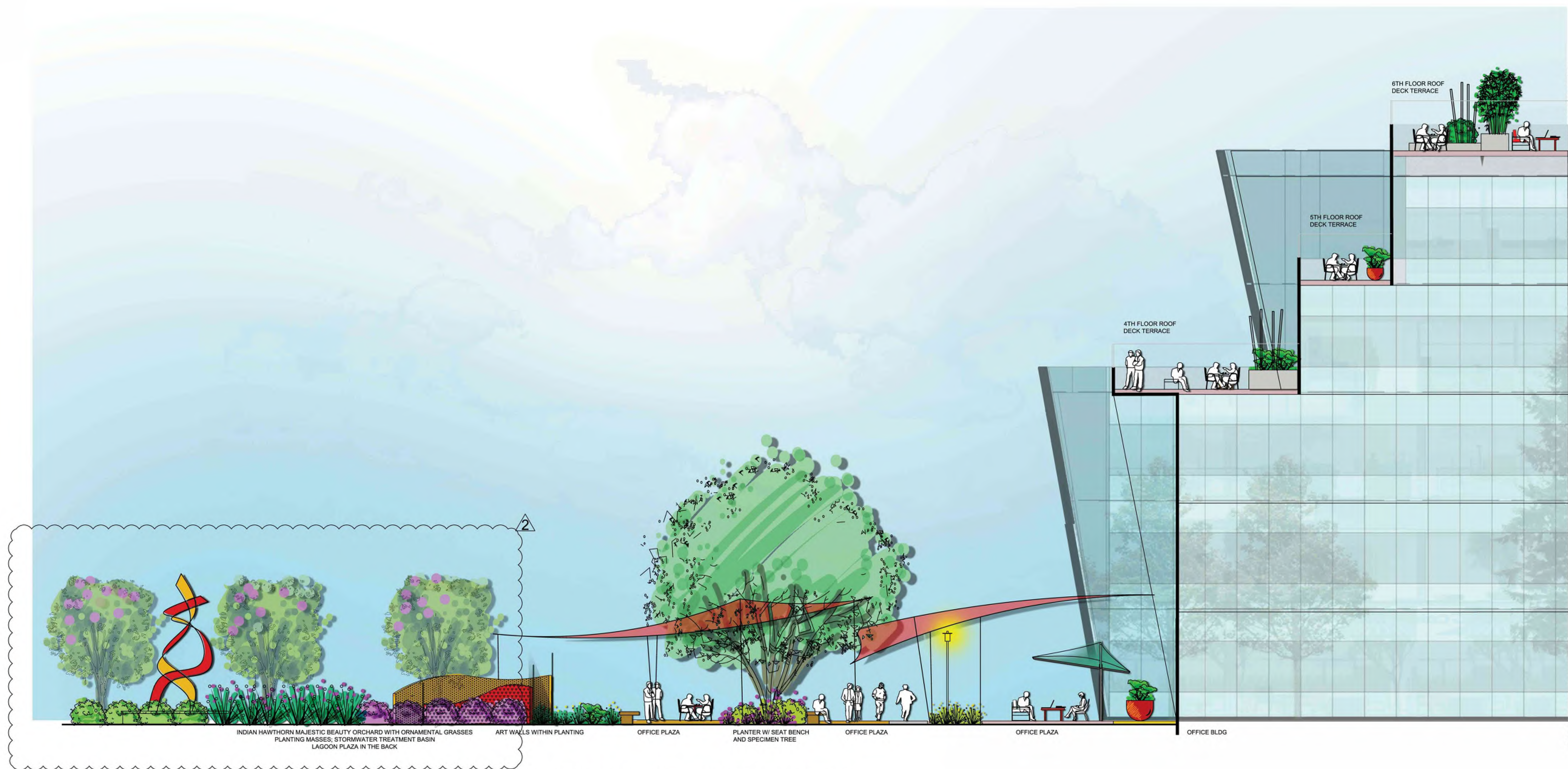


## ILLUSTRATIVE LANDSCAPE 6TH FLOOR ROOF DECK TERRACE PLAN

 FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

# L-4





## SECTION 1 - LAGOON AND OFFICE PLAZAS AT BLDG ENTRY

scale 1/8" = 1'-0"

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

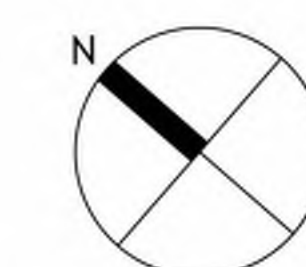
SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners

181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020



0' 8' 16'

ILLUSTRATIVE LANDSCAPE  
SITE SECTIONS

2 FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

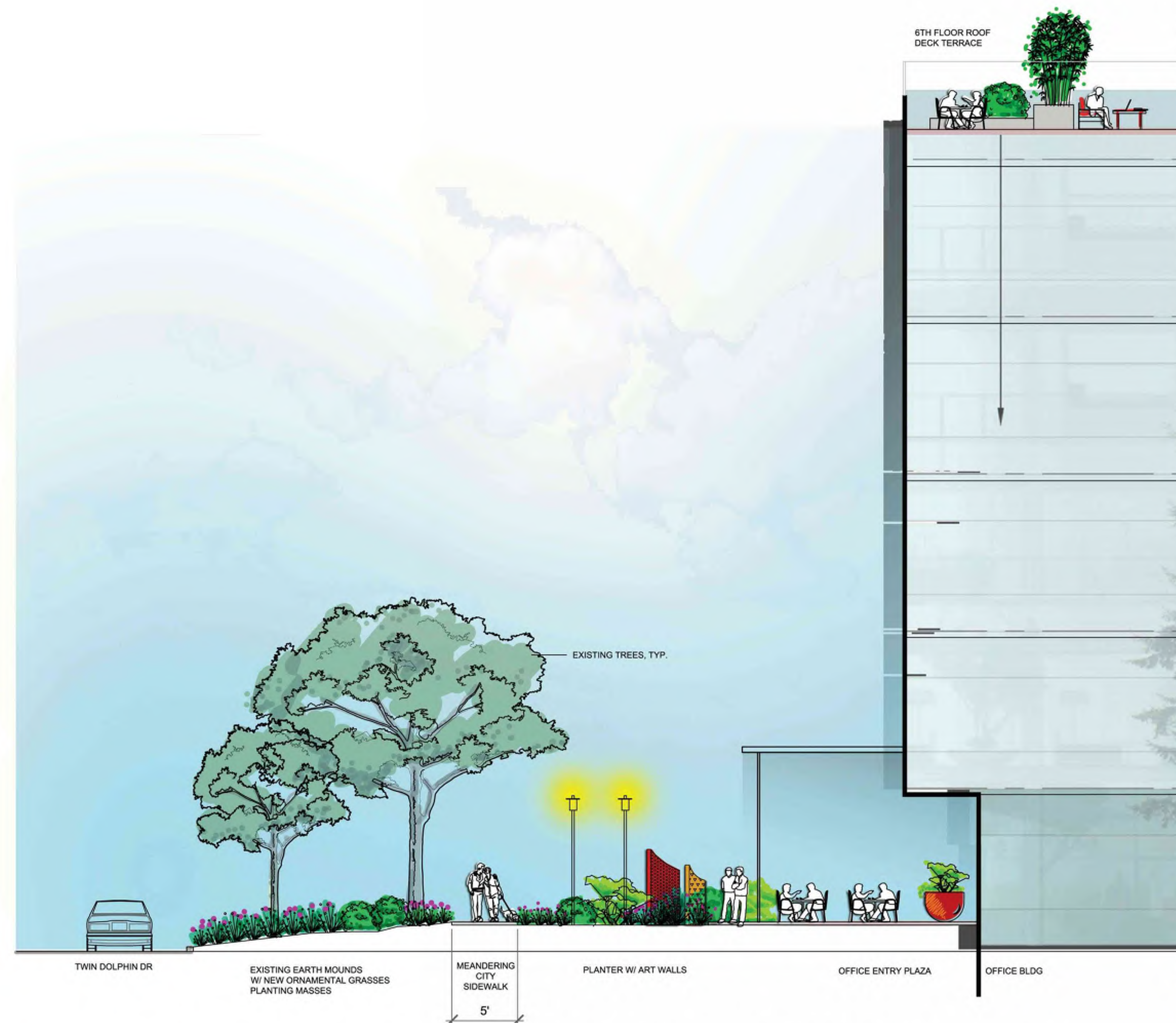
# L-5.1





SECTION 2 - FIRE ACCESS LANE

scale 1/8" = 1'-0"



SECTION 3 - TWIN DOLPHIN SECONDARY OFFICE ENTRY PLAZA

scale 1/8" = 1'-0"

## 200 TWIN DOLPHIN DRIVE

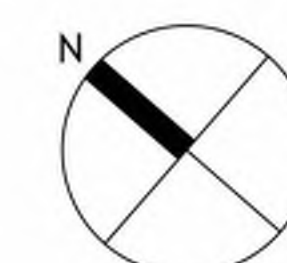
REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020

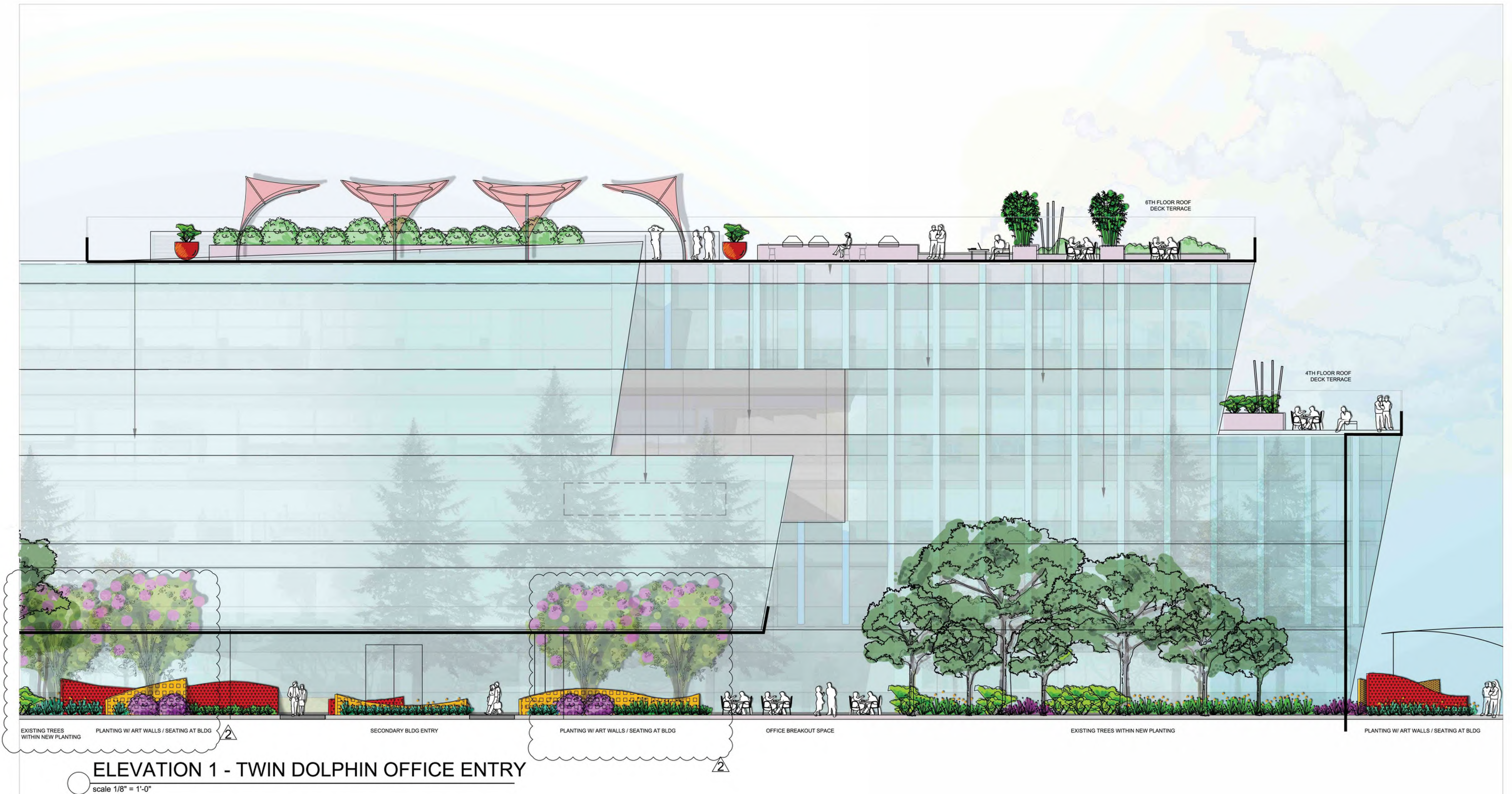


ILLUSTRATIVE LANDSCAPE  
SITE SECTIONS

 FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

**L-5.2**



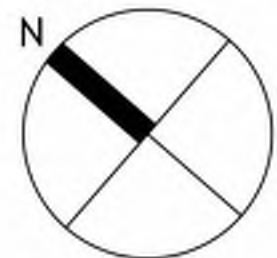


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415.433.4672  
F 415.433.5003  
www.tgp-inc.com

31.620 12.22.2020

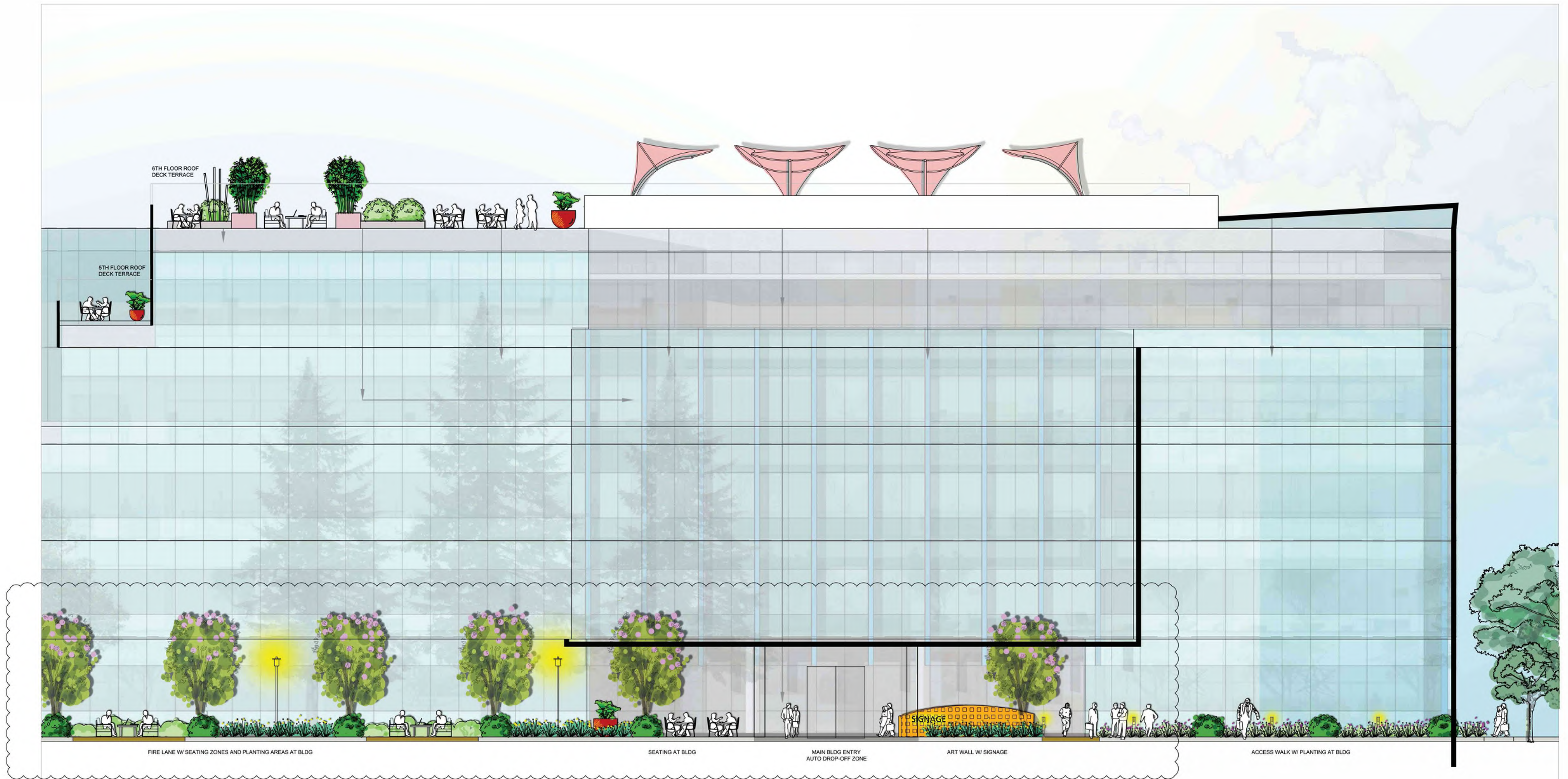


ILLUSTRATIVE LANDSCAPE  
SITE ELEVATIONS

FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

**L-5.3**





ELEVATION 2 - MAIN ENTRY COURT

scale 1/8" = 1'-0"

## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

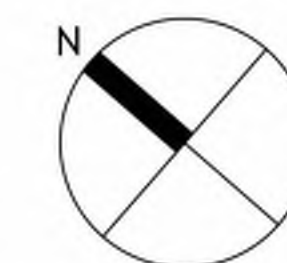
SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects • Land Planners

181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020



ILLUSTRATIVE LANDSCAPE  
SITE ELEVATIONS

△ FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

**L-5.4**

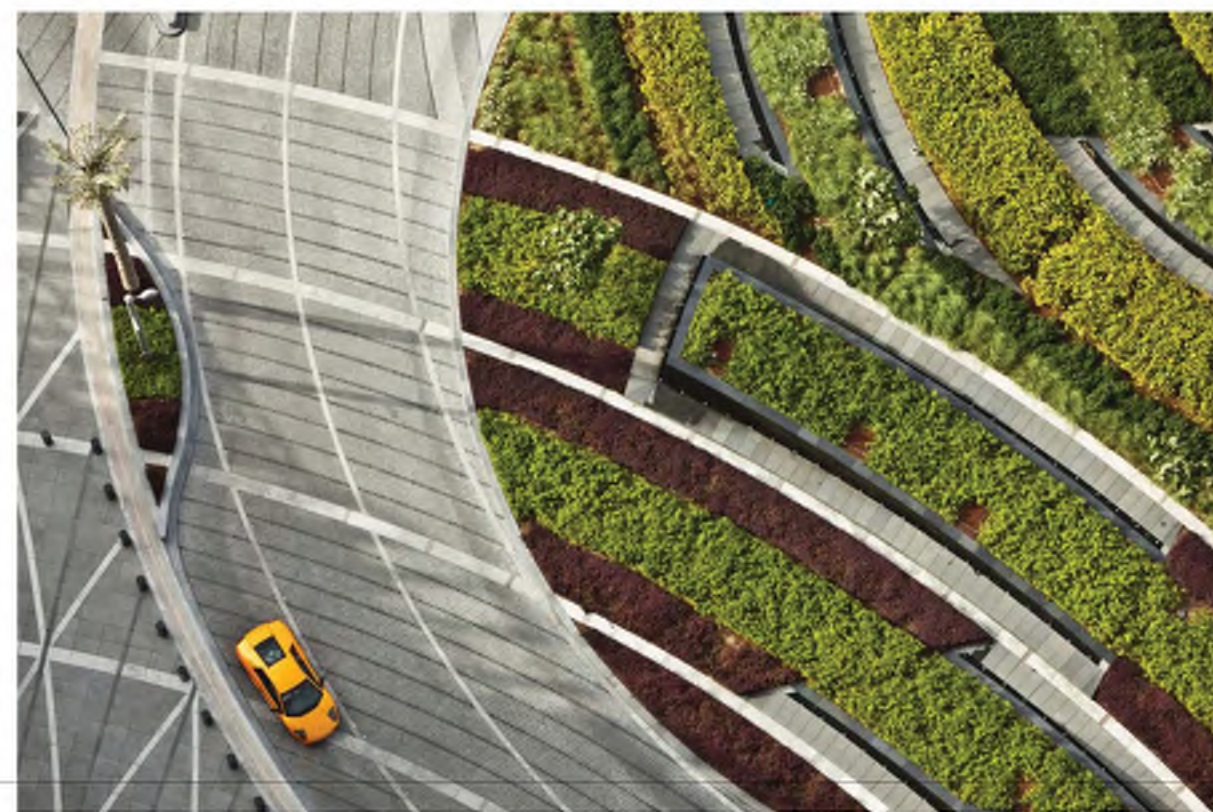




# PLANTING



# HARDSCAPE

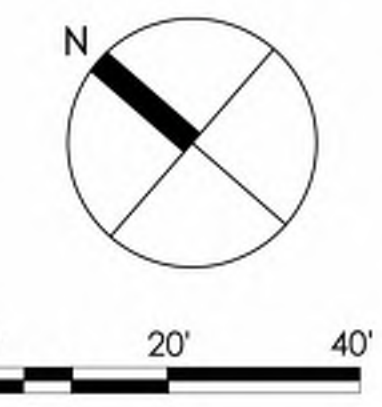


## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

THE  
GUZZARDO  
PARTNERSHIP INC.  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620 12.22.2020



LANDSCAPE  
IMAGERY

FEBRUARY 5, 2021  
PLANNING, FIRE & PW COMMENTS

L-6

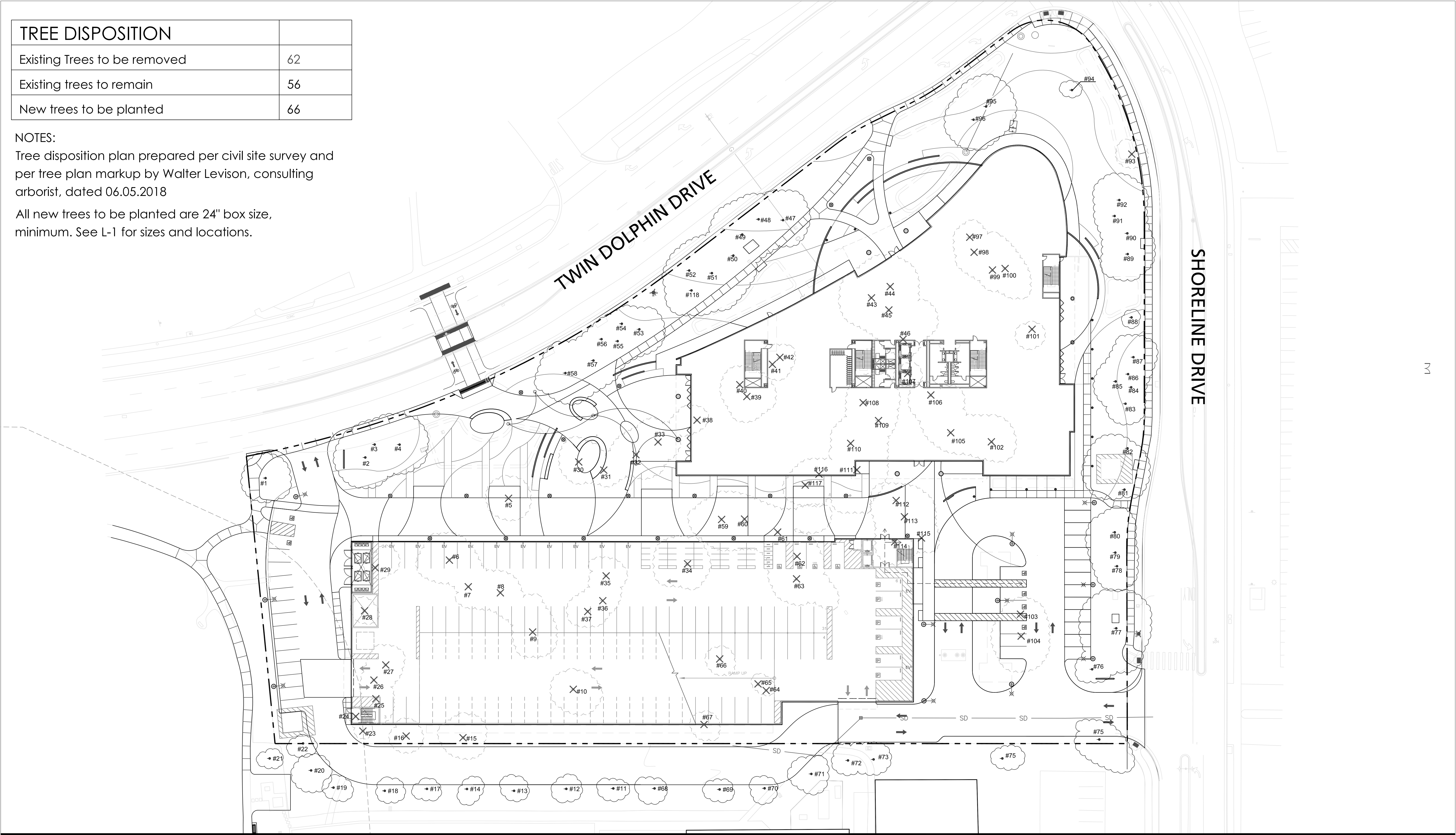


TREE DISPOSITION	
Existing Trees to be removed	62
Existing trees to remain	56
New trees to be planted	66

NOTES:

Tree disposition plan prepared per civil site survey and per tree plan markup by Walter Levison, consulting arborist, dated 06.05.2018

All new trees to be planted are 24" box size, minimum. See L-1 for sizes and locations.



# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

THE GUZZARDO PARTNERSHIP INC.

Landscape Architects • Land Planners

181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003  
www.tgp-inc.com

31.620

12.22.2020

N

0' 30' 60'

TREE DISPOSITION PLAN

L-7

FEBRUARY 5, 2021

PLANNING, FIRE & PW COMMENTS



LEGEND

SAWCUT AND CONFORM LINE

RETAINING WALL

A.C. PAVEMENT

CONC. VALLEY GUTTER

CONC. SIDEWALK OR PAD

6" CURB & GUTTER

EDGE OF A.C. PAVEMENT

6" VERTICAL CURB

CENTER LINE

SANITARY SEWER MAIN

STORM DRAIN MAIN

PERFORATED PIPE

WATER MAIN

FIRE WATER MAIN

DOMESTIC WATER MAIN

CHILLED WATER MAIN

IRRIGATION LINE

SILT FENCE

FLOW LINE

CHAIN LINK FENCE

GAS MAIN

ELECTRIC AND SIGNAL

DUCT BANK

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

CONTOUR ELEVATION LINE

SPOT ELEVATION

DIRECTION OF SLOPE

GAS METER

GAS VALVE

WATER METER

WATER VALVE

FIRE HYDRANT

BACK FLOW PREVENTOR

POST INDICATOR VALVE

FIRE DEPARTMENT CONNECTION

WATER LINE TEE

CAP AND PLUG END

AIR RELEASE VALVE

SIGN

ACCESSIBLE RAMP

CONCRETE THRUST BLOCK

SANITARY SEWER MANHOLE

SANITARY SEWER CLEANOUT

STORM DRAIN MANHOLE

STORM DRAIN AREA DRAIN

STORM DRAIN CATCH BASIN

STORM DRAIN CURB INLET

STORM DRAIN CLEANOUT

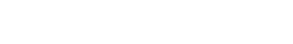
ELECTROLIER

JOINT POLE

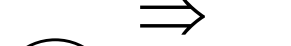
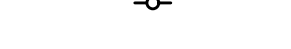
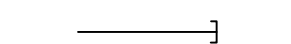
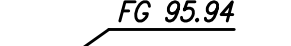
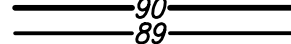
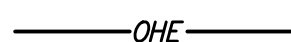
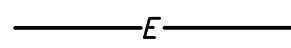
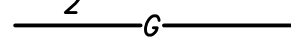
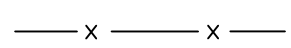
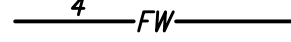
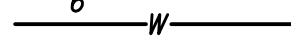
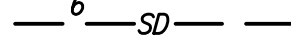
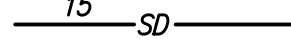
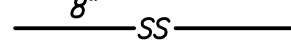
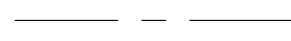
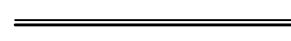
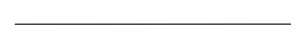
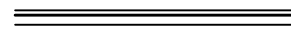
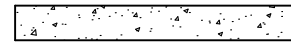
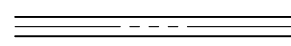
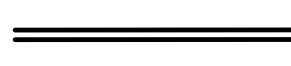
OVERLAND RELEASE

CONSTRUCTION DETAIL REFERENCE

EXISTING



PROPOSED



ABBREVIATIONS

AB	- AGGREGATE BASE
AC	- ASPHALT CONCRETE
AD	- AREA DRAIN
ADA	- AMERICANS WITH DISABILITIES ACT
ASB	- AGGREGATE SUBBASE
BFP	- BACK FLOW PREVENTOR
BLDC	- BUILDING CORNER
BLDG	- BUILDING
BOO	- BOTTOM OF DOCK
BOL	- BOLLARD
BOS	- BOTTOM OF STEP
BOW	- FG @ BOTTOM OF WALL
BVC	- BEGIN VERTICAL CURVE
BW	- BACK OF WALK
C	- CONCRETE OR CIVIL
C&G	- CURB AND GUTTER
CB	- CATCH BASIN
CI	- CURB INLET
CIP	- CAST IRON PIPE
CL	- CENTER LINE OR CLASS
CMP	- CORRUGATED METAL PIPE
CO	- CLEANOUT
CONC	- CONCRETE
CONST	- CONSTRUCTION OR CONSTRUCT
CY	- CUBIC YARD
DCDA	- DOUBLE CHECK DETECTOR ASSEMBLY
DI	- DROP INLET
DIP	- DUCTILE IRON PIPE
DWM	- DOMESTIC WATER
DWG	- DRAWING
E	- EAST
EC	- END OF CURVE
EP	- EDGE OF PAVEMENT
ER	- END OF RETURN
EVC	- END VERTICAL CURVE
ELEV	- ELEVATION
EX, EXIST.	- EXISTING
FC	- FACE OF CURB
FDC	- FIRE DEPARTMENT CONNECTION
FF	- FINISHED FLOOR
FG	- FINISHED GRADE
FI	- FIRE HYDRANT
FL	- FLOW LINE
FOUND	- FOUNDATION
FS	- FINISHED SURFACE
FT	- FOOT
FW	- FIRE WATER
G	- GROUND ELEVATION
GB	- GRADE BREAK
GV	- GATE VALVE
HCR	- ACCESSIBLE RAMP
INV	- INVERT ELEVATION
JP	- JOINT POLE
JT	- JOINT TRENCH
LIP	- LIP OF GUTTER
LSA	- LANDSCAPE ARCHITECT
MAX	- MAXIMUM
MEP	- MECHANICAL/ELECTRICAL/PLUMBING
MH	- MANHOLE
MIN	- MINIMUM
MON	- MONUMENT
N	- NORTH
NO	- NOT TO SCALE
NIS	- NORTH
P	- PAVEMENT ELEVATION
PCC	- PORTLAND CEMENT CONCRETE
PIV	- POST INDICATOR VALVE
PL	- PROPERTY LINE
POC	- POINT ON CURVE
PP	- POWER POLE
PVC	- POLYVINYL CHLORIDE PIPE
R	- RADIUS
RC	- RELATIVE COMPACTION
RCP	- REINFORCED CONCRETE PIPE
RPPA	- REDUCED PRESSURE PRINCIPLE ASSEMBLY
R/W	- RIGHT OF WAY
S	- SLOPE OR SOUTH
S.A.A.	- SEE ARCHITECTURAL DRAWINGS
SB	- SEDIMENT BASIN
SD	- STORM DRAIN
SDCB	- STORM DRAIN CATCH BASIN
SDCO	- STORM DRAIN CLEANOUT
SDMH	- STORM DRAIN MANHOLE
SG	- SUBGRADE
S.L.D.	- SEE LANDSCAPE DRAWINGS
SMH	- SIGNAL MANHOLE
SS	- SANITARY SEWER
SSCO	- SANITARY SEWER CLEANOUT
SSG	- SANITARY SEWER GREASE INTERCEPTOR
SSMH	- SANITARY SEWER MANHOLE
STD	- STANDARD
S/W	- SIDEWALK
TC	- TOP OF CURB
TD	- TRENCH DRAIN
TOO	- TOP OF DOCK
TOS	- TOP OF SLOPE
TOW	- TOP OF STAIR
TS	- FG @ TOP OF WALL
TYP	- TYPICAL
U/G	- UNDERGROUND
WM	- WATER METER
WV	- WATER VALVE
W	- WEST
W/	- WITH

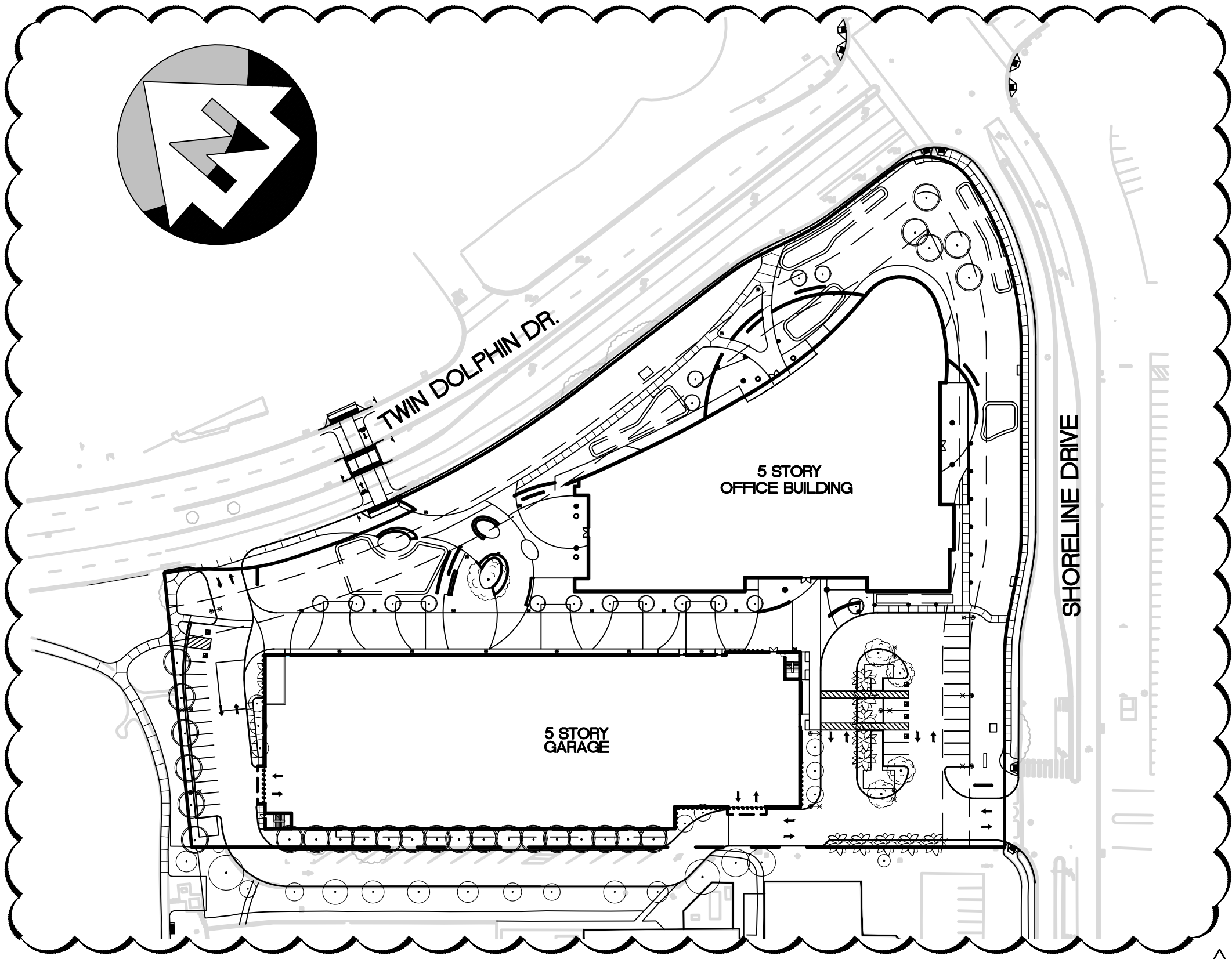
# 200 TWIN DOLPHIN

## VESTING TENTATIVE MAP

### FOR

## 200 TWIN DOLPHIN DRIVE

## REDWOOD CITY, CALIFORNIA



### KEY MAP

1" = 80'



#### UNAUTHORIZED CHANGES AND USES

**CAUTION:** THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS.



### VICINITY MAP

N.T.S.

### PROJECT DESCRIPTION

DEMOLISH EXISTING BUILDINGS AND PARKING LOT TO CLEAR THE SITE. CONSTRUCT (1) 5 STORY COMMERCIAL BUILDINGS AND A 5 LEVEL PARKING GARAGE. SITE IMPROVEMENTS WILL INCLUDE PARKING THROUGHOUT SITE, CONNECTION TO EXISTING SCENIC TRAIL, ASSOCIATED UTILITIES AND STORMWATER MANAGEMENT NECESSARY TO SUPPORT THE BUILDINGS.

### OWNER INFO

SAND HILL PROPERTY COMPANY LLC.  
CONTACT PERSON: STEVE L'YNCH  
965 PAGE MILL ROAD  
PALO ALTO, CA 94304  
PH: (650)-334-1500  
EMAIL: SL'YNCH@SHPCO.COM

### SITE ADDRESS

200 TWIN DOLPHIN DRIVE, REDWOOD CITY, CALIFORNIA 94065

### CIVIL ENGINEERS

SANDIS  
CHAD BROWNING, CBROWNING@SANDIS.NET  
1700 SOUTH WINCHESTER BOULEVARD SUITE 200  
CAMPBELL, CA 95008  
(408) 636-0900

### FLOODZONE

THIS PROJECT IS IN FLOOD ZONE X. THE PROJECT IS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE.

INFORMATION OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 06081C0169G DATED APRIL 5, 2019  
PRODUCED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

### CIVIL SHEET INDEX

TM-1.0	COVER SHEET
TM-2.0	TOPOGRAPHIC SURVEY
TM-2.1	EXISTING LOT AND PARCEL INFORMATION PLAN
TM-3.0	PROPOSED LOT AND PARCEL INFORMATION PLAN
TM-4.0	GRADING AND DRAINAGE PLAN
TM-4.1	CROSS SECTIONS
TM-5.0	UTILITY PLAN
TM-6.0	STORMWATER MANAGEMENT PLAN
TM-6.1	STORMWATER MANAGEMENT DETAILS AND CALCULATIONS
TM-7.0	FIRE ACCESS PLAN
TM-8.0	TRASH PICK-UP PLAN

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



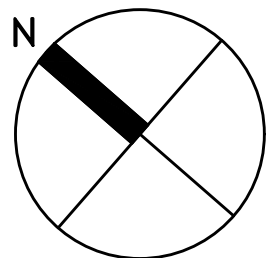
## SANDIS

CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY SF

31.620 02.15.2020



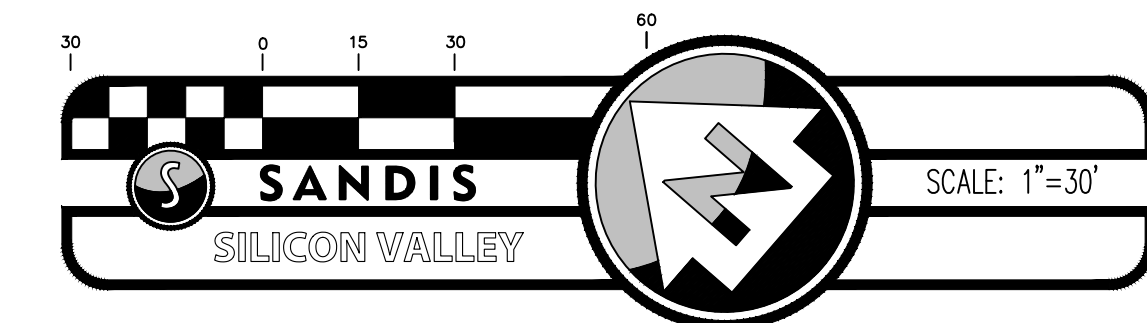
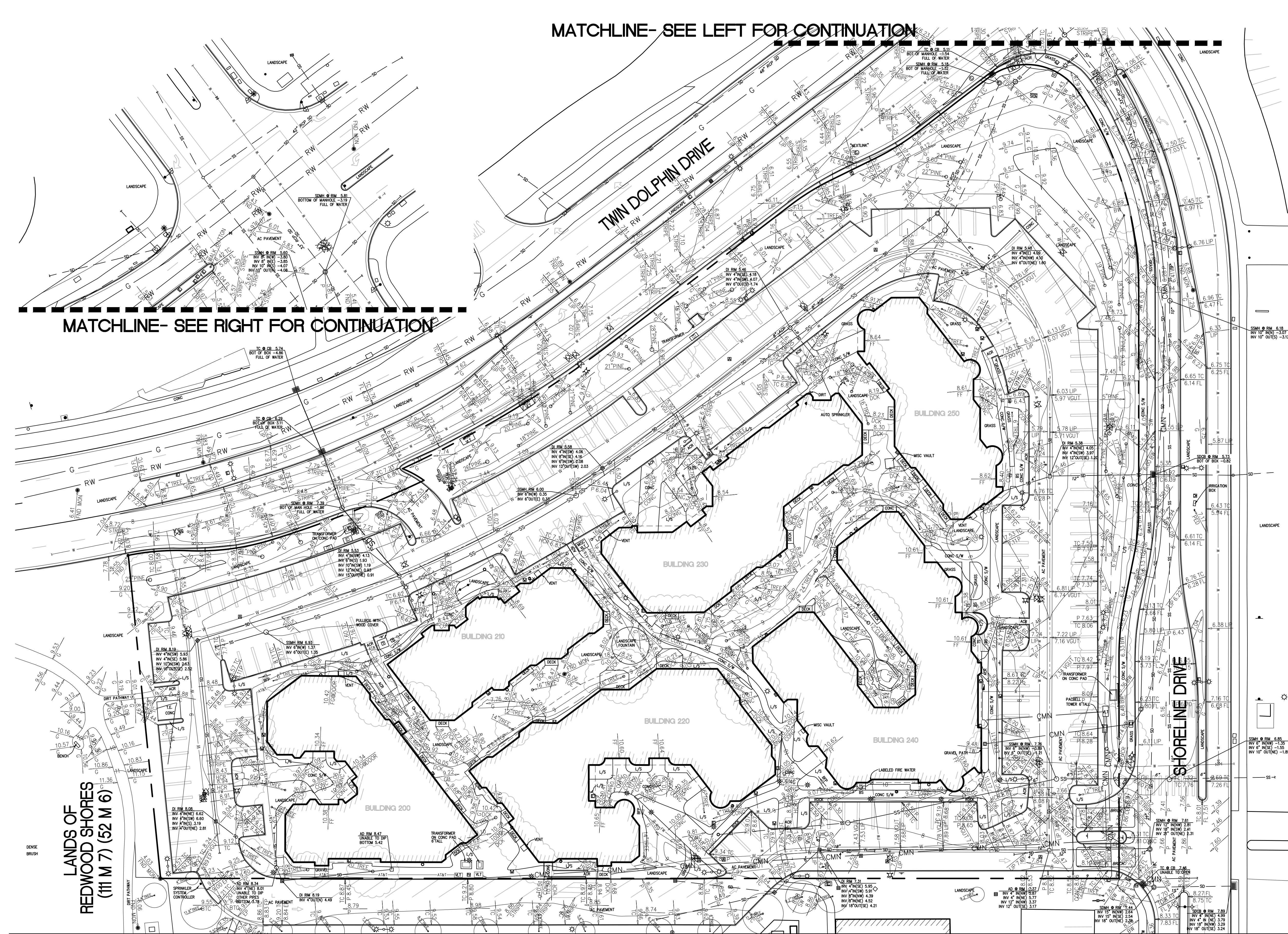
N.T.S.

### COVER SHEET

2 PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

# TM-1.0





## SURVEY NOTES

- EXISTING TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS BASED UPON TOPOGRAPHIC SURVEYS COMPLETED BY SANDIS ON 02/2008, AND 06/2018, UNDER THE DIRECTION OF LAURA CABRAL, PLS 7756.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK.
- TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP.
- HORIZONTAL CONTROL BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2018.250.
- PROPERTY LIES IN ZONE X, AS PER FLOOD ISSUANCE RATE MAP NUMBER 06081C0169F FOR SAN MATEO COUNTY, CALIFORNIA AND INCORPORATED AREAS, DATED JULY 16, 2015. THE PROJECT IS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE.

## BASIS OF BEARINGS

THE BEARING OF SOUTH 78°32'54" EAST ON THE LINE BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF TWIN DOLPHIN DRIVE, AS SHOWN ON THE AMENDED MAP OF EXECUTIVE GUILD REDWOOD BUSINESS PARK, FILED DECEMBER 28, 1983 IN BOOK 111 OF MAPS, AT PAGES 5-12, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

## BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF REDWOOD CITY BENCHMARK, BM ID 11, DESCRIBED AS A PUNCH LABELED CITY OF REDWOOD CITY BENCHMARK FOUND ON THE EAST SIDE OF THE MEDIAN ISLAND ON THE SOUTH SIDE OF THE INTERSECTION OF TWIN DOLPHIN DRIVE AND SHORELINE DRIVE.

ELEV=6.763 FEET (NAVD 88 DATUM)

## UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES, AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES, HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

## BOUNDARY NOTE

THE BOUNDARY THAT IS SHOWN IN THIS TOPOGRAPHIC SURVEY WAS PREPARED BY KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS INC. AND IS SHOWN FOR REFERENCE ONLY.

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



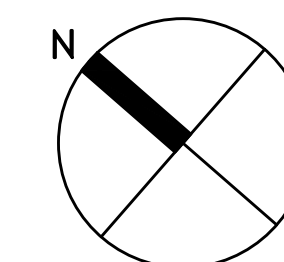
**SANDIS**

CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY SF

31.620 02.15.2021



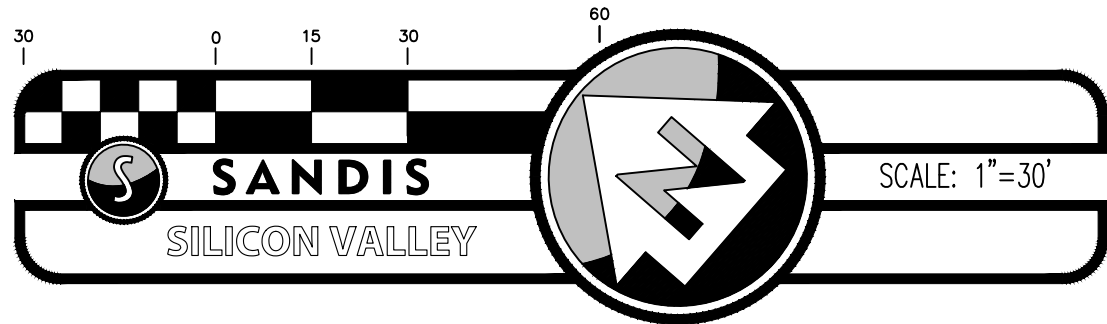
TOPOGRAPHIC  
SURVEY

TM-2.0



EXISTING EASEMENTS DISPOSITION		
ABUTTER'S RIGHTS OF INGRESS AND EGRESS	BK111 6-13	REVISE
UNDERGROUND PUBLIC UTILITIES EASEMENT	BK106 3-5	REMAIN
VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS	82093846	REVISE
UNDERGROUND PUBLIC SERVICE AND EMERGENCY ACCESS	BK111 6-13	VACATE
ACCESS AREA	86060941 EXHIBIT C	REVISE
LOT C	BK111 6-13	VACATE
INGRESS EGRESS EASEMENT	90100216	VACATE
LOT B	BK111 6-13	REMAIN

MATCHLINE- SEE LEFT FOR CONTINUATION



### SURVEY NOTES

- HORIZONTAL CONTROL BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2018.250.
- PROPERTY LIES IN ZONE X, AS PER FLOOD ISSUANCE RATE MAP NUMBER 06081C0169F FOR SAN MATEO COUNTY, CALIFORNIA AND INCORPORATED AREAS, DATED JULY 16, 2015. THE PROJECT IS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE.

### BASIS OF BEARINGS

THE BEARING OF SOUTH 78°32'54" EAST ON THE LINE BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF TWIN DOLPHIN DRIVE, AS SHOWN ON THE AMENDED MAP OF EXECUTIVE GUILD REDWOOD BUSINESS PARK, FILED DECEMBER 28, 1983 IN BOOK 111 OF MAPS, AT PAGES 5-12, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

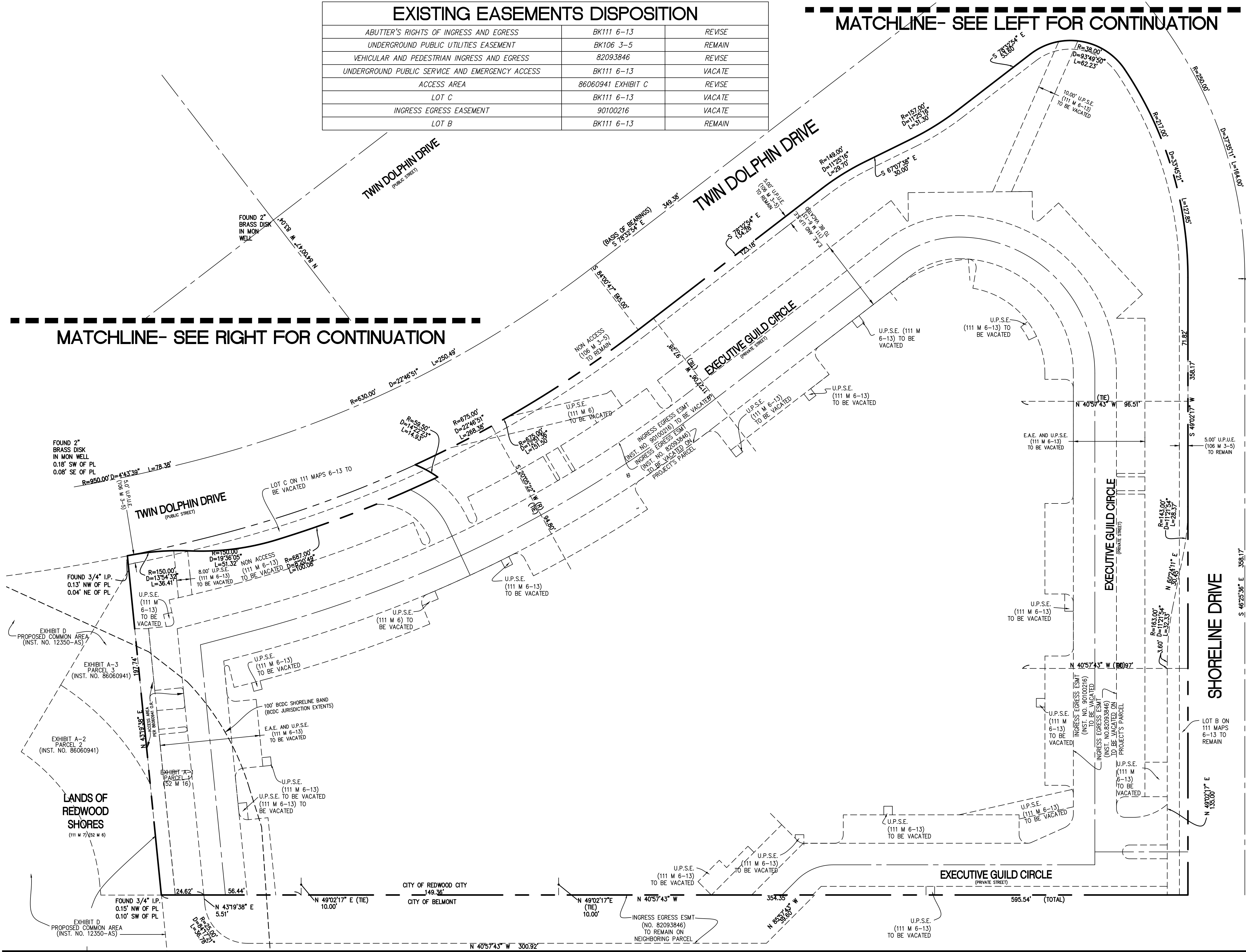
### BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF REDWOOD CITY BENCHMARK, BM 10 11, DESCRIBED AS A PUNCH LABELED CITY OF REDWOOD CITY BENCHMARK FOUND ON THE EAST SIDE OF THE MEDIAN ISLAND ON THE SOUTH SIDE OF THE INTERSECTION OF TWIN DOLPHIN DRIVE AND SHORELINE DRIVE.

ELEV=6,763 FEET (NAVD 88 DATUM)

### BOUNDARY NOTE

THE BOUNDARY THAT IS SHOWN IN THIS TOPOGRAPHIC SURVEY WAS PREPARED BY KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS INC. AND IS SHOWN FOR REFERENCE ONLY.



## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



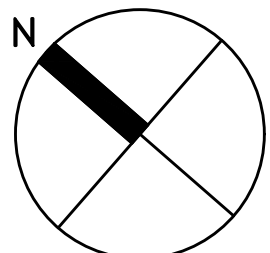
**SANDIS**

CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY, SF

31.620 02.15.2020

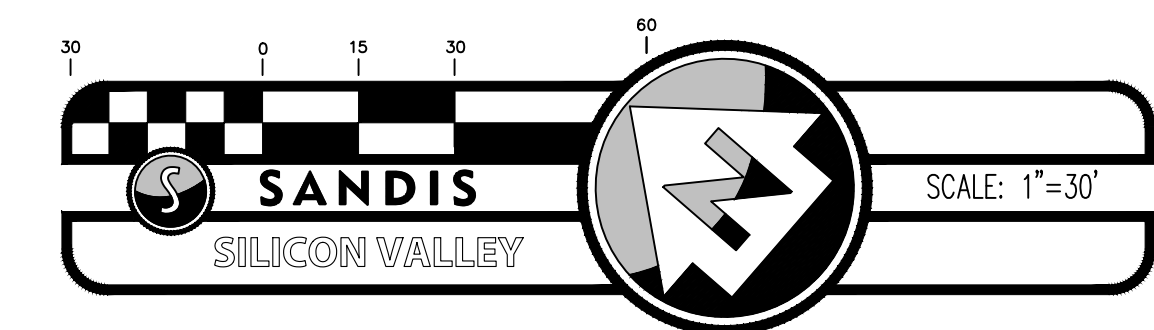
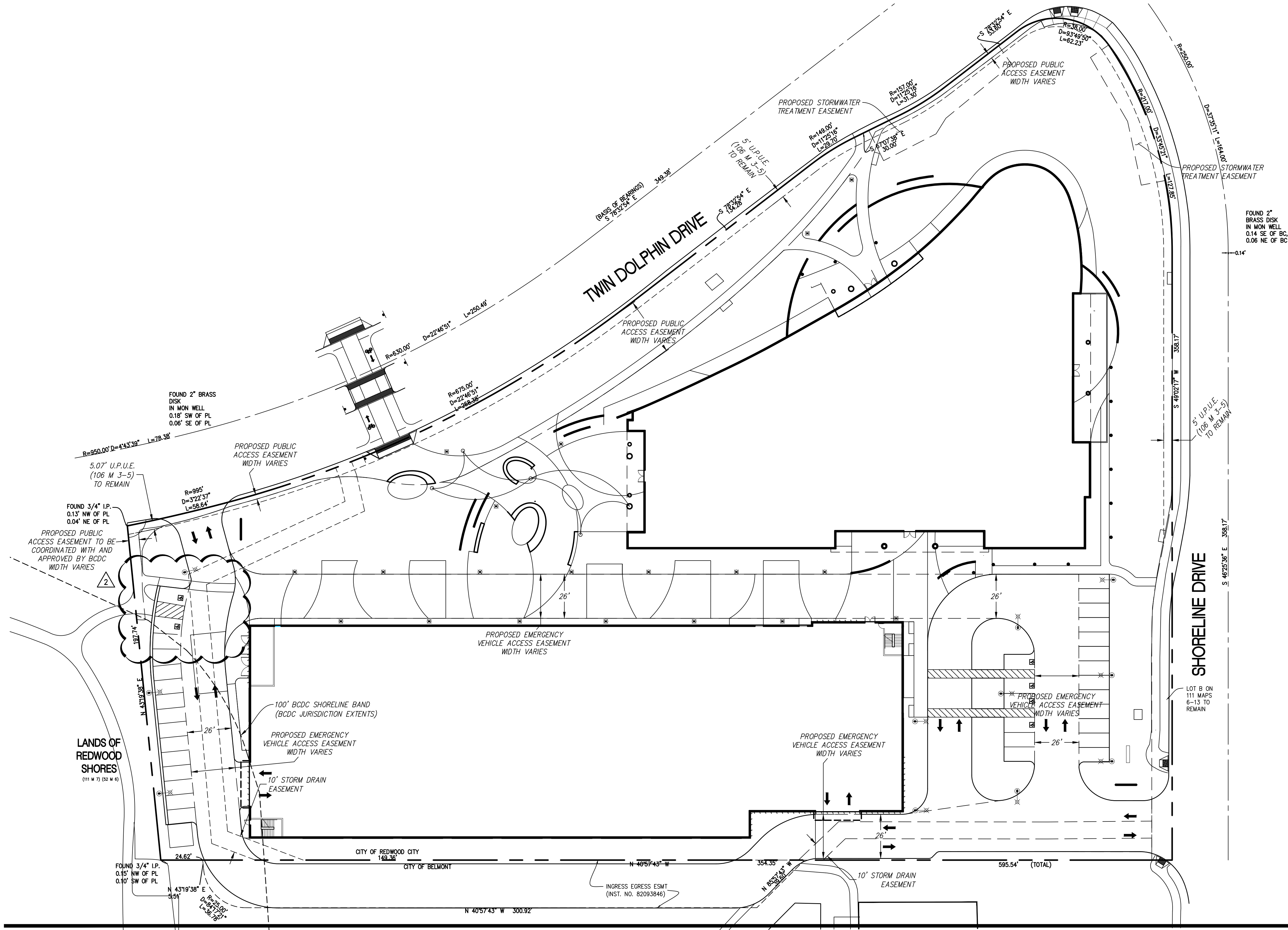


0' 30' 60'

EXISTING LOT AND PARCEL  
INFORMATION PLAN

TM-2.1





## SURVEY NOTES

- HORIZONTAL CONTROL BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2018.250.
- PROPERTY LIES IN ZONE X, AS PER FLOOD ISSUANCE RATE MAP NUMBER 06081C0169F FOR SAN MATEO COUNTY, CALIFORNIA AND INCORPORATED AREAS, DATED JULY 16, 2015. THE PROJECT IS PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE.

## BASIS OF BEARINGS

THE BEARING OF SOUTH 78°32'54" EAST ON THE LINE BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF TWIN DOLPHIN DRIVE, AS SHOWN ON THE AMENDED MAP OF EXECUTIVE GUILD REDWOOD BUSINESS PARK, FILED DECEMBER 28, 1983 IN BOOK 111 OF MAPS, AT PAGES 5-12, WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

## BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF REDWOOD CITY BENCHMARK, BM 10 11, DESCRIBED AS A PUNCH LABELED CITY OF REDWOOD CITY BENCHMARK FOUND ON THE EAST SIDE OF THE MEDIAN ISLAND ON THE SOUTH SIDE OF THE INTERSECTION OF TWIN DOLPHIN DRIVE AND SHORELINE DRIVE.

ELEV=6,763 FEET (NAVD 88 DATUM)

## BOUNDARY NOTE

THE BOUNDARY THAT IS SHOWN IN THIS TOPOGRAPHIC SURVEY WAS PREPARED BY KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS INC. AND IS SHOWN FOR REFERENCE ONLY.

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

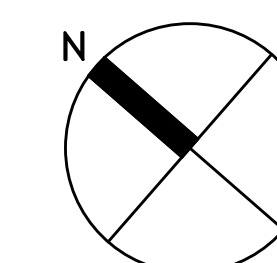


**CIVIL ENGINEERS  
SURVEYORS  
PLANNERS**

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY, SF

31.620 02.15.2020



0' 30' 60'

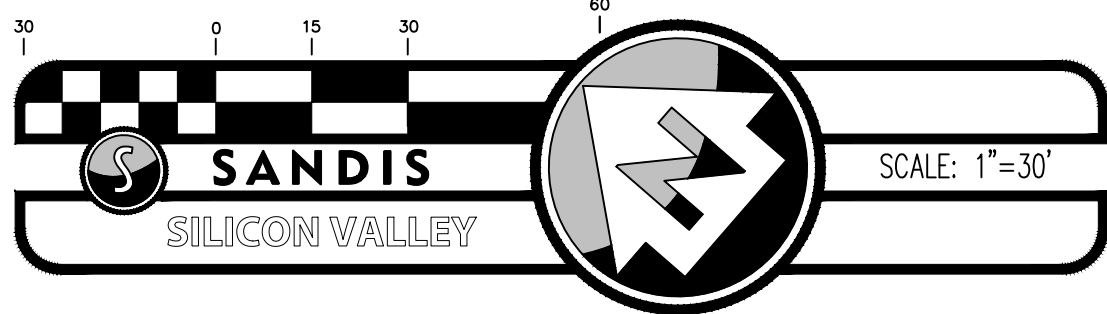
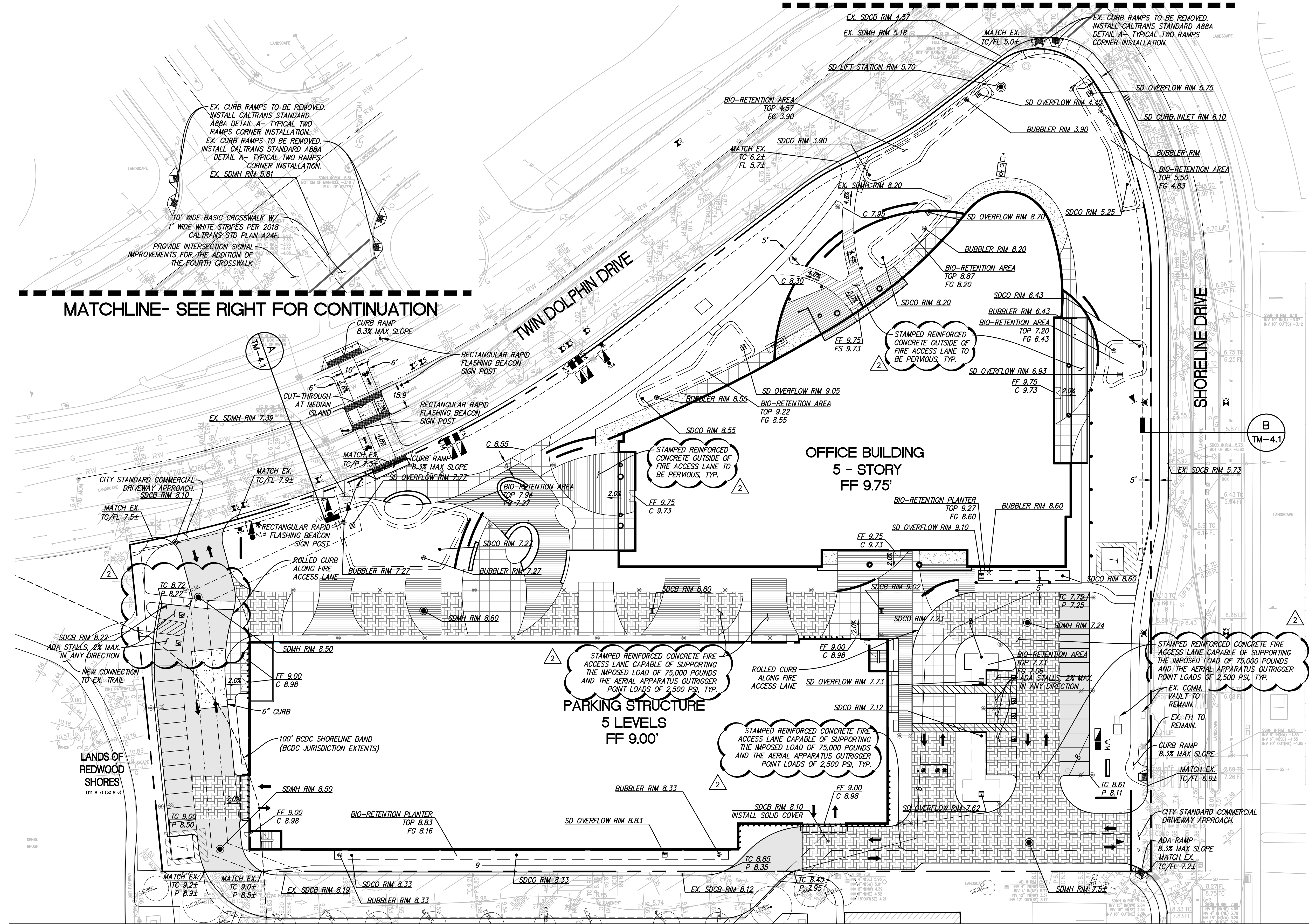
## PROPOSED LOT AND PARCEL INFORMATION PLAN

2 PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

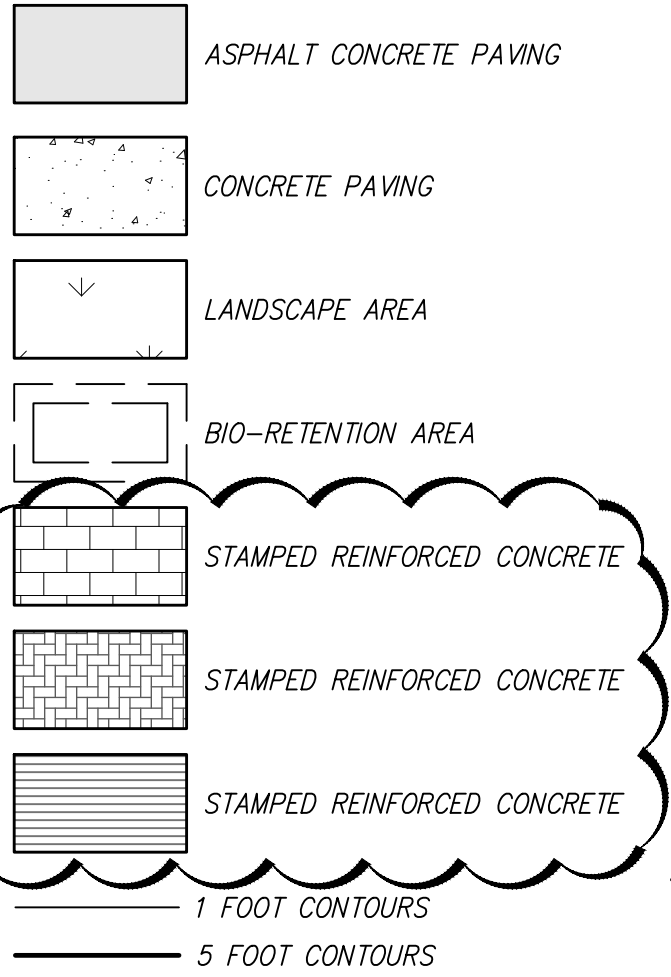
# TM-3.0



MATCHLINE- SEE LEFT FOR CONTINUATION



GRADING PLAN LEGEND



GRADING NOTES

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING ALL HARDSCAPE SURFACES AT 2% AND LANDSCAPE SURFACES AT 5% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. PROJECT TO INSTALL PAVEMENT OVERLAY ALONG THE PROJECT FRONTAGE BETWEEN THE PROPERTY AND MEDIAN AND ANYWHERE TRENCHING OCCURS ON THE OPPOSITE SIDE OF THE MEDIAN.

ADA NOTES

1. ALL HARDSCAPE ALONG THE ADA PATH OF TRAVEL SHALL BE IN CONFORMANCE WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE.
2. SLOPED WALKS ALONG THE DESIGNATED ADA PATH OF TRAVEL SHALL NOT EXCEED A SLOPE OF 1:20 (5%) WITHOUT HANDRAILS. THE MAXIMUM SLOPE WITH HANDRAILS OR FOR CURB RAMPS IS 1:12 (8.33%). LEVEL LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL SLOPED WALKWAYS AND RAMPS.
3. WALKWAYS ON ANY PATH OF TRAVEL SHALL HAVE A MINIMUM WIDTH OF 48". WALKWAYS AND ADA PARKING STALLS OR LOADING ZONES SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
4. A LEVEL LANDING (2% MAX SLOPE) SHALL BE PROVIDED AT ALL ACCESSIBLE ENTRANCES TO BUILDINGS. THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 60" AND A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING, AND 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPEN ONTO THE LANDING.
5. RAMPS GREATER THAN 1:20 SLOPE AND EXCEEDING 30" IN VERTICAL ELEVATION CHANGE SHALL HAVE INTERMEDIATE LEVEL LANDINGS.

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**SANDIS**  
CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

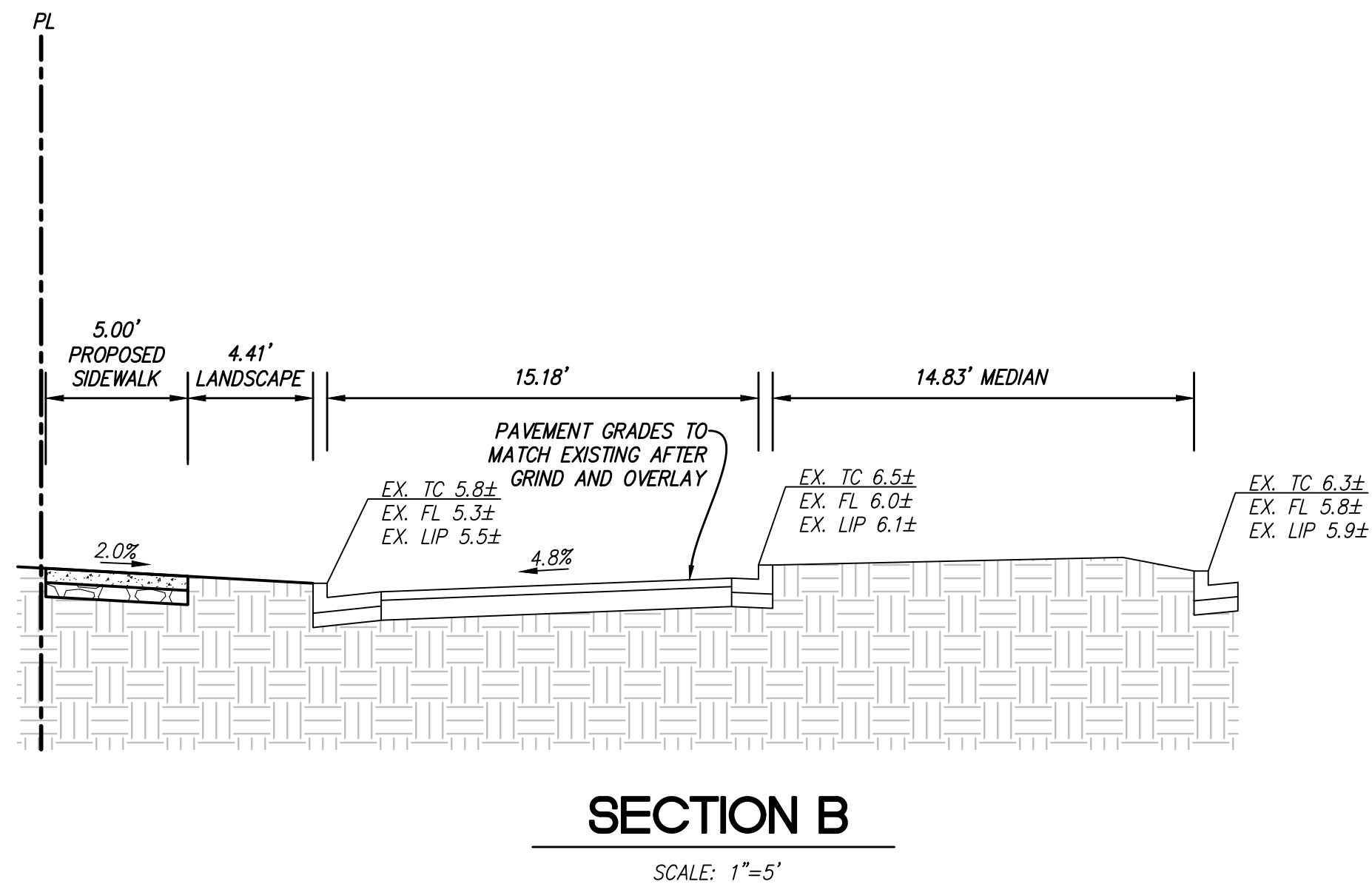
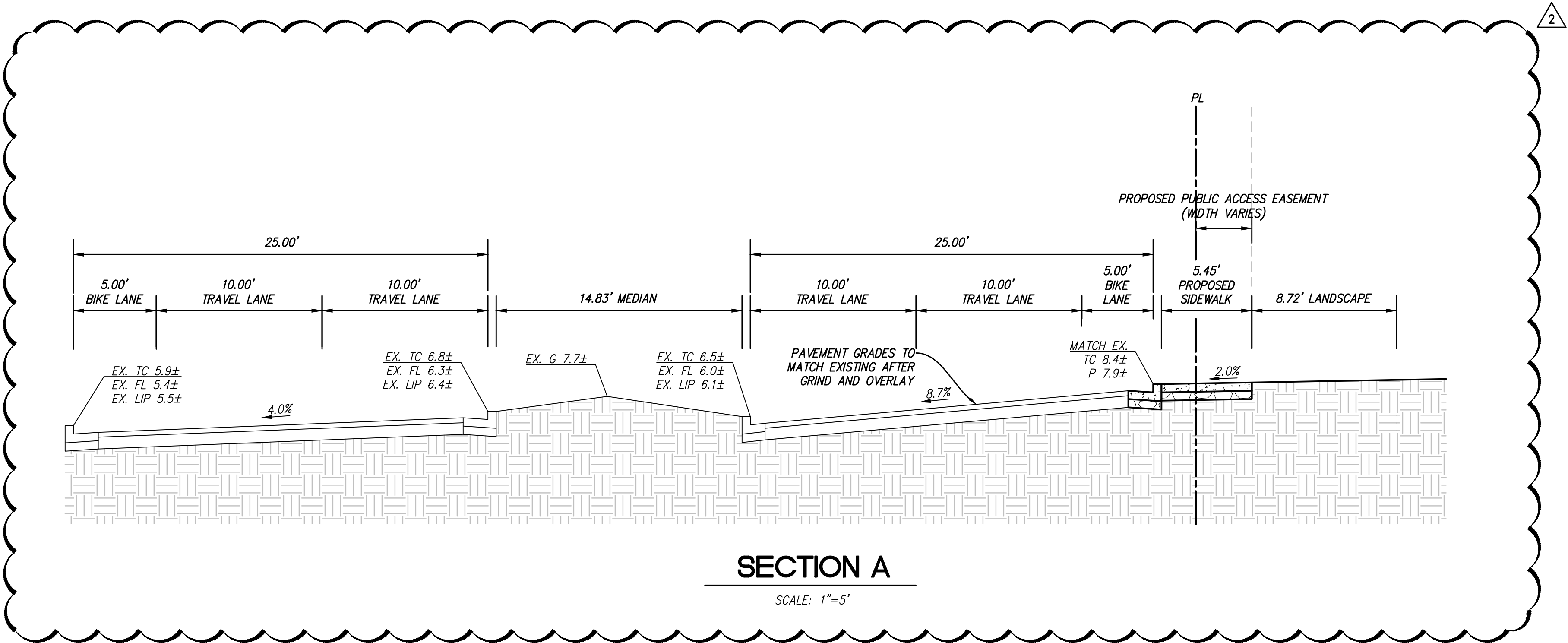
31.620 02.15.2021

GRADING AND  
DRAINAGE PLAN

PLANNING: FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

TM-4.0



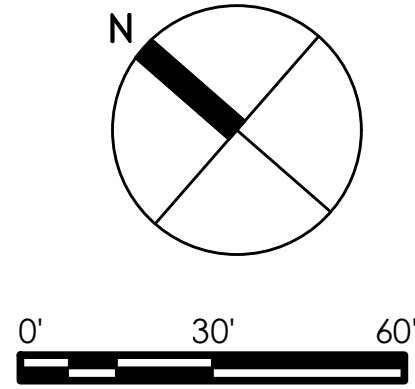


# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA  
SAND HILL PROPERTY COMPANY  
KENNETH RODRIGUES & PARTNERS, INC.

**SANDIS**  
CIVIL ENGINEERS  
SURVEYORS  
PLANNERS  
1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

31.620 02.15.2020

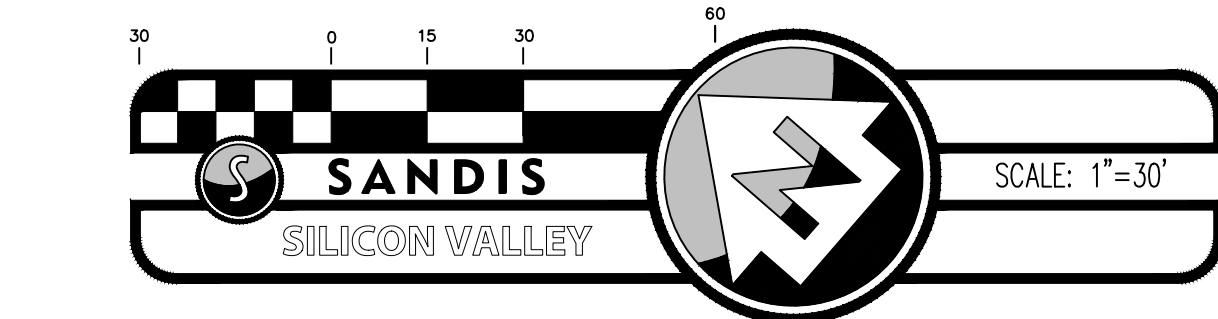
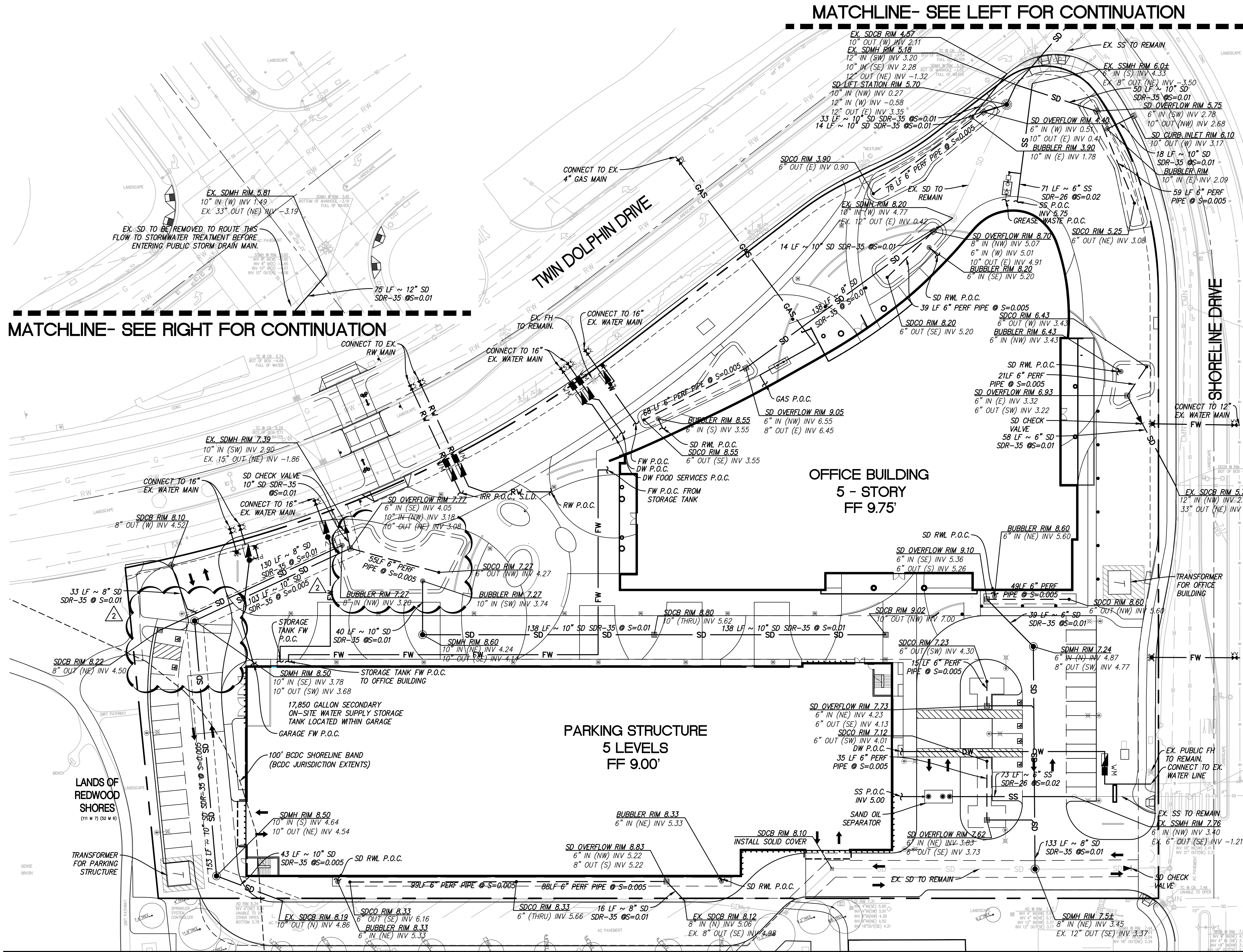


## CROSS SECTIONS

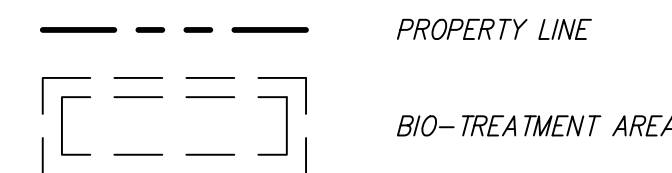
PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

# TM-4.1





## LEGEND



## STORM DRAIN NOTES

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 GREEN PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELLS AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE. TRENCH, ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 90° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
8. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
9. THE STORM DRAIN SYSTEM WITHIN REDWOOD SHORES IS A "WET" SYSTEM, WHERE THE WATER LEVEL IN THE PIPES IS CONNECTED TO THE ELEVATION OF THE LAGOON. SEPARATION BETWEEN ON-SITE AND OFF-SITE SYSTEMS IS ACCOMPLISHED BY THE USE OF STORM DRAIN CHECK VALVES WHERE THE SYSTEM IS ABOVE THE SUMMER TIME LAGOON ELEVATION OF 2.2' NAVD83. WHERE THIS IS NOT POSSIBLE, A STORM DRAIN LIFT STATION IS PROVIDING THE SEPARATION.

## SANITARY SEWER NOTES

1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
2. PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELL AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL LATERALS SHALL HAVE A TWO WAY CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS.
4. IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL VIDEO INSPECT, PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS.

## WATER SYSTEM NOTES

1. MAINTAIN WATER MAIN LINES 10' AWAY FROM SANITARY SEWER MAIN LINES. LATERALS SHALL BE SEPARATED PER PLAN DIMENSIONS.
2. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
3. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE WATER DISTRICT STANDARDS.
4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
5. THRUST RESTRAINTS SHALL BE DESIGNED AND INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS.
6. ALL RECYCLED WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF REDWOOD CITY RECYCLED WATER DEVELOPMENT STANDARDS.

## FIRE PROTECTION SYSTEM NOTE

1. THE FIRE PROTECTION SYSTEM PLANS AND CALCULATIONS ARE A DEFERRED SUBMITTAL.

# 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

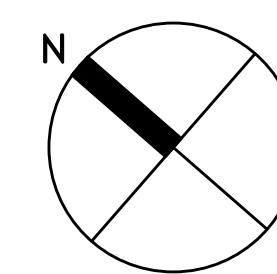


**CIVIL ENGINEERS  
SURVEYORS  
PLANNERS**

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY SF

31.620 02.15.2021



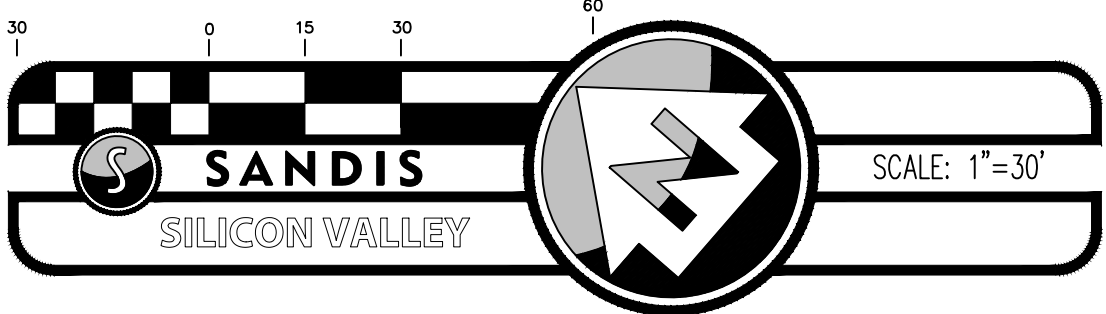
UTILITY PLAN

2 PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

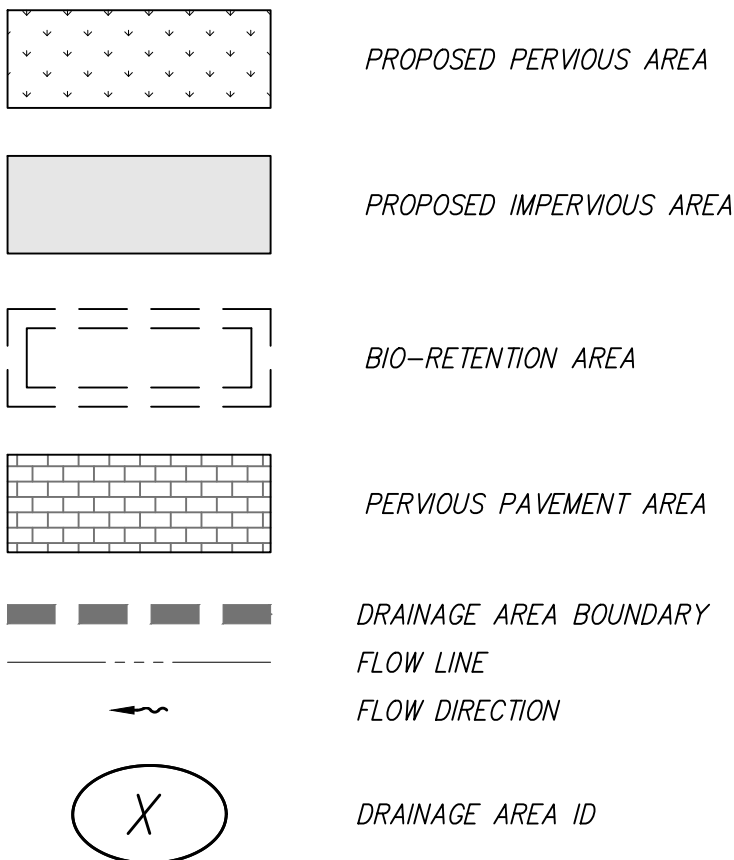
# TM-5.0



MATCHLINE- SEE LEFT FOR CONTINUATION



## STORMWATER MANAGEMENT PLAN LEGEND



## HYDROMODIFICATION NOTE:

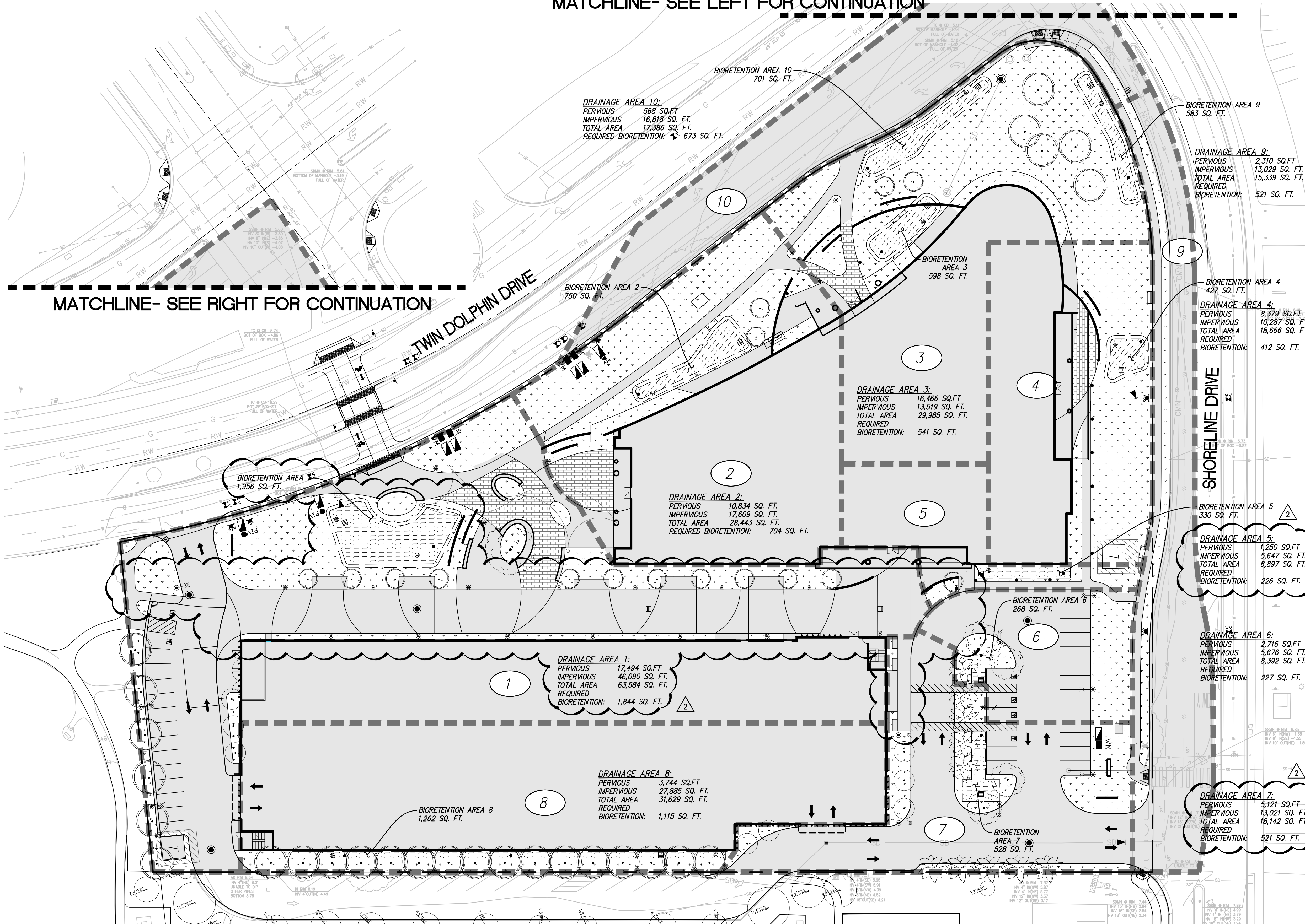
THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SAN MATEO C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO THE PROJECT BEING LOCATED IN A LOW GRADIENT AREA PER APPENDIX H, AREAS SUBJECT TO HYDROMODIFICATION MANAGEMENT REQUIREMENTS OF THE C.3 STORMWATER TECHNICAL GUIDANCE, JUNE 2016.

## SITE TREATMENT AREA NOTE:

THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT THE ENTIRE SITE.

## STORMWATER MANAGEMENT NOTES:

- THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE AN MATEO COUNTY PROGRAM AND THE CITY OF REDWOOD CITY REQUIREMENTS.
- THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE.
  - BIO-RETENTION AREA - RUNOFF IN THIS AREA IS DIRECTED TO A BIO-RETENTION PLANTER/AREA FOR FILTRATION, INFILTRATION AND EVAPOTRANSPIRATION PRIOR TO EXISTING THE SITE. PLANTING AND SOIL REQUIREMENTS APPLY; SEE DETAIL.
  - PERVIOUS PAVERS/PERVIOUS JOINT PAVERS/PERVIOUS PAVEMENTS - RUNOFF IN THIS AREA EITHER ORIGINATES OR IS DIRECTED TO PERVIOUS PAVEMENT MATERIALS. SEE SIZING CRITERIA FOR BASEROCK SECTIONS AND DRAINAGE REQUIREMENTS.



200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

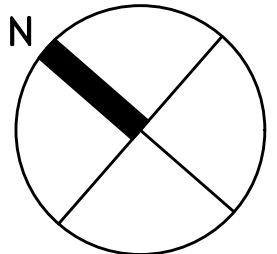


CIVIL ENGINEERS  
SURVEYORS  
PLANNERS

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY/SP

31.620 02.15.2021

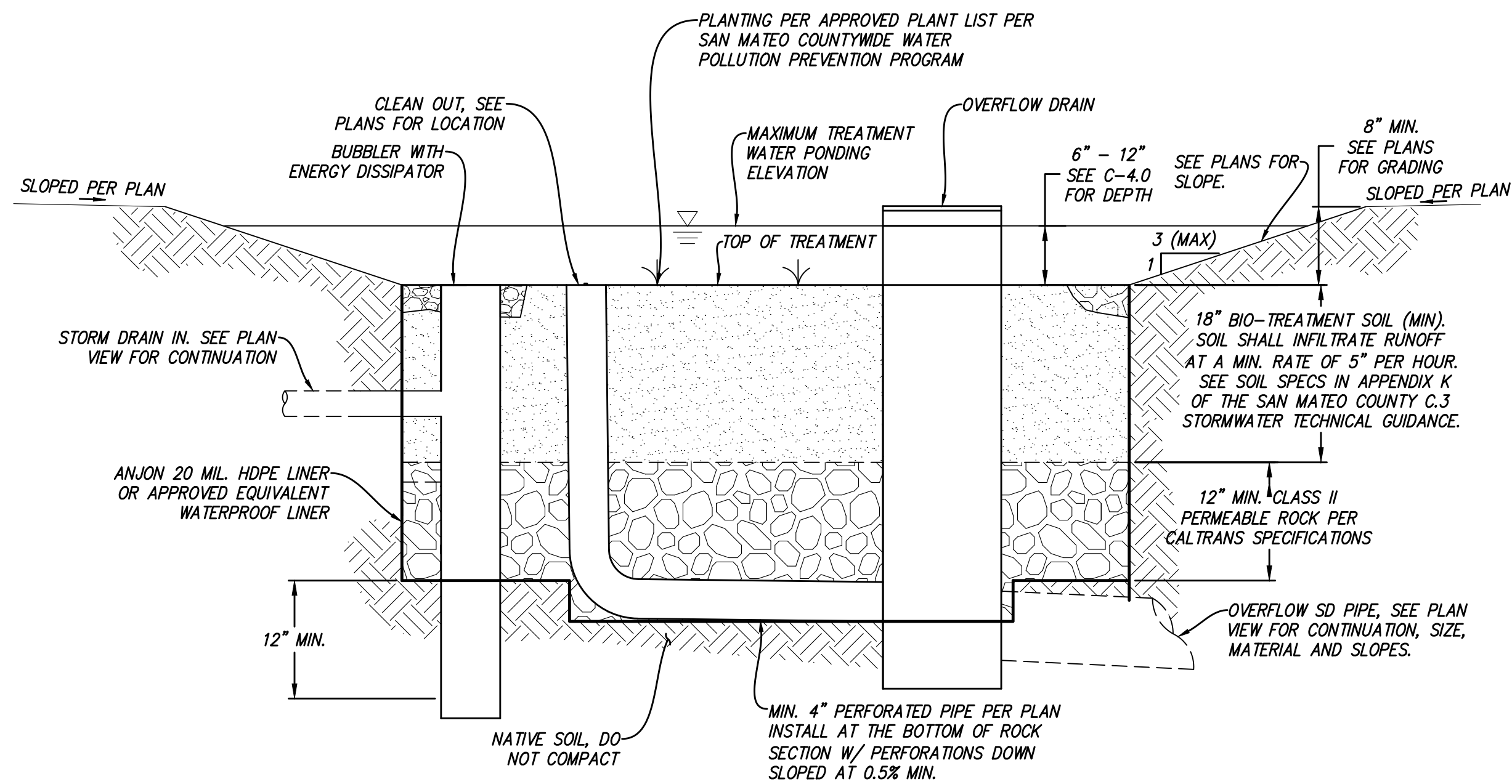


STORMWATER  
MANAGEMENT PLAN

PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

TM-6.0



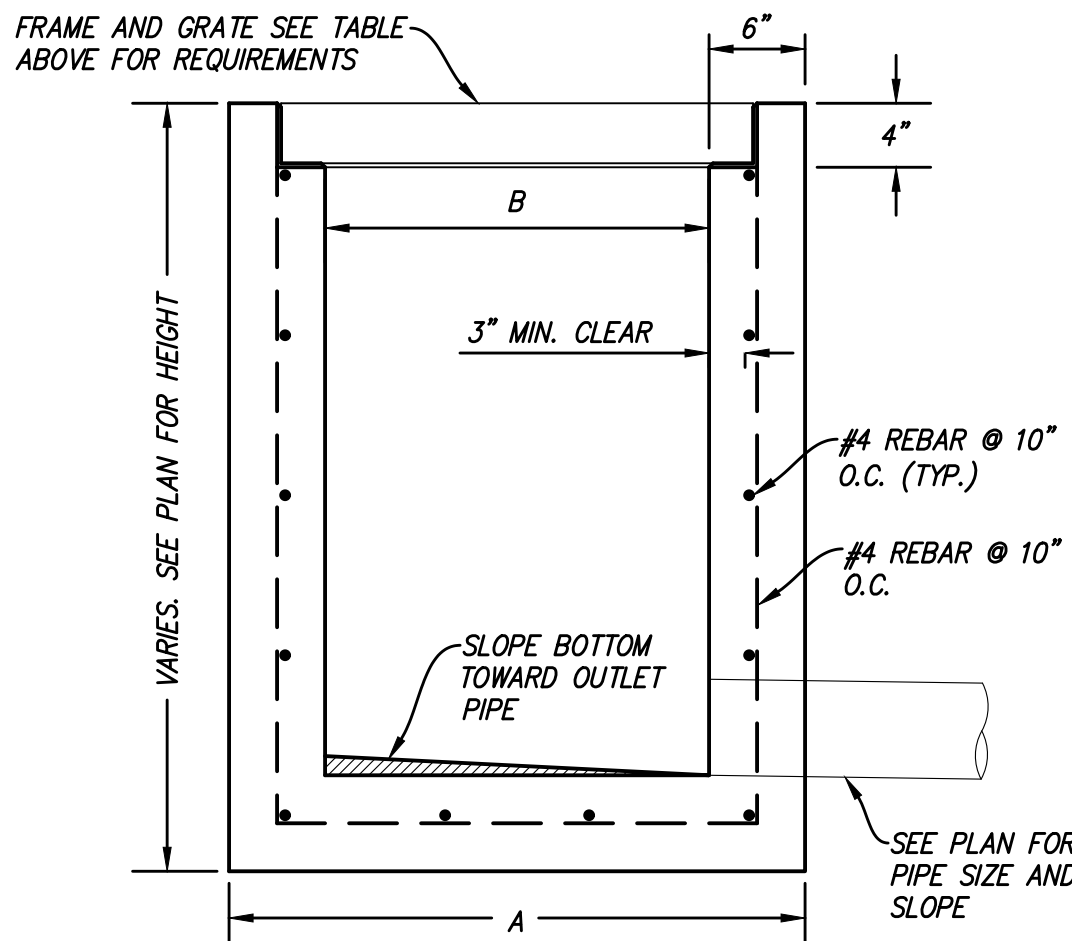


- NOTES:
- BIO-RETENTION AREA SHALL BE THE MINIMUM SIZE SHOWN ON SHEET TM-6.1.
  - INSTALL AND MAINTAIN MULCH LAYER ABOVE THE TREATMENT SOIL PER SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM REQUIREMENTS.

1 NON-INFILTRATING BIO-RETENTION AREA W/ BUBBLER

FRAME AND GRATE REQUIREMENTS		
CATCH BASIN LOCATION	LOADING REQUIREMENTS	MIN. GRATE SPACING REQUIREMENTS
VEHICLE ACCESS ROAD	H20 RATED	4" CROSS BARS O.C. W/ 1 1/8" BEARING BARS O.C.
PEDESTRIAN PATH	LIGHT DUTY/NON-TRAFFIC	1/4" MAX. OPENINGS
LANDSCAPE	LIGHT DUTY/NON-TRAFFIC	4" CROSS BARS O.C. W/ 1 1/8" BEARING BARS O.C.

CATCH BASIN SIZE	A	B	MAX PIPE SIZE
12"	2'-0"	1'-0"	6"
24"	3'-0"	2'-0"	18"
36"	4'-0"	3'-0"	30"



- NOTES:
- T&G JOINT AS REQUIRED FOR STRUCTURES OVER 4'-0" DEEP.
  - FRAME SHALL BE ANCHORED TO CONCRETE PER MANUFACTURER'S SPECIFICATIONS.

2 CONCRETE SQUARE OVERFLOW DRAIN

### STORMWATER TREATMENT CALCULATIONS

DRAINAGE AREA	PERVIOUS AREA [SF]	IMPERVIOUS AREA [SF]	TOTAL AREA [SF]	COMPOSITE C	i [in/hr]	2.22	Qpre [cfs] for 10 year	5.29	Qpost [cfs] for 30 year	8.13	BIORETENTION AREA INFILTRATION Q [CFS]
					TREATMENT AREA REQUIRED PER 4% RULE [SF]	TREATMENT AREA PROVIDED [SF]	Qpre [cfs] for 10 year	QPOST [CFS] for 30 year	VOLUME DETAINED [CF]	DETENTION PONDING DEPTH [FT]	
1	17,494	46,090	63,584	0.680	1,844	1,956	1.411	2.203	713	0.36	0.226
2	10,834	17,609	28,443	0.595	704	750	0.631	0.863	209	0.28	0.087
3	16,466	13,519	29,985	0.461	541	598	0.665	0.704	35	0.06	0.069
4	8,379	10,287	18,666	0.541	411	427	0.414	0.515	90	0.21	0.049
5	1,250	5,647	6,897	0.755	226	330	0.153	0.265	101	0.31	0.038
6	2,716	5,676	8,392	0.641	227	268	0.186	0.274	79	0.30	0.031
7	5,121	13,021	18,142	0.674	521	528	0.402	0.623	199	0.38	0.061
8	3,744	27,885	31,629	0.805	1,115	1,262	0.702	1.298	537	0.43	0.146
9	2,310	13,029	15,339	0.780	521	583	0.340	0.609	242	0.42	0.067
10	568	16,818	17,386	0.874	673	701	0.386	0.774	350	0.50	0.081

200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.



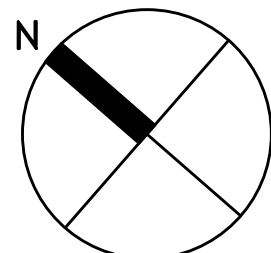
**SANDIS**

**CIVIL ENGINEERS  
SURVEYORS  
PLANNERS**

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY, SF

31.620 02.15.2021



AS SHOWN

## STORMWATER MANAGEMENT DETAILS AND CALCULATIONS

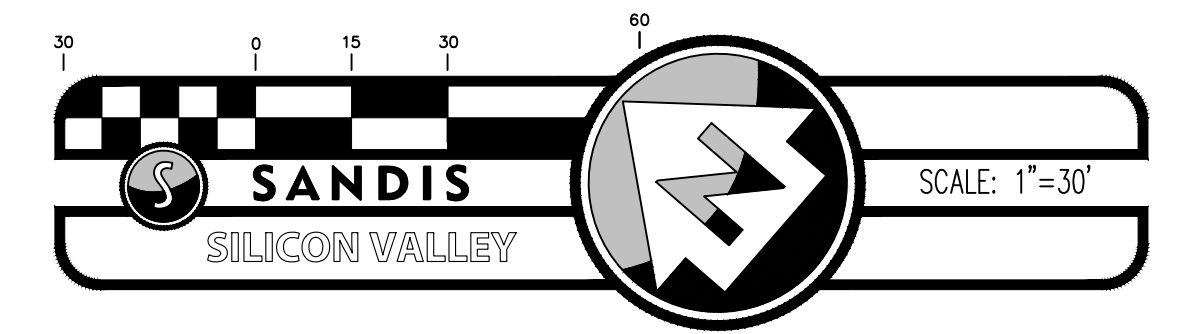
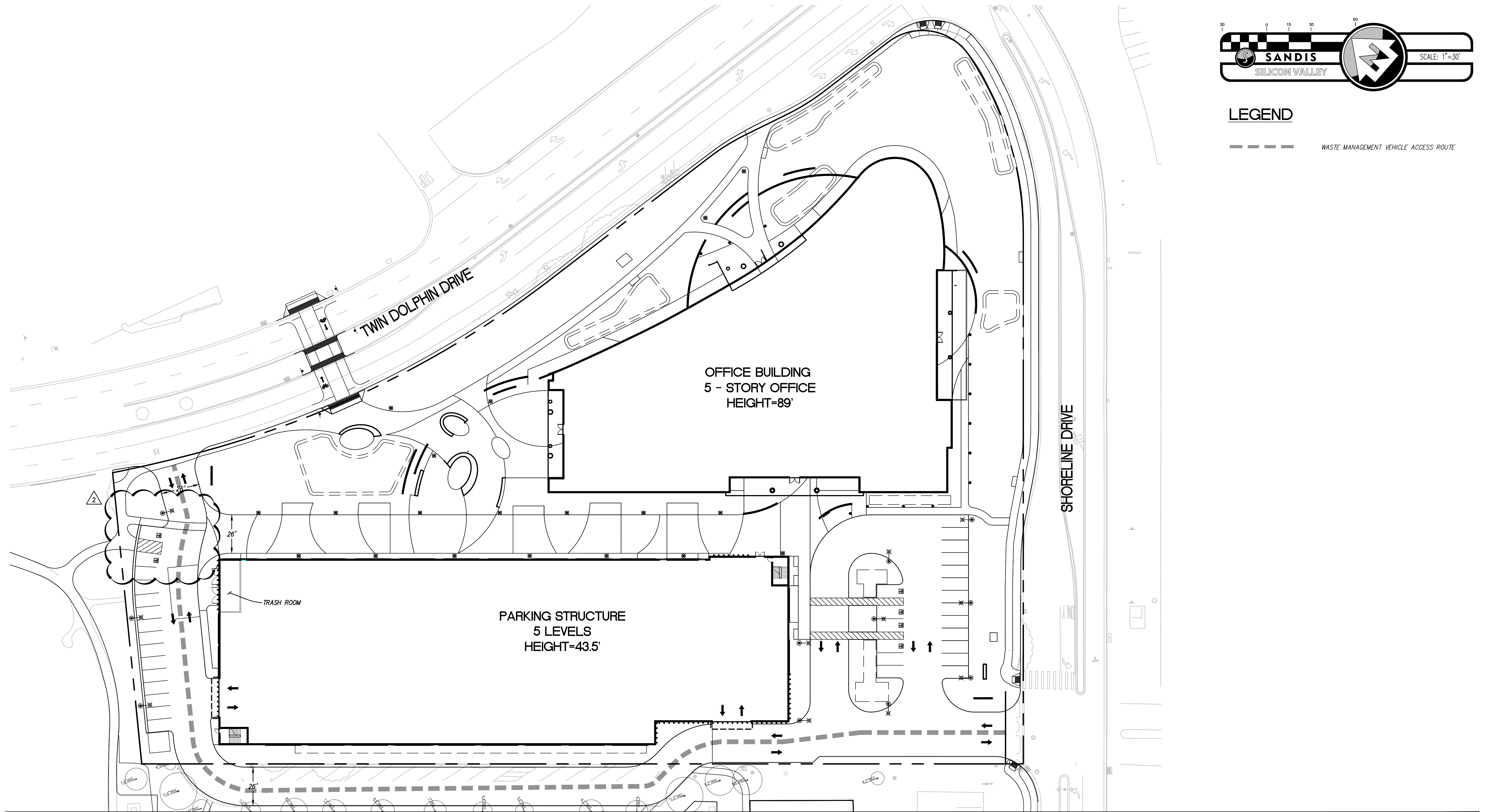
2 PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

TM-6.1









### LEGEND

WASTE MANAGEMENT VEHICLE ACCESS ROUTE

## 200 TWIN DOLPHIN DRIVE

REDWOOD CITY, CA

SAND HILL PROPERTY COMPANY

KENNETH RODRIGUES & PARTNERS, INC.

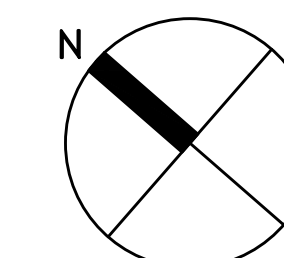


**CIVIL ENGINEERS  
SURVEYORS  
PLANNERS**

1700 S. Winchester Blvd,  
Suite 200, Campbell, CA 95008  
P. 408.636.0900  
F. 408.636.0999  
www.sandis.net

SILICON VALLEY TRI-VALLEY CENTRAL VALLEY  
SACRAMENTO EAST BAY, SF

31.620 02.15.2021



0' 30' 60'

### TRASH PICK-UP PLAN

PLANNING, FIRE, PUBLIC WORKS (R2)  
FEBRUARY 15, 2021

# TM-8.0