

WRNSSTUDIO

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swa

 WATRY DESIGN, INC.

BKF

WATT

 pma
project management advisors



505 PENOBSCOT DRIVE RWC, LLC

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

ENTITLEMENT APPLICATION
10/24/2025

PROJECT INFO

PROJECT SUMMARY

THE 13.65 ACRE PROJECT SITE IS CURRENTLY DEVELOPED WITH THREE LIFE SCIENCE/OFFICE BUILDINGS AND 453 SURFACE PARKING SPACES. THE PROJECT SITE ENCOMPASSES THE FOLLOWING PARCELS:

505 PENOBSCOT DRIVE
APN: 054-320-260
83,320 GSF
YEAR BUILT: 1986
301 PENOBSCOT DRIVE
APN: 054-320-250
156,529 GSF
YEAR BUILT: 1987
701 GALVESTON DRIVE
APN: 054-320-080
APN: 054-320-090
87,649 GSF
YEAR BUILT: 1985

THE EXISTING BUILDINGS WOULD BE DEMOLISHED TO PREPARE FOR TWO NEW FIVE-STORY LIFE SCIENCE/OFFICE BUILDINGS TOTALING UP TO 600K GSF, TWO PARKING STRUCTURES WITH A TOTAL OF 1,499 PARKING STALLS, OPEN SPACE, SUPPORTING UTILITIES AND INFRASTRUCTURE, PEDESTRIAN AND BICYCLE PATHS, AND NEW LANDSCAPING AND TREES. THE OVERALL BUILDING HEIGHT TO PARAPET WOULD BE A MAXIMUM OF 90-100 FEET, EXCLUDING THE MECHANICAL PENTHOUSE. THE PROJECT PROPOSES VACATING TWO EXISTING PUBLIC RIGHT-OF-WAYS (PENOBSCOT DRIVE AND GALVESTON DRIVE) TO PRIVATELY MAINTAINED STREETS.

ENTITLEMENTS / PERMITS REQUESTED

DEVELOPMENT:

1. **ARCHITECTURAL PERMIT (AP):** FOR NONRESIDENTIAL NEW CONSTRUCTION
2. **PLANNED DEVELOPMENT PERMIT (PD/PDA):** FOR NEW OFFICE DEVELOPMENT
*SEEKING MINOR SETBACK MODIFICATION AS A PART OF PLANNED DEVELOPMENT PERMIT
SEE 2/ A-111, PARCEL APN 054-320-260

LAND SUBDIVISION:

2. VESTING TENTATIVE PARCEL MAP FOR RECONFIGURATION OF EXISTING LOTS AND STREET GRID

DEFERRED PERMITS

1. EXTERIOR SIGNAGE
2. INTERNAL FIRE SPRINKLER / STANDPIPE LAYOUT & CALCULATIONS
3. FIRE ALARM SYSTEMS
4. ELEVATOR LOBBY / WAITING AREA TWO WAY COMMUNICATION SYSTEM
5. ERRCS SYSTEM
6. SOLAR PV SYSTEM

APPLICABLE CODES & AGENCIES

THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT REFERENCED PROJECT IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID CALIFORNIA CODE OF REGULATIONS TITLE 24, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.

CALIFORNIA CODE OF REGULATIONS (CCR)

2022 CALIFORNIA BUILDING CODE - PART 2, TITLE 24, CCR
(BASED UPON 2021 INTERNATIONAL BUILDING CODE)

2022 CALIFORNIA ELECTRICAL CODE - PART 3, TITLE 24, CCR
(BASED UPON 2020 NATIONAL ELECTRICAL CODE)

2022 CALIFORNIA MECHANICAL CODE - PART 4, TITLE 24, CCR
(BASED UPON 2021 UNIFORM MECHANICAL CODE)

2022 CALIFORNIA PLUMBING CODE - PART 5, TITLE 24, CCR
(BASED UPON 2021 UNIFORM PLUMBING CODE)

2022 CALIFORNIA ENERGY CODE - PART 6, TITLE 24, CCR

2022 CALIFORNIA FIRE CODE - PART 9, TITLE 24, CCR
(BASED UPON 2021 INTERNATIONAL FIRE CODE)

2025 REDWOOD CITY ZONING CODE, AS AMENDED

2025 REDWOOD CITY MUNICIPAL CODE, AS AMENDED

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS W/ CA AMENDMENTS	2016 EDITION
NFPA 14	STANDPIPE SYSTEMS W/ CA AMENDMENTS	2016 EDITION
NFPA 17A	WET CHEMICAL SYSTEMS	2016 EDITION
NFPA 20	STATIONARY PUMPS	2016 EDITION
NFPA 24	PRIVATE FIRE MAINS W/ CA AMENDMENTS	2016 EDITION
NFPA 72	NATIONAL FIRE ALARM DOE W/ CA AMENDMENTS	2016 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS W/ CA AMENDMENTS	2016 EDITION

2020.09.21 ORDINANCE 2521 "REDWOOD CITY REACH CODES"

PROJECT DIRECTORY

PROPERTY OWNER

METROPOLITAN LIFE INSURANCE COMPANY
425 MARKET STREET
SUITE 1050
SAN FRANCISCO, CA 94105
415-489-2224

OWNER REPRESENTATIVE

PROJECT MANAGEMENT ADVISORS, INC.
1 TOWER PLACE, SUITE 200
SOUTH SAN FRANCISCO, CA 94080
650-491-8800

ARCHITECT

WRNS STUDIO
501 SECOND STREET
SUITE 402
SAN FRANCISCO, CA 94107
415-489-2224

CIVIL

BKF ENGINEERS
255 SHORELINE DRIVE
SUITE 200
REDWOOD CITY, CA 94065
650-482-6453

PARKING

WATRY DESIGN INC.
2099 GATEWAY PLACE
SUITE 550
SAN JOSE, CA 95110
833-917-7275

LANDSCAPE

SWA
530 BUSH STREET
6TH FLOOR
SAN FRANCISCO, CA
94108
415-836-8770

LIGHTING

WATT
SEATTLE, WASHINGTON
206.317.4699

ARBORIST

HORTSCIENCE | BARTLETT CONSULTING
2550 NINTH STREET, SUITE 112, BERKELEY, CA
94710
925-785-4321

DRAWING SHEET INDEX

SHEET #	SHEET NAME
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00 GENERAL

G-000	COVER
G-001	DRAWING INDEX, PROJECT DIRECTORY, PROJECT INFO
G-002	PROJECT INFORMATION
G-003	BUILDING CODE INFORMATION
G-004	EXISTING SITE PHOTOS
G-010	NORTH BLD AREA PLANS
G-012	SOUTH BLD AREA PLANS
G-021	CONTEXT DIAGRAMS AND SITE ANALYSIS
G-022	PROJECT GOALS & CONCEPT DIAGRAMS

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01 ARCHITECTURAL SITE

A-100	EXISTING SITE PLAN
A-101	PROPOSED SITE PLAN - LEVEL 1
A-106	PROPOSED SITE PLAN - ROOF
A-110	PROPOSED SETBACKS PLAN
A-111	PROPOSED SETBACKS SECTIONS
A-112	CONCEPTUAL FIRE ACCESS PLAN
A-201	CONCEPTUAL RENDERINGS
A-202	CONCEPTUAL RENDERINGS
A-301	STREET ELEVATIONS

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01 CIVIL

C-001	COVER SHEET
C-002	NOTES, LEGEND, ABBREVIATIONS
C-100	EXISTING CONDITIONS PLAN
C-200	PROPOSED DEMOLITION PLAN
C-300	EXISTING PARCELIZATION PLAN
C-301	PROPOSED PARCELIZATION PLAN
C-302	EXISTING BOUNDARY AND EASEMENTS PLAN
C-303	PROPOSED BOUNDARY AND EASEMENTS PLAN
C-400	PROPOSED SITE PLAN
C-401	CROSS SECTIONS
C-500	PROPOSED GRADING PLAN
C-600	PROPOSED UTILITY PLAN
C-700	PROPOSED STORMWATER MANAGEMENT PLAN
C-701	PROPOSED STORMWATER MANAGEMENT DATA AND DETAILS
C-702	BEST MANAGEMENT PRACTICES

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02 LANDSCAPE

L-001	OPEN SPACE FRAMEWORK
L-101	OVERALL LANDSCAPE SITE PLAN
L-102	10% PUBLIC ACCESS DIAGRAM
L-103	REGIONAL CIRCULATION DIAGRAM
L-104	SITE CIRCULATION DIAGRAM
L-201	CENTRAL LANDSCAPE ENLARGEMENT PLAN
L-301	LANDSCAPE SITE SECTIONS - WATERFRONT
L-302	LANDSCAPE SITE SECTIONS - STREETSCAPE

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04 NORTH BUILDING

AN-100	NORTH BUILDINGS AXON
AN-101	NORTH BUILDING FLOOR PLANS
AN-102	NORTH BUILDING FLOOR PLANS
AN-103	NORTH BUILDING FLOOR PLANS
AS-100	SOUTH BUILDINGS AXON
AN-301	NORTH BUILDING ELEVATIONS
AN-302	NORTH BUILDING ELEVATIONS
AN-321	NORTH BUILDING SECTIONS

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05 NORTH PARKING

PN-101	LEVEL 01 PARKING PLANS
PN-102	LEVEL 02 PARKING PLANS
PN-103	LEVEL 03 PARKING PLANS
PN-104	LEVEL 04 PARKING PLANS
PN-105	LEVEL 05 PARKING PLANS
PN-106	LEVEL 06 PARKING PLANS
PN-304	NORTH PARKING - EXTERIOR ELEVATION
PN-330	NORTH PARKING - SECTIONS

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06 SOUTH BUILDING

AS-101	SOUTH BUILDING FLOOR PLANS
AS-102	SOUTH BUILDING FLOOR PLANS
AS-103	SOUTH BUILDING FLOOR PLANS
AS-104	SOUTH BUILDING FLOOR PLANS
AS-301	SOUTH BUILDING ELEVATIONS
AS-302	SOUTH BUILDING ELEVATIONS
AS-321	SOUTH BUILDING SECTIONS

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07 SOUTH PARKING

PS-101	LEVEL 01 PARKING PLANS
PS-102	LEVEL 02 PARKING PLANS
PS-103	LEVEL 03 PARKING PLANS
PS-104	LEVEL 04 PARKING PLANS
PS-105	LEVEL 05 PARKING PLANS
PS-106	LEVEL 06 PARKING PLANS
PS-304	SOUTH PARKING - EXTERIOR ELEVATION
PS-330	NORTH PARKING - SECTIONS

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08 LIGHTING

LT-101	ILLUSTRATIVE SITE LIGHTING PLAN
LT-102	SITE LIGHTING CHARACTER

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TOTAL SHEETS: 74

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WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
---------------	------

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 10/17/2025

SCALE: 12" = 1'-0"

SHEET TITLE:

DRAWING INDEX,
PROJECT DIRECTORY,
PROJECT INFO

SHEET NO:

G-001

10/2/2025 5:30:31 PM

OVERALL PROJECT DATA

EXISTING PARCELS

505 PENOBSCOT DRIVE

REFERENCE ADDRESS: 505 PENOBSCOT DRIVE
ASSESSOR'S PARCEL #: 054-320-280
PARCEL SF: 251,916 SF
CURRENT ZONING: CP
CURRENT USE: COMMERCIAL / INDUSTRIAL
CURRENT BUILDING GSF: 82,320 SF
SURROUNDING USES: BUSINESS / R&D
PARKING: 232 SURFACE STALLS

301 PENOBSCOT DRIVE

REFERENCE ADDRESS: 301 PENOBSCOT DRIVE
ASSESSOR'S PARCEL #: 054-320-250
PARCELS SF: 156,529 SF
CURRENT ZONING: CP
CURRENT USE: COMMERCIAL / INDUSTRIAL
CURRENT BUILDING GSF: 47,900 SF
SURROUNDING USES: BUSINESS / R&D
PARKING: 123 SURFACE STALLS

701 GALVESTON DRIVE

REFERENCE ADDRESS: 701 GALVESTON DRIVE
ASSESSOR'S PARCEL #: 054-320-080
PARCEL SF: 87,649 SF
CURRENT ZONING: CP
CURRENT USE: COMMERCIAL / INDUSTRIAL
CURRENT BUILDING GSF: 23,880 SF
SURROUNDING USES: BUSINESS / R&D
PARKING: 98 SURFACE STALLS

PROPOSED PARCELS

NORTH PENOBSCOT

REFERENCE ADDRESS: 505 PENOBSCOT DRIVE
ASSESSOR'S PARCEL #: 054-320-280
PARCEL SF: 272,916 SF
CURRENT ZONING: CP
CURRENT USE: COMMERCIAL / INDUSTRIAL
CURRENT BUILDING GSF: 272,916 SF
FAR: 1.0
PARKING: 702 STALLS
PARKING RATIO: 2.57 STALLS / 1K GSF
SETBACKS: 25' + 1' FOR HEIGHT ABOVE 35'
FRONT 25' + 1' FOR HEIGHT ABOVE 35'
REAR 15' PER SIDE = 30' TOTAL
SIDE SEE A-110 / 111 FOR INFO

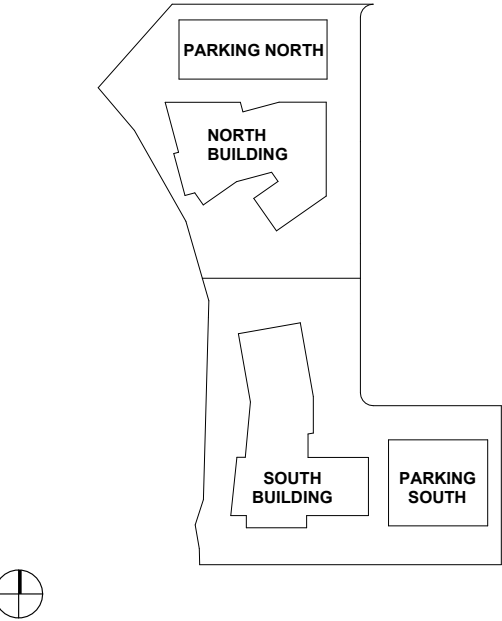
SOUTH PENOBSCOT

REFERENCE ADDRESS: 301 PENOBSCOT DRIVE
ASSESSOR'S PARCEL #: 054-320-250
PARCELS SF: 321,788 SF
CURRENT ZONING: CP
CURRENT USE: COMMERCIAL / INDUSTRIAL
CURRENT BUILDING GSF: 321,788 SF
FAR: 1.0
PARKING: 797 STALLS
PARKING RATIO: 2.48 STALLS / 1K GSF
SETBACKS: NO FRONT YARD
FRONT NO REAR YARD
REAR 10' MIN PER SIDE = 40' TOTAL
SIDE SEE A-110 / 111 FOR INFO

PARCEL SF:

ZONING: CP
USE: COMMERCIAL / INDUSTRIAL
BUILDING GSF: 321,788 SF
FAR: 1.0
PARKING: 797 STALLS
PARKING RATIO: 2.48 STALLS / 1K GSF
SETBACKS: NO FRONT YARD
FRONT NO REAR YARD
REAR 10' MIN PER SIDE = 40' TOTAL
SIDE SEE A-110 / 111 FOR INFO

PROJECT BUILDING MAP



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swa

WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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PROJECT TECHNICAL SUMMARY

NORTH BUILDING

BUILDING TECHNICAL INFORMATION:

ITEM	PROPOSED	ALLOWED	REF
CONST TYPE:	1A		CBC 601
OCCUPANCY TYPE	B, ACCESSORY A-2 (PLANNED FOR L)	ALL	
HEIGHT TO TOP OCC. FLOOR:	70'-6"	UNLIMITED	CBC 502
ZONING HEIGHT:	91'-6"	100'-0"	ARTICLE 16
ZONING STORIES:	5	UNLIMITED	CBC 504
TOTAL AREA	270K	UNLIMITED	CBC 506
LARGEST SINGLE FLOOR AREA	58K	UNLIMITED	CBC 506
SPRINKLERED:	YES		CBC 903

BUILDING AREA TABULATION

Level	Name	Area
LEVEL 1	EXTERIOR COVERED GSF	2,158 SF
LEVEL 2	EXTERIOR COVERED GSF	1,537 SF
LEVEL 3	EXTERIOR COVERED GSF	436 SF
LEVEL 4	EXTERIOR COVERED GSF	999 SF
LEVEL 5	EXTERIOR COVERED GSF	969 SF
	EXTERIOR COVERED GSF	6,099 SF
LEVEL 1	INTERIOR GSF	57,699 SF
LEVEL 2	INTERIOR GSF	54,580 SF
LEVEL 3	INTERIOR GSF	51,942 SF
LEVEL 4	INTERIOR GSF	50,970 SF
LEVEL 5	INTERIOR GSF	50,636 SF
ROOF	INTERIOR GSF	989 SF
	INTERIOR GSF	266,816 SF
	TOTAL PLANNING GSF	272,916 SF

* ZONING HEIGHT MEASURED FROM AVERAGE ADJ. GRADE TO TOP OF STRUCTURAL ROOF
**HIGHEST OCCP. FLOOR MEASURED FROM LOWEST POINT OF EVA ACCESS (i.e. LOWEST ADJ. EVA GUTTER).
***REFER TO BUILDING SECTIONS FOR ALL BUILDING HEIGHT MEASUREMENTS TO THEIR RESPECTIVE DATUMS

SOUTH BUILDING

BUILDING TECHNICAL INFORMATION:

ITEM	PROPOSED	ALLOWED	REF
CONST TYPE:	1A		CBC 601
OCCUPANCY TYPE	B, ACCESSORY A-2 (PLANNED FOR L)	ALL	
HEIGHT TO TOP OCC. FLOOR:	70'-0"	UNLIMITED	CBC 502
ZONING HEIGHT:	90'-8"	100'-0"	ARTICLE 16
ZONING STORIES:	5 + 1 BASEMENT	UNLIMITED	CBC 504
TOTAL AREA	270K	UNLIMITED	CBC 506
LARGEST SINGLE FLOOR AREA	58K	UNLIMITED	CBC 506
SPRINKLERED:	YES		CBC 903

BUILDING AREA TABULATION

Level	Name	Area
LEVEL 1	EXTERIOR COVERED GSF	2,716 SF
LEVEL 2	EXTERIOR COVERED GSF	822 SF
LEVEL 3	EXTERIOR COVERED GSF	987 SF
LEVEL 4	EXTERIOR COVERED GSF	927 SF
	EXTERIOR COVERED GSF	5,451 SF
LEVEL 1	INTERIOR GSF	69,632 SF
LEVEL 2	INTERIOR GSF	66,069 SF
LEVEL 3	INTERIOR GSF	59,398 SF
LEVEL 4	INTERIOR GSF	59,505 SF
LEVEL 5	INTERIOR GSF	60,689 SF
ROOF	INTERIOR GSF	1,043 SF
	INTERIOR GSF	316,337 SF
	TOTAL PLANNING GSF	321,788 SF

* ZONING HEIGHT MEASURED FROM AVERAGE ADJ. GRADE TO TOP OF STRUCTURAL ROOF
**HIGHEST OCCP. FLOOR MEASURED FROM LOWEST POINT OF EVA ACCESS (i.e. LOWEST ADJ. EVA GUTTER).
***REFER TO BUILDING SECTIONS FOR ALL BUILDING HEIGHT MEASUREMENTS TO THEIR RESPECTIVE DATUMS

NORTH GARAGE

BUILDING TECHNICAL INFORMATION:

ITEM	PROPOSED	ALLOWED	REF
CONST TYPE:	IIB		CBC 601
OCCUPANCY TYPE	S-2	ALL	
HEIGHT TO TOP OCC. FLOOR:	60'-0"	75	CBC 504
ZONING HEIGHT:	60'-6"	100'-0"	ARTICLE 16
ZONING STORIES:	6	8	CBC 406
AREA PER FLOOR:	40K	50K	CBC 406
SPRINKLERED:	YES		CBC 903

BUILDING AREA TABULATION

NOTE: ALL PARKING GSF EXEMPT AND OMITTED FROM FAR CALCULATIONS

Level	Name	Area
LEVEL 01 - PN	GARAGE	40,259 SF
LEVEL 02 - PN	GARAGE	40,979 SF
LEVEL 03 - PN	GARAGE	40,259 SF
LEVEL 04 - PN	GARAGE	40,259 SF
LEVEL 05 - PN	GARAGE	40,259 SF
LEVEL 06 - PN	GARAGE	31,439 SF
	GARAGE	233,454 SF

* ZONING HEIGHT MEASURED FROM AVERAGE ADJ. GRADE TO TOP OF STRUCTURAL ROOF
**HIGHEST OCCP. FLOOR MEASURED FROM LOWEST POINT OF EVA ACCESS (i.e. LOWEST ADJ. EVA GUTTER).
***REFER TO BUILDING SECTIONS FOR ALL BUILDING HEIGHT MEASUREMENTS TO THEIR RESPECTIVE DATUMS

SOUTH GARAGE

BUILDING TECHNICAL INFORMATION:

ITEM	PROPOSED	ALLOWED	REF
CONST TYPE:	IIB		CBC 601
OCCUPANCY TYPE	S-2	ALL	
HEIGHT TO TOP OCC. FLOOR:	68'-4"	75	CBC 504
ZONING HEIGHT:	68'-1"	100'-0"	ARTICLE 16
ZONING STORIES:	6.5	8	CBC 406
AREA PER FLOOR:	40K	50K	CBC 406
SPRINKLERED:	YES		CBC 903

BUILDING AREA TABULATION

NOTE: ALL PARKING GSF EXEMPT AND OMITTED FROM FAR CALCULATIONS

Level	Name	Area
LEVEL 01 - PN	GARAGE	40,852 SF
LEVEL 2 PS	GARAGE	39,917 SF
LEVEL 3 PS	GARAGE	39,917 SF
LEVEL 4 PS	GARAGE	39,917 SF
LEVEL 5 PS	GARAGE	39,917 SF
LEVEL 6 PS	GARAGE	39,917 SF
LEVEL 6.5 PS	GARAGE	4,545 SF
	GARAGE	244,984 SF

* ZONING HEIGHT MEASURED FROM AVERAGE ADJ. GRADE TO TOP OF STRUCTURAL ROOF
**HIGHEST OCCP. FLOOR MEASURED FROM LOWEST POINT OF EVA ACCESS (i.e. LOWEST ADJ. EVA GUTTER).
***REFER TO BUILDING SECTIONS FOR ALL BUILDING HEIGHT MEASUREMENTS TO THEIR RESPECTIVE DATUMS

PARKING TECHNICAL SUMMARY

SOUTH BLD. PARKING STALLS

Level	Count
LEVEL B1	70
	TOTAL PARKING STALLS: 70

MOTORCYCLE: (5%)
UNDER 100 STALLS - NOT REQ'D

PARKING SOUTH STALLS

Level	Count
LEVEL 01	99
LEVEL 02	121
LEVEL 03	122
LEVEL 04	122
LEVEL 05	122
LEVEL 06	141
	TOTAL PARKING STALLS: 727

*SEE PS-101 FOR STALL COUNT BREAKDOWNS

MOTORCYCLE: (5%) = 36 stalls

SOUTH GARAGE BICYCLE PARKING

LONG TERM (5%): 36
SHORT TERM (1:5000 sf): 65

PARKING NORTH STALLS

Level	Count
LEVEL 01	88
LEVEL 02	123
LEVEL 03	124
LEVEL 04	124
LEVEL 05	124
LEVEL 06	119
	TOTAL PARKING STALLS: 702

*SEE PN-101 FOR STALL COUNT BREAKDOWNS

MOTORCYCLE: (5%) = 36 stalls

SOUTH GARAGE BICYCLE PARKING

LONG TERM (5%): 36
SHORT TERM (1:5000 sf): 55

All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch _____

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/2" = 1'-0"

SHEET TITLE:

PROJECT INFORMATION

SHEET NO:

G-002

10/2/2025 9:24:53 AM

SOUTH AND NORTH BUILDING CODE INDEX

SECTION REFERENCES CBC 2022, UON

TYPE OF CONSTRUCTION	TYPE IA			602.2					
REQUIRED FIRE RESISTIVE RATINGS STEEL NOT REQ'D TO BE RATED: • COLUMN BRACING • BEAM BRACES & KICKERS • MECH EQUIP SUPPORT • CANOPY FRAMING • STAIRS • ELEVATOR RAIL SUPPORTS & DIVIDER BEAMS	PRIMARY STRUCTURAL FRAME	3 HOUR		CHAPTER 6 TABLE 601					
	PRIMARY STRUCTURAL FRAME SUPPORTING ROOF LOADS ONLY	1.5 HOUR							
	BEARING WALLS - EXTERIOR	3 HOUR							
	BEARING WALLS - INTERIOR	3 HOUR							
	BEARING WALLS - INTERIOR SUPPORTING ROOF LOADS ONLY	1.5 HOUR							
	NON-BEARING WALLS - EXTERIOR	NO RATING REQUIRED (FIRE SEPARATION DISTANCE GREATER THAN 30')							
	NON-BEARING WALLS - INTERIOR	0 HOUR							
	FLOOR CONSTRUCTION	2 HOUR (UL DESIGN #D-902)							
	ROOF CONSTRUCTION	1.5 HOUR (UL DESIGN #D-902)							
	STAIRWAY ENCLOSURE	2 HOUR, SEE BELOW							
	SHAFT ENCLOSURES	2 HOUR, SEE BELOW							
OCCUPANCY CLASSIFICATION	PERMITTED AS GROUP B, ACCESSORY A-3, ANTICIPATED GROUP L			CHAPTER 3					
ALLOWABLE BUILDING HEIGHT & AREA	ALLOWABLE HEIGHT	UNLIMITED		TABLE 504.3					
	ALLOWABLE NO. OF STORIES	UNLIMITED		TABLE 504.4					
	ALLOWABLE AREA	UNLIMITED		TABLE 506.2					
ACTUAL BUILDING HEIGHT & AREA	ACTUAL HEIGHT	91'-6" (70'-6" TO TOP OCCUPIED FLOOR) @ NORTH 90'-8" (70'-0" TO TOP OCCUPIED FLOOR) @ SOUTH							
	ACTUAL NO. OF STORIES	5 OCCUPIED STORIES + PENTHOUSE @ NORTH 6 OCCUPIED STORIES + PENTHOUSE @ SOUTH (INCL. BASEMENT)							
	ACTUAL AREA (PER FLOOR) ACTUAL AREA (TOTAL BUILDING)	SEE PROJECT TECHNICAL INFORMATION SEE PROJECT TECHNICAL INFORMATION							
FIRE SEPARATION RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	DISTANCE	REQ'D RATING		CHAPTER 6 & 7 TABLE 705.5					
	0 FT < X < 5 FT =	1 HR							
	5 FT ≤ X < 10 FT =	1 HR							
	10 FT ≤ X < 30 FT =	1 HR							
	30 FT ≤ X =	0 HR							
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE	MAXIMUM AREA OF EXTERIOR WALL OPENINGS (AS PERCENTAGE OF WALL AREA)								
	SEPARATION (FT):	0 - <3	3 - <5	5 - <10	10 - <15	15 - <20	20 - <25	25 - <30	>30
	UNPROTECTED, SPRINKLERED (UP,S)	NP	15%	25%	45%	75%	NL	NL	NL
	PROTECTED (P)	NP	15%	25%	45%	75%	NL	NL	NL
	(NP=NOT PERMITTED, NL=NO LIMIT)								
FLOOR OPENINGS & SHAFTS	2 HOUR				CHAPTER 7 713.4				
	SHAFT ENCLOSURES SHALL NOT HAVE A FIRE-RESISTANCE RATING LESS THAN THE FLOOR ASSEMBLY PENETRATED. BUT NEED NOT EXCEED 2 HOURS.								
INTERIOR OPENING AND WINDOW FIRE PROTECTION RATINGS	TYPE OF ASSEMBLY	DOOR RATING	DOOR VISION PANEL SIZE	DOOR SIDELITE/ TRANSOM	WINDOW	TABLE 716.5 TABLE 716.6			
	1 HR FIRE PARTITION	20 MIN.	MAX TESTED	45 MIN.	45 MIN.				
	1 HR FIRE BARRIER	60 MIN.	100 IN²	NP	NOT PERMITTED				
	1 HR SMOKE BARRIER	20 MIN.	MAX TESTED	45 MIN.	45 MIN.				
	2HR PARTITION/SHAFT	90 MIN.	100 IN²	NP	NP				
OCCUPANT LOAD	OCCUPANCY CLASSIFICATION	FUNCTION OF SPACE		OCCUPANT LOAD (SF PER OCCUPANT)		TABLE 1004.5			
	BUSINESS GROUP B	BUSINESS AREAS		150 GROSS					
		ACCESSORY S / M (STORAGE/MECH/ELEC)		300 GROSS					
		ACCESSORY A-2, UNCONCENTRATED (LESS THAN 750 SF/50 OCC)		15 NET					
	ASSEMBLY GROUP A-2	ASSEMBLY, UNCONCENTRATED		15 NET					
	LABORATORY GROUP L	RESEARCH SPACES		200 GROSS					
	AGGREGATE ACCESSORY OCCUPANCIES SHALL NOT OCCUPY MORE THAN 10 PERCENT OF THE FLOOR AREA OF THE STORY IN WHICH THEY ARE LOCATED						508.2.3		
	PER CBC 508.2.4 ACCESSORY OCCUPANCIES NEED NOT BE SEPARATED						508.2.4		
	ESTIMATED OCCUPANT LOAD	<u>NORTH BUILDING</u>					722 PERSONS 661 PERSONS 887 PERSONS 812 PERSONS	TABLE 1004.1.2	
		SCENARIO 1 - ALL OFFICE TENANCY LARGEST FLOOR AREA = 57,000 SF 90% B OCCUPANCY @ 150 GROSS = 342 PERSONS 10% A-2 ASSEMBLY (ACCESSORY TO B) @ 15 NET = 380 PERSONS							
SCENARIO 2 - 65/35 LAB / OFFICE TENANCY LARGEST FLOOR AREA = 57,000 SF 65% L OCCUPANCY @ 200 GROSS (SEPARATED) = 186 PERSONS 25% B OCCUPANCY @ 150 GROSS = 95 PERSONS 10% A-2 SSEMBLY (ACCESSORY TO B) @ 15 NET = 380 PERSONS									
<u>SOUTH BUILDING</u>									
SCENARIO 1 - ALL OFFICE TENANCY LARGEST FLOOR AREA = 70,000 SF 90% B OCCUPANCY @ 150 GROSS = 420 PERSONS 10% A-2 ASSEMBLY (ACCESSORY TO B) @ 15 NET = 467 PERSONS									
SCENARIO 2 - 65/35 LAB / OFFICE TENANCY LARGEST FLOOR AREA = 70,000 SF 65% L OCCUPANCY @ 200 GROSS (SEPARATED) = 228 PERSONS 25% B OCCUPANCY @ 150 GROSS = 117 PERSONS 10% A-2 ASSEMBLY (ACCESSORY TO B) @ 15 NET = 467 PERSONS									
NUMBER OF EXITS	SOUTH BLD., MAX OCCP. 887 PERSONS		# OF EXITS REQ'D	# OF EXITS PROVIDED	1006.3.1				
	LEVELS 1-5		3 @ 60"	3 @ 60"					
	ROOF		1 @ 44"	1 @ 48"					

All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

SOUTH AND NORTH PARKING CODE INDEX

SECTION REFERENCES CBC 2022, UON

TYPE OF CONSTRUCTION	TYPE IIB			602.2						
REQUIRED FIRE RESISTIVE RATINGS STEEL NOT REQ'D TO BE RATED: • COLUMN BRACING • BEAM BRACES & KICKERS • MECH EQUIP SUPPORT • CANOPY FRAMING • STAIRS • ELEVATOR RAIL SUPPORTS & DIVIDER BEAMS	PRIMARY STRUCTURAL FRAME	0 HOUR		CHAPTER 6 TABLE 601						
	PRIMARY STRUCTURAL FRAME SUPPORTING ROOF LOADS ONLY	0 HOUR								
	BEARING WALLS - EXTERIOR	2 HOUR								
	BEARING WALLS - INTERIOR	0 HOUR								
	BEARING WALLS - INTERIOR SUPPORTING ROOF LOADS ONLY	0 HOUR								
	NON-BEARING WALLS - EXTERIOR	NO RATING REQUIRED (FIRE SEPARATION DISTANCE GREATER THAN 30')								
	NON-BEARING WALLS - INTERIOR	0 HOUR								
	FLOOR CONSTRUCTION	0 HOUR (UL DESIGN #D-902)								
	ROOF CONSTRUCTION	0 HOUR (UL DESIGN #D-902)								
	STAIRWAY ENCLOSURE	0 HOUR, SEE BELOW								
	SHAFT ENCLOSURES	0 HOUR, SEE BELOW								
OCCUPANCY CLASSIFICATION	S-2			CHAPTER 3						
ALLOWABLE BUILDING HEIGHT & AREA	ALLOWABLE HEIGHT	-		TABLE 406						
	ALLOWABLE NO. OF STORIES	8								
	ALLOWABLE AREA	50,000 / FLOOR								
ACTUAL BUILDING HEIGHT & AREA	ACTUAL HEIGHT	68'-1" @ SOUTH AND 60'-6" @ NORTH								
	ACTUAL NO. OF STORIES	6.5 @ SOUTH AND 6 @ NORTH								
	ACTUAL AREA (PER FLOOR)	SEE PROJECT TECHNICAL INFORMATION								
	ACTUAL AREA (TOTAL BUILDING)	SEE PROJECT TECHNICAL INFORMATION								
FIRE SEPARATION RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	DISTANCE	REQ'D RATING		CHAPTER 6 & 7 TABLE 705.5						
	0 FT < X < 5 FT =	1 HR								
	5 FT ≤ X < 10 FT =	1 HR								
	10 FT ≤ X < 30 FT =	1 HR								
	30 FT ≤ X =	0 HR								
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE	MAXIMUM AREA OF EXTERIOR WALL OPENINGS (AS PERCENTAGE OF WALL AREA)				TABLE 705.8					
	SEPARATION (FT):	0 - <3	3 - <5	5 - <10		10 - <15	15 - <20	20 - <25	25 - <30	>30
	UNPROTECTED, SPRINKLERED (UP,S)	NP	15%	25%		45%	75%	NL	NL	NL
	PROTECTED (P)	NP	15%	25%		45%	75%	NL	NL	NL
	(NP=NOT PERMITTED, NL=NO LIMIT)									
FLOOR OPENINGS & SHAFTS	0 HOUR				CHAPTER 7 713.4					
	SHAFT ENCLOSURES SHALL NOT HAVE A FIRE-RESISTANCE RATING LESS THAN THE FLOOR ASSEMBLY PENETRATED. BUT NEED NOT EXCEED 2 HOURS.									
INTERIOR OPENING AND WINDOW FIRE PROTECTION RATINGS	TYPE OF ASSEMBLY	DOOR RATING	DOOR VISION PANEL SIZE	DOOR SIDELITE/ TRANSOM	WINDOW	TABLE 716.5 TABLE 716.6				
	1 HR FIRE PARTITION	20 MIN.	MAX TESTED	45 MIN.	45 MIN.					
	1 HR FIRE BARRIER	60 MIN.	100 IN²	NP	NOT PERMITTED					
	1 HR SMOKE BARRIER	20 MIN.	MAX TESTED	45 MIN.	45 MIN.					
	2HR PARTITION/SHAFT	90 MIN.	100 IN²	NP	NP					
OCCUPANT LOAD	OCCUPANCY CLASSIFICATION	FUNCTION OF SPACE		OCCUPANT LOAD (SF PER OCCUPANT)		TABLE 1004.5				
	STORAGE S-2	LOW HAZARD, PUBLIC PARKING GARAGE		200 GROSS						
		ACCESSORY M (MECH/ ELEC)		300 GROSS						
						508.2.3 508.2.4				
	AGGREGATE ACCESSORY OCCUPANCIES SHALL NOT OCCUPY MORE THAN 10 PERCENT OF THE FLOOR AREA OF THE STORY IN WHICH THEY ARE LOCATED									
	PER CBC 508.2.4 ACCESSORY OCCUPANCIES NEED NOT BE SEPARATED									
ESTIMATED OCCUPANT LOAD	TYPICAL GARAGE LEVEL FLOOR AREA (NORTH) = 41,000 SF S-2 OCCUPANCY @ 200 GROSS = 205 PERSONS			205 PERSONS		TABLE 1004.1.2				
	TYPICAL GARAGE LEVEL FLOOR AREA (SOUTH) = 41,000 SF S-2 OCCUPANCY @ 200 GROSS = 205 PERSONS			205 PERSONS						
NUMBER OF EXITS	LEVEL	# OF EXITS REQ'D	# OF EXITS PROVIDED	1006.3.1						
	LEVELS 1-6.5	2 @ 20"	2 @ 48"							

If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch _____.

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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/2" = 1'-0"

SHEET TITLE:

BUILDING CODE INFORMATION

SHEET NO:

G-003



PHOTO 1



PHOTO 2



PHOTO 3



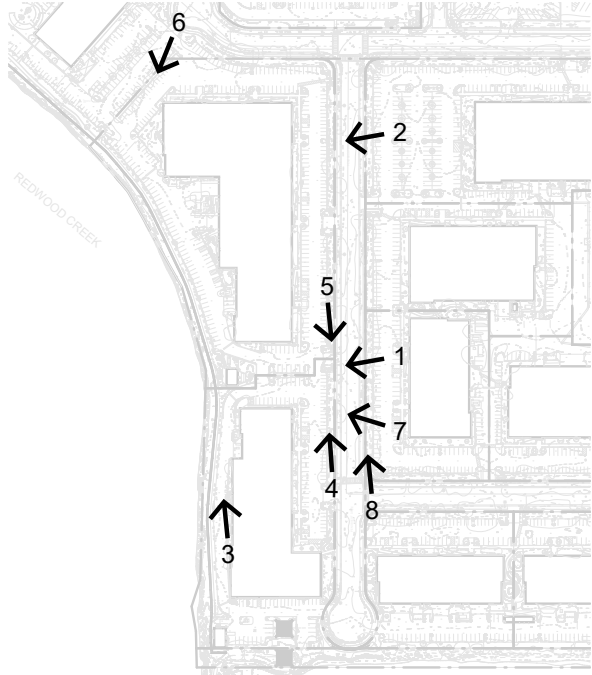
PHOTO 4



PHOTO 5



PHOTO 6



1 SITE PLAN PHOTO KEY
1" = 200'-0"



PHOTO 7

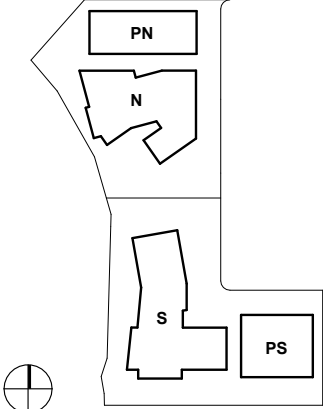


PHOTO 8

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
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KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 200'-0"

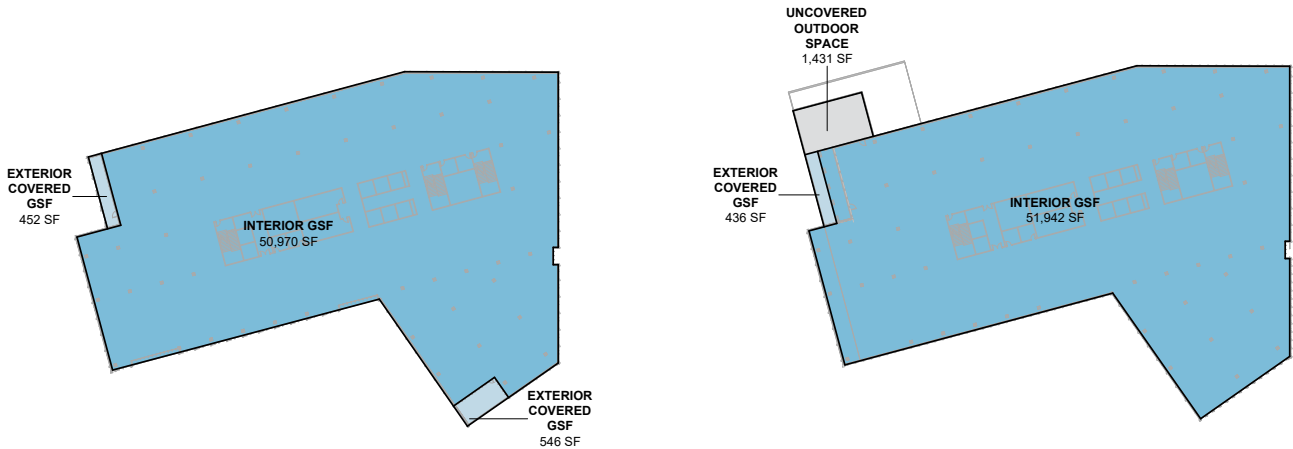
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EXISTING SITE PHOTOS

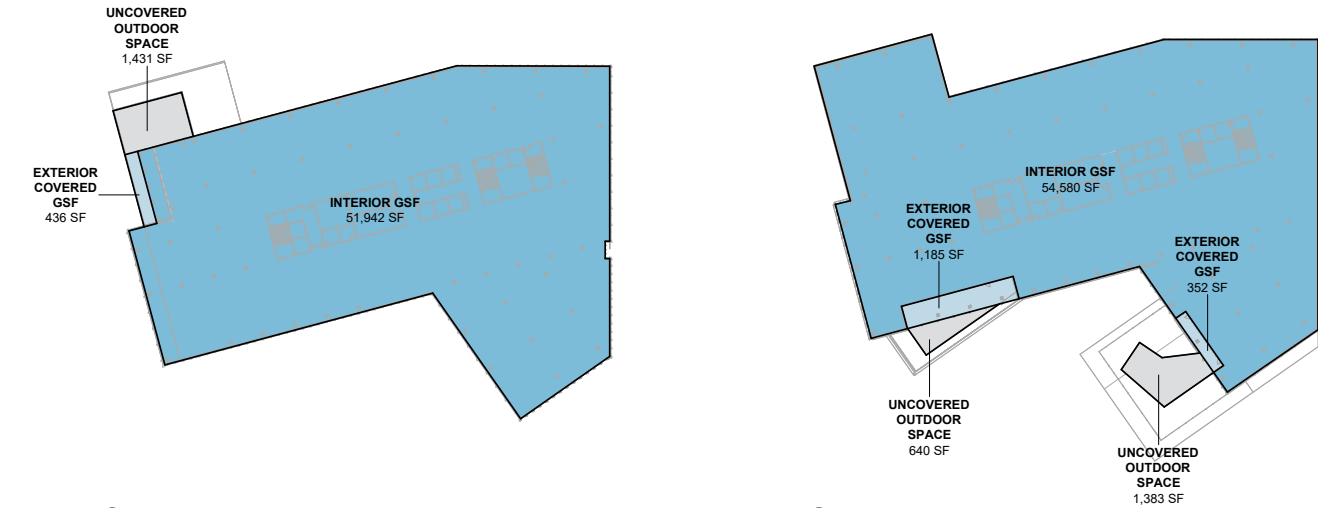
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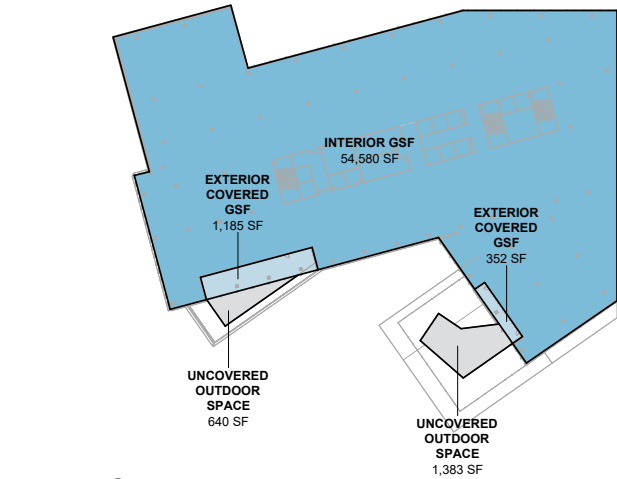
4 NORTH BLD LEVEL 4
1/64" = 1'-0"



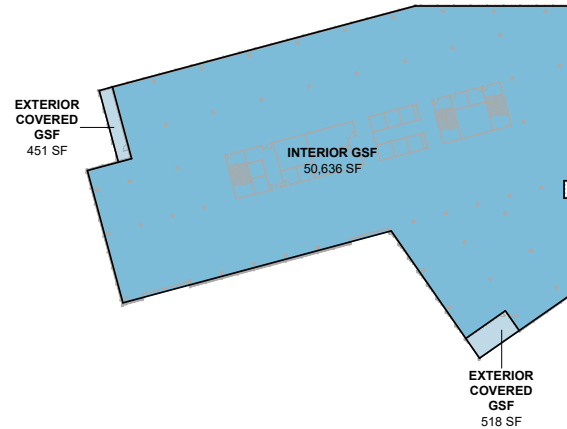
3 NORTH BLD LEVEL 3
1/64" = 1'-0"



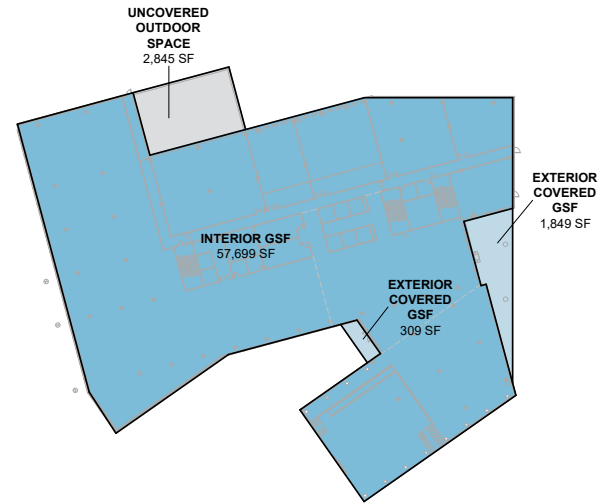
6 NORTH BLD ROOF
1/64" = 1'-0"



2 NORTH BLD LEVEL 2
1/64" = 1'-0"



5 NORTH BLD LEVEL 5
1/64" = 1'-0"



1 NORTH BLD LEVEL 1
1/64" = 1'-0"

Level	Name	Area
LEVEL 1	EXTERIOR COVERED GSF	2,158 SF
LEVEL 2	EXTERIOR COVERED GSF	1,537 SF
LEVEL 3	EXTERIOR COVERED GSF	436 SF
LEVEL 4	EXTERIOR COVERED GSF	999 SF
LEVEL 5	EXTERIOR COVERED GSF	969 SF
EXTERIOR COVERED GSF		6,099 SF
LEVEL 1	INTERIOR GSF	57,699 SF
LEVEL 2	INTERIOR GSF	54,580 SF
LEVEL 3	INTERIOR GSF	51,942 SF
LEVEL 4	INTERIOR GSF	50,970 SF
LEVEL 5	INTERIOR GSF	50,636 SF
ROOF	INTERIOR GSF	989 SF
INTERIOR GSF		266,816 SF
TOTAL PLANNING GSF		272,916 SF

Level	Name	Area
LEVEL 1	UNCOVERED OUTDOOR SPACE	2,845 SF
LEVEL 2	UNCOVERED OUTDOOR SPACE	2,024 SF
LEVEL 3	UNCOVERED OUTDOOR SPACE	1,431 SF
ROOF	MECH	3,545 SF
TOTAL NOT COUNTED AGAINST GSF		9,845 SF

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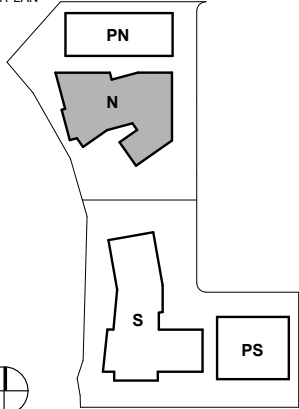
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

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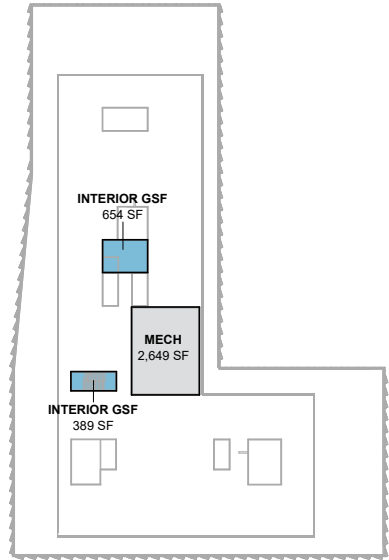
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NORTH BLD AREA PLANS

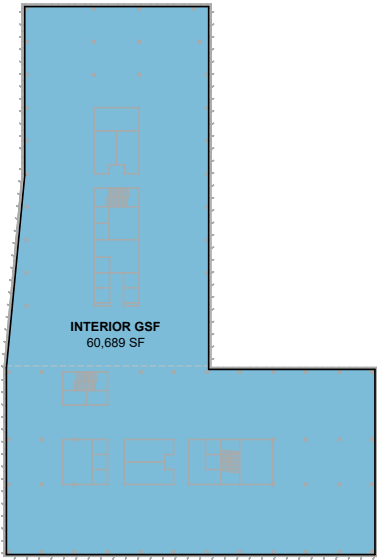
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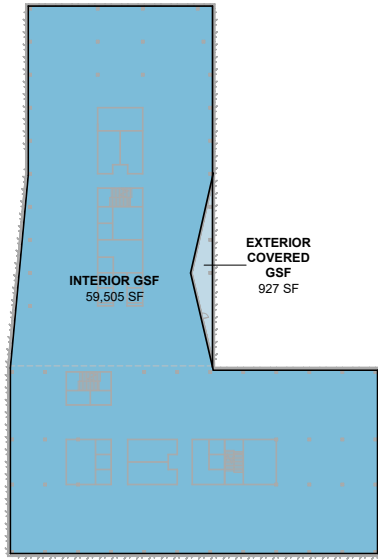
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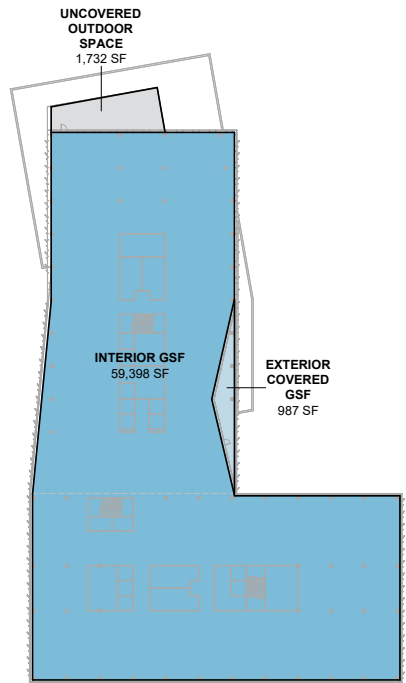
7 SOUTH BLD ROOF
1/64" = 1'-0"



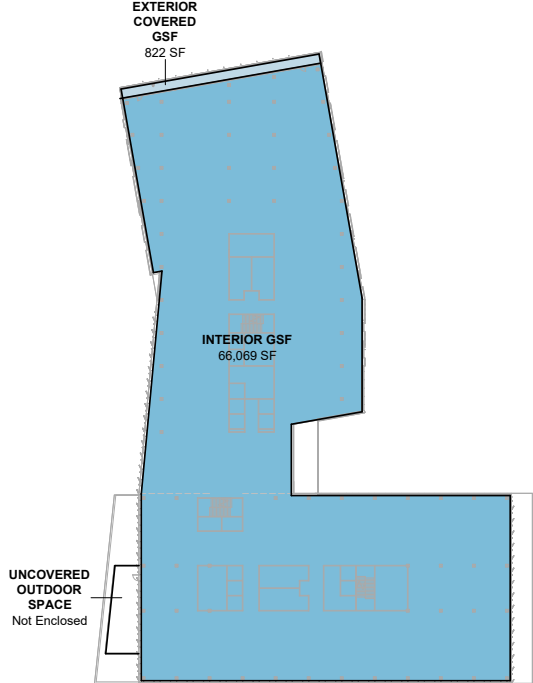
C SOUTH BLD LEVEL 5
1/64" = 1'-0"



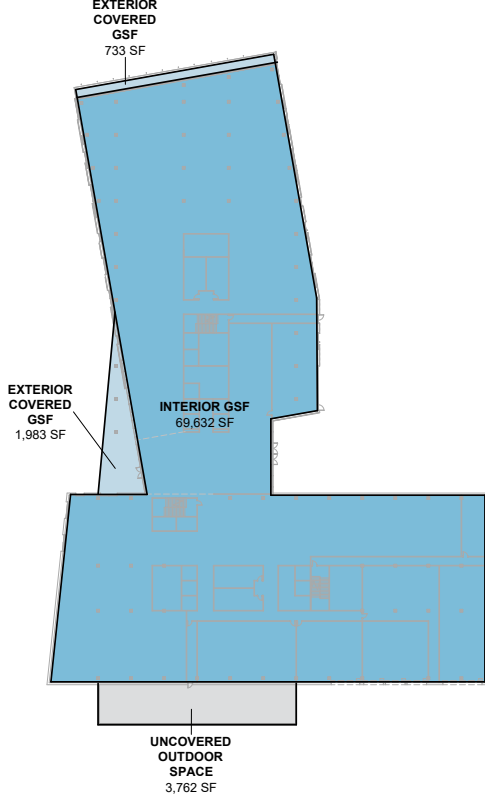
6 SOUTH BLD LEVEL 4
1/64" = 1'-0"



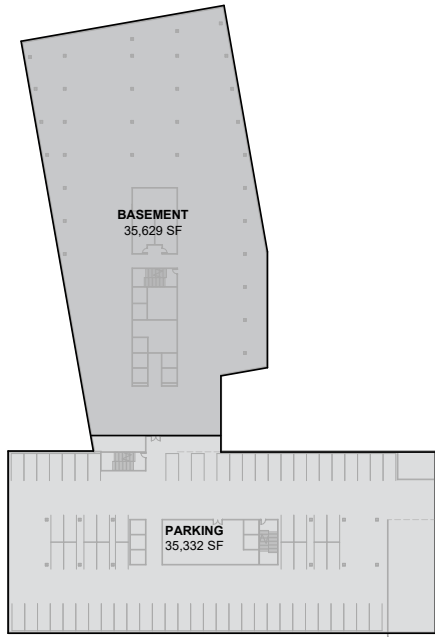
4 SOUTH BLD LEVEL 3
1/64" = 1'-0"



3 SOUTH BLD LEVEL 2
1/64" = 1'-0"



2 SOUTH BLD LEVEL 1
1/64" = 1'-0"



1 SOUTH BLD LEVEL B1
1/64" = 1'-0"

Level	Name	Area
LEVEL 1	EXTERIOR COVERED GSF	2,716 SF
LEVEL 2	EXTERIOR COVERED GSF	822 SF
LEVEL 3	EXTERIOR COVERED GSF	987 SF
LEVEL 4	EXTERIOR COVERED GSF	927 SF
EXTERIOR COVERED GSF		5,451 SF
LEVEL 1	INTERIOR GSF	69,632 SF
LEVEL 2	INTERIOR GSF	66,069 SF
LEVEL 3	INTERIOR GSF	59,398 SF
LEVEL 4	INTERIOR GSF	59,505 SF
LEVEL 5	INTERIOR GSF	60,689 SF
ROOF	INTERIOR GSF	1,043 SF
INTERIOR GSF		316,337 SF
TOTAL PLANNING GSF		321,788 SF

Level	Name	Area
LEVEL B1	BASEMENT	35,629 SF
LEVEL B1	PARKING	35,332 SF
LEVEL 1	UNCOVERED OUTDOOR SPACE	3,762 SF
LEVEL 2	UNCOVERED OUTDOOR SPACE	0 SF
LEVEL 3	UNCOVERED OUTDOOR SPACE	1,732 SF
ROOF	MECH	2,649 SF
TOTAL NOT COUNTED AGAINST GSF		79,104 SF

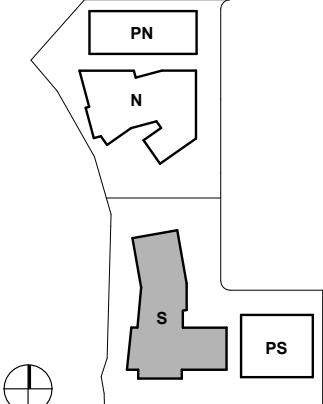
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505 PENOBSCOT PROJECT

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KEY PLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/64" = 1'-0"

SHEET TITLE:

SOUTH BLD AREA PLANS

SHEET NO:

G-012

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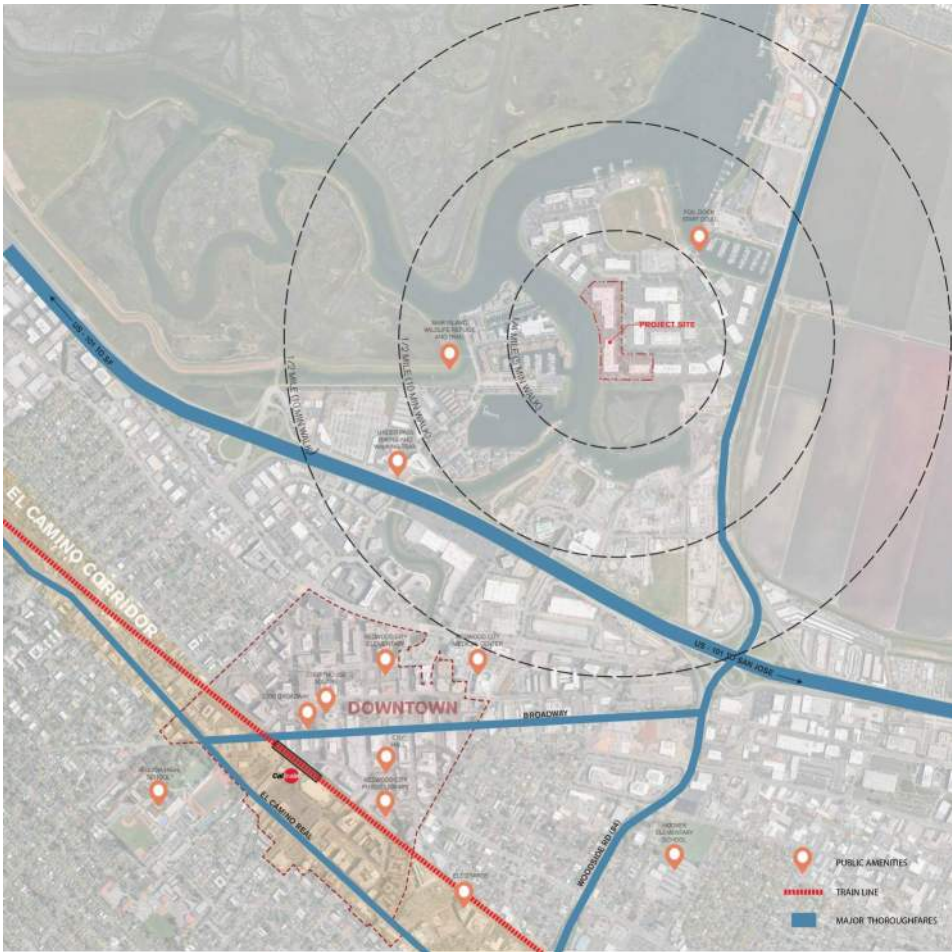
SITE ACCESS AND ENTRY



SITE GREEN SPACE AND WATERWAY



SITE BIKE NETWORK



SITE VICINITY

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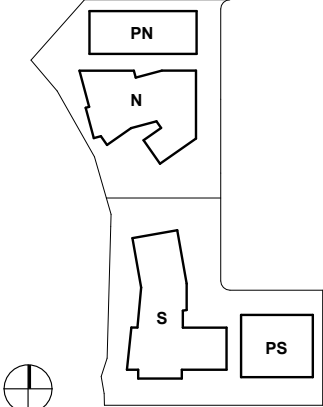
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ENTITLEMENT APPLICATION	09/25/2025

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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
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KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

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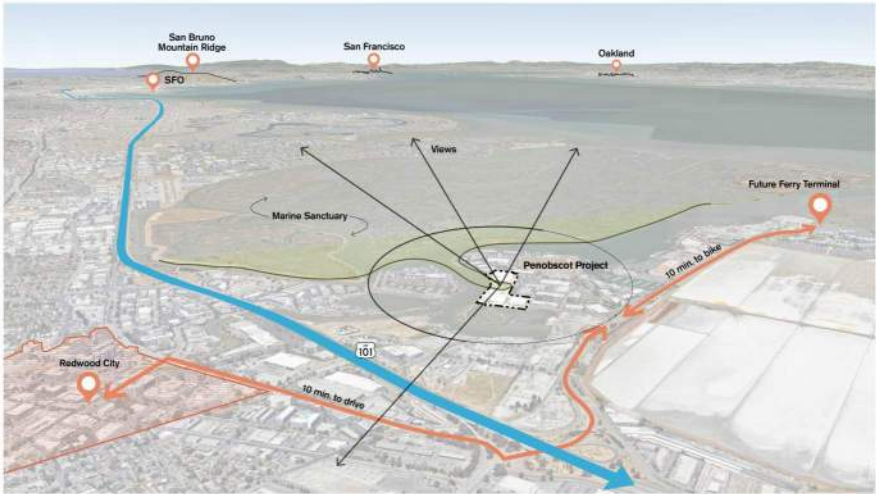
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CONTEXT DIAGRAMS
AND SITE ANALYSIS

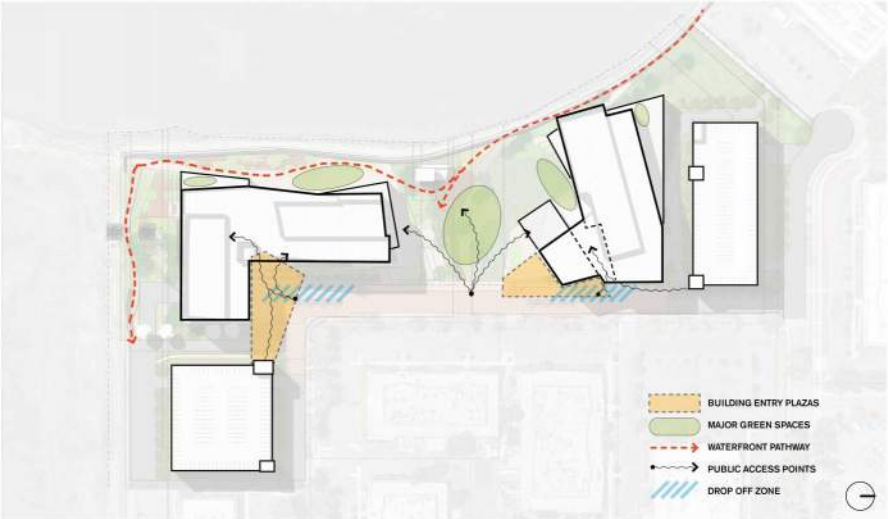
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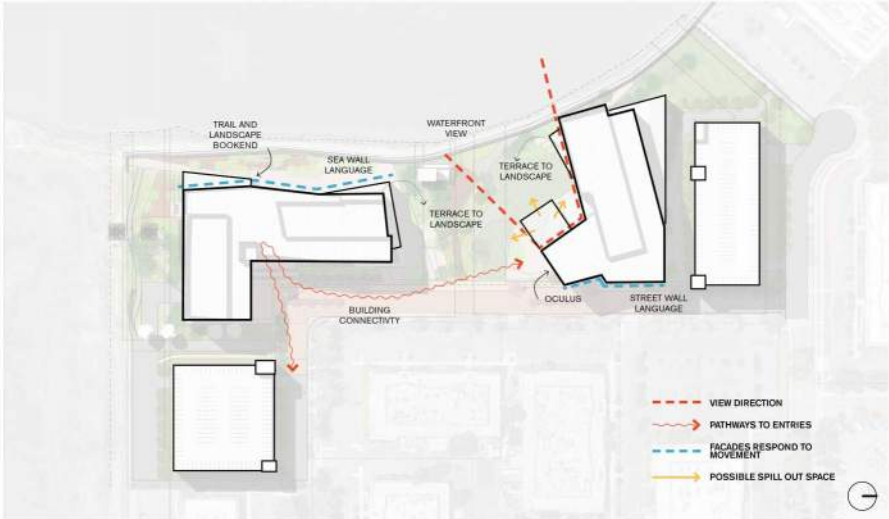
Design Inspiration
Regional Landscape



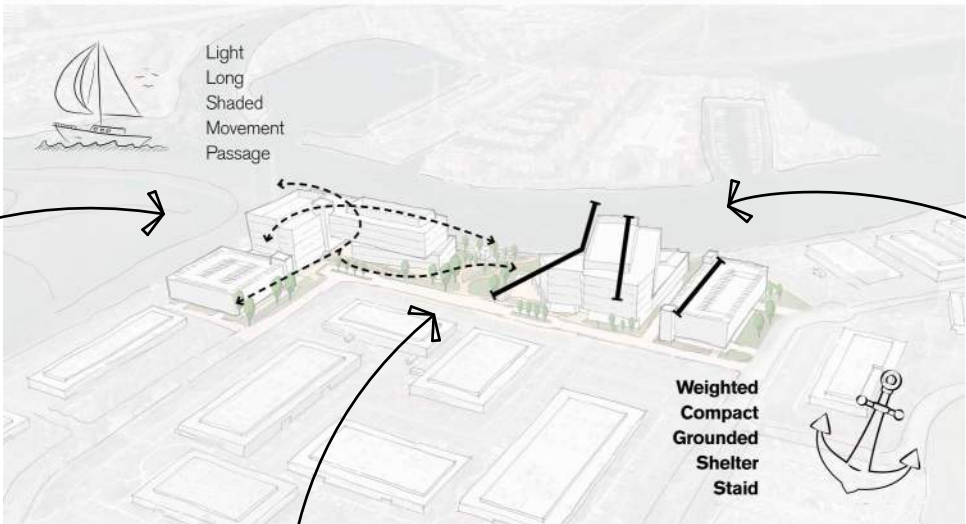
Site Diagramming



Architectural Diagramming



Two Buildings in Dialogue



South Building - Layering / Rippling / Wind / Sails



Landscape



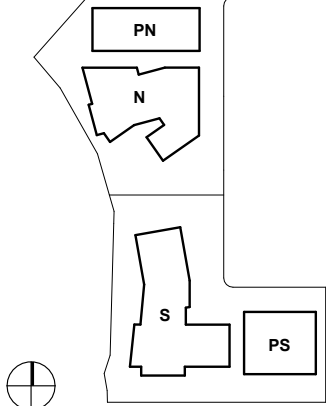
North Building - Repetition / Solidity / Hull / Weight



505 PENOBSCOT
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SCALE:

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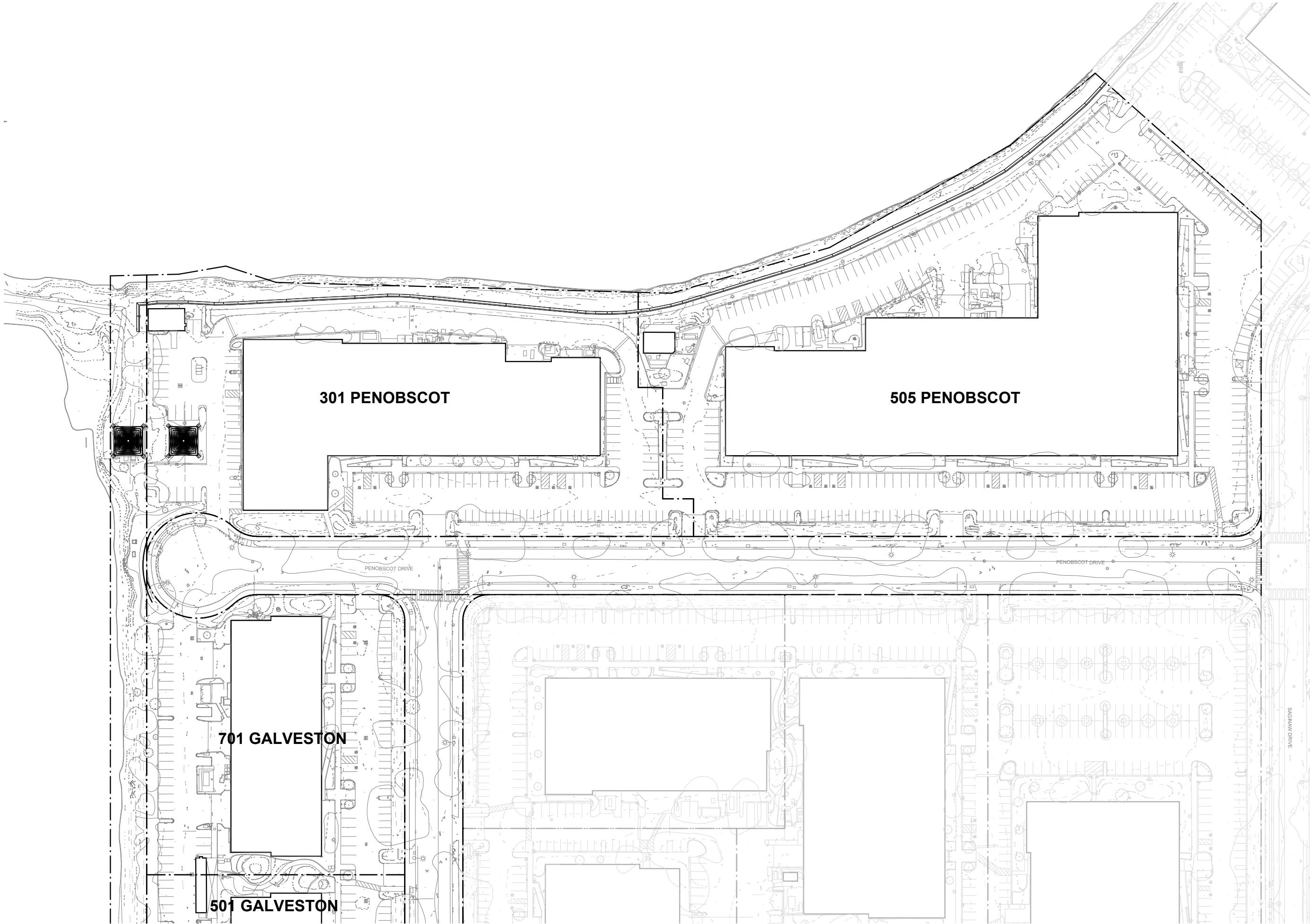
PROJECT GOALS &
CONCEPT DIAGRAMS

SHEET NO:

G-022

10/2/2025 5:20:50 PM

1 EXISTING SITE PLAN - LEVEL 1
1" = 50'-0"



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KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 50'-0"

SHEET TITLE:

EXISTING SITE PLAN

SHEET NO:

A-100

10/6/2025 10:50:07 AM

*NOTE: SEE A-110 FOR SETBACK INFORMATION

1 SITE PLAN- LEVEL 1

1" = 50'-0"



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**505 PENOBSCOT
PROJECT**

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 50'-0"

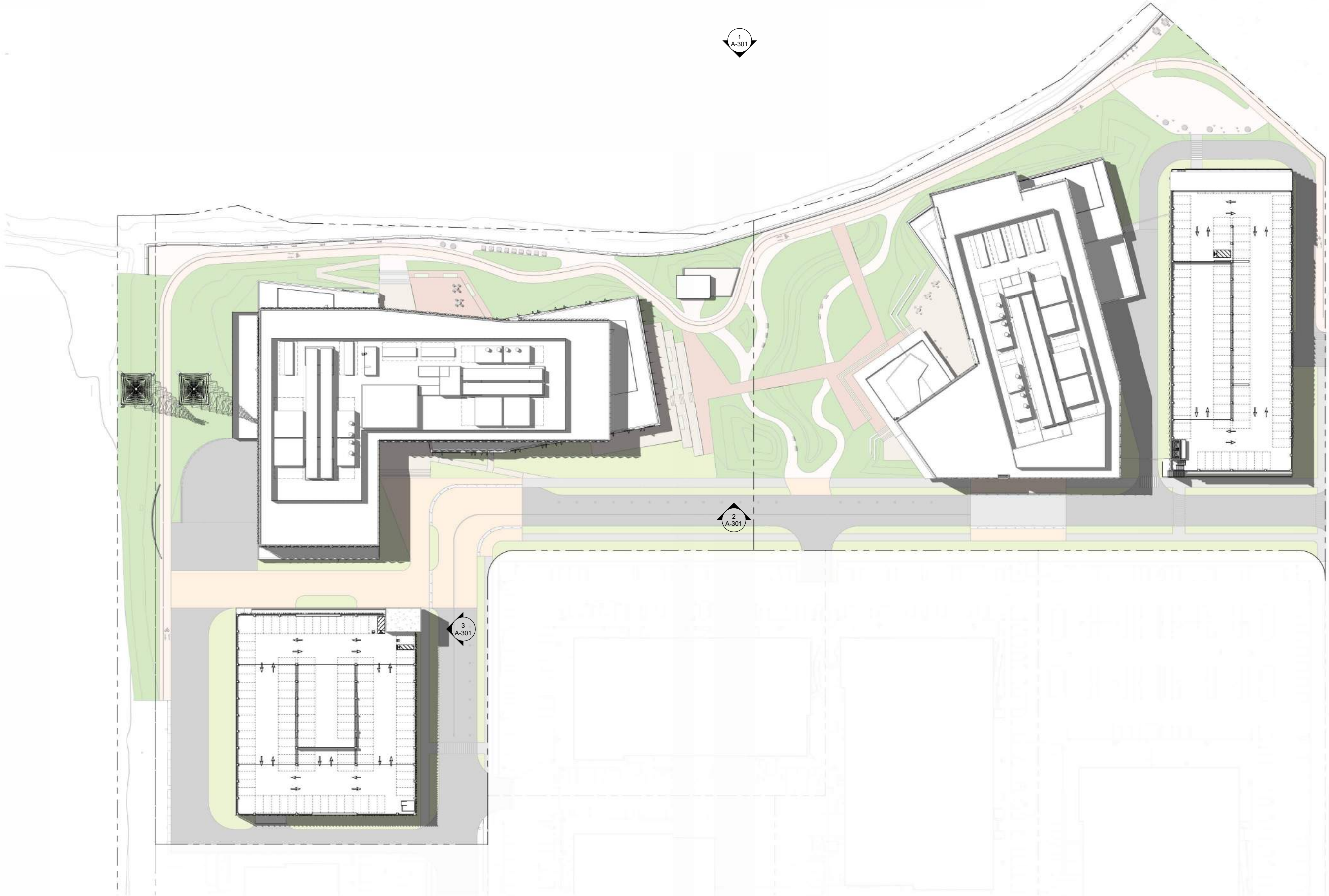
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**PROPOSED SITE PLAN -
LEVEL 1**

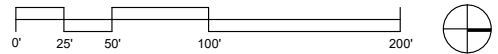
SHEET NO:

A-101

NOTE: SEE A-110 FOR SETBACK INFORMATION



1 PROPOSED SITE PLAN - ROOF
1" = 50'-0"



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505 PENOBSCOT
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Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 50'-0"

SHEET TITLE:

PROPOSED SITE PLAN -
ROOF

SHEET NO:

A-106

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

SHEET TITLE:

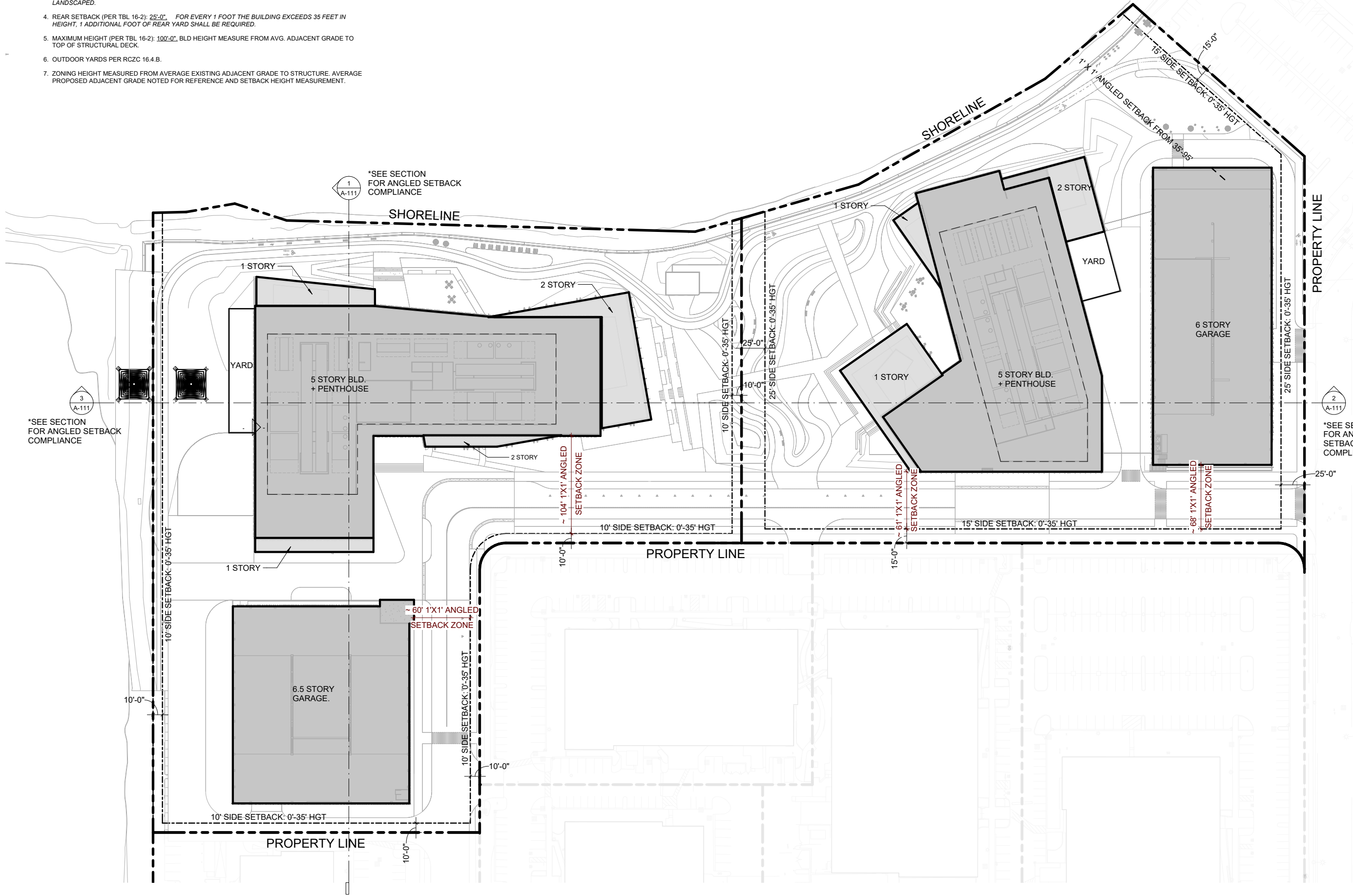
PROPOSED SETBACKS
PLAN

SHEET NO:

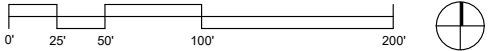
A-110

ZONING AND SETBACK NOTES

1. SETBACKS PER REDWOOD CITY ZONING CODE ARTICLE 16 - CP (COMMERCIAL PARK)
2. FRONT SETBACK (PER TBL 16-2): 25'-0". FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF FRONT YARD SHALL BE REQUIRED. MINIMUM FRONT YARDS SHALL BE PERMANENTLY LANDSCAPED.
3. SIDE SETBACK (PER TBL 16-2): 30'-0" COMBINED FOR BOTH SIDES. NO ONE SIDE SHALL HAVE A WIDTH OF LESS THAN 10 FEET. FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF SIDE YARD SHALL BE REQUIRED ON EACH SIDE. SIDE YARDS ON THE STREET SIDE OF CORNER LOTS SHALL BE EQUAL IN DEPTH TO THE FRONT YARD REQUIREMENT SPECIFIED HEREIN, AND THE 10 FEET OF SUCH SIDE YARD ADJACENT TO THE STREET SHALL BE PERMANENTLY LANDSCAPED.
4. REAR SETBACK (PER TBL 16-2): 25'-0". FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF REAR YARD SHALL BE REQUIRED.
5. MAXIMUM HEIGHT (PER TBL 16-2): 100'-0". BLD HEIGHT MEASURE FROM AVG. ADJACENT GRADE TO TOP OF STRUCTURAL DECK.
6. OUTDOOR YARDS PER RCZC 16.4.B.
7. ZONING HEIGHT MEASURED FROM AVERAGE EXISTING ADJACENT GRADE TO STRUCTURE. AVERAGE PROPOSED ADJACENT GRADE NOTED FOR REFERENCE AND SETBACK HEIGHT MEASUREMENT.



1 PROPOSED SITE PLAN - ROOF
1" = 50'-0"



1. SETBACKS PER REDWOOD CITY ZONING CODE ARTICLE 16 - CP (COMMERCIAL PARK)
2. FRONT SETBACK (PER TBL 16-2): 25'-0", FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF FRONT YARD SHALL BE REQUIRED. MINIMUM FRONT YARDS SHALL BE PERMANENTLY LANDSCAPED.
3. SIDE SETBACK (PER TBL 16-2): 30'-0" COMBINED FOR BOTH SIDES, NO ONE SIDE SHALL HAVE A WIDTH OF LESS THAN 10 FEET, FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF SIDE YARD SHALL BE REQUIRED ON EACH SIDE. SIDE YARDS ON THE STREET SIDE OF CORNER LOTS SHALL BE EQUAL IN DEPTH TO THE FRONT YARD REQUIREMENT SPECIFIED HEREIN, AND THE 10 FEET OF SUCH SIDE YARD ADJACENT TO THE STREET SHALL BE PERMANENTLY LANDSCAPED.
4. REAR SETBACK (PER TBL 16-2): 25'-0", FOR EVERY 1 FOOT THE BUILDING EXCEEDS 35 FEET IN HEIGHT, 1 ADDITIONAL FOOT OF REAR YARD SHALL BE REQUIRED.
5. MAXIMUM HEIGHT (PER TBL 16-2): 100'-0", BLD HEIGHT MEASURE FROM AVG. ADJACENT GRADE TO TOP OF STRUCTURAL DECK.
6. OUTDOOR YARDS PER RCZC 16.4.B.
7. ZONING HEIGHT MEASURED FROM AVERAGE EXISTING ADJACENT GRADE TO STRUCTURE. AVERAGE PROPOSED ADJACENT GRADE NOTED FOR REFERENCE AND SETBACK HEIGHT MEASUREMENT.

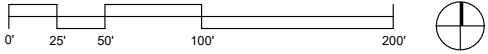
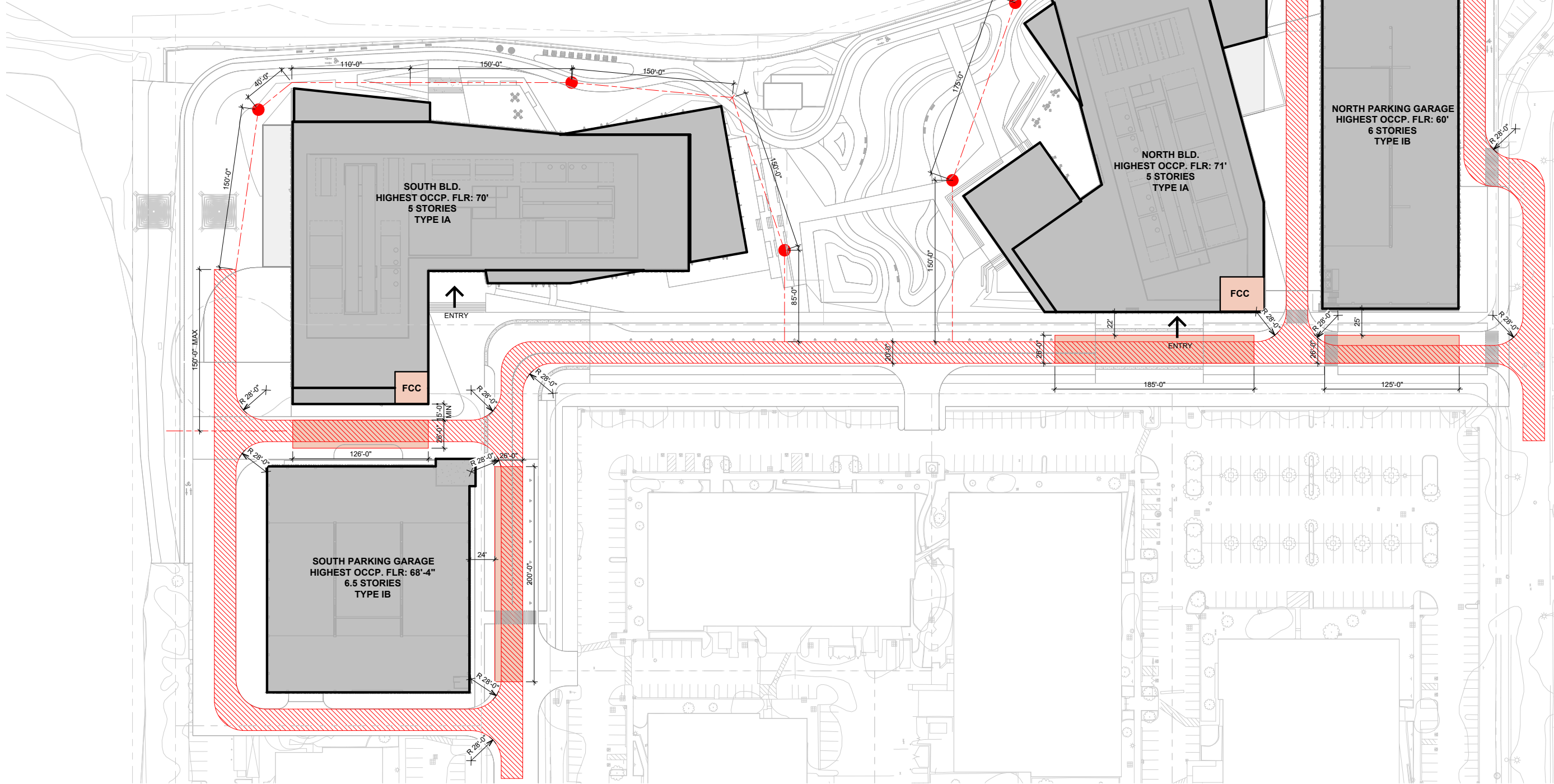


10/2/2025 2:13:27 PM

10/2/2025 9:27:01 AM

FIRE ACCESS PLAN LEGEND

- FIRE & EMERGENCY VEHICLE ACCESS RD. MIN WIDTH 20'-0", MIN TURNING RADIUS 28'-0"
- AERIAL FIRE APPARATUS ACCESS, MIN WIDTH 26'-0", 15'-0" MIN CLEAR OF BLDG FACE, 30'-0" MAX
- PROPOSED HYDRANTS W/ 150'-0" MAX HOSE PULL LENGTH
- FIRE COMMAND CENTER, CFC 508
- FULL HEIGHT BLD/ STRUCTURE
- 24'-28" TALL OPEN AIR SERVICE YARD
- BUILDING ENTRY



1 PROPOSED SITE PLAN - ROOF
1" = 50'-0"

WRNS STUDIO

501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
415.358.9100 FAX
WWW.WRNSSTUDIO.COM



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 50'-0"

SHEET TITLE:

CONCEPTUAL FIRE ACCESS PLAN

SHEET NO:

A-112

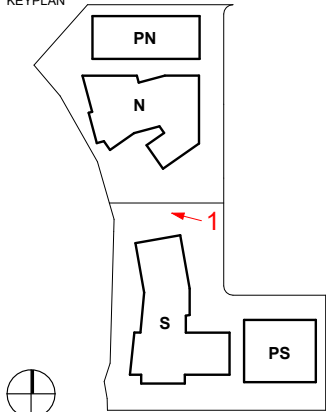
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 12" = 1'-0"

SHEET TITLE:

CONCEPTUAL
RENDERINGS

SHEET NO:

A-201



1 CENTRAL GREEN SPACE AERIAL
12" = 1'-0"

10/2/2025 9:27:01 AM



4 WATERFRONT FROM SOUTH BUILDING LOOKING NORTH
12" = 1'-0"



3 AERIAL VIEW LOOKING EAST
12" = 1'-0"



2 CENTRAL GREEN SPACE FROM PENOBSCOT
12" = 1'-0"

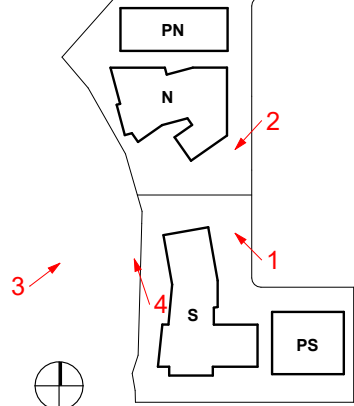


1 PENOBSCOT AT SOUTH BUILDING LOOKING NORTH
12" = 1'-0"

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 12" = 1'-0"

SHEET TITLE:

CONCEPTUAL RENDERINGS

SHEET NO:

A-202



1 REDWOOD CREEK ELEVATION
1" = 40'-0"



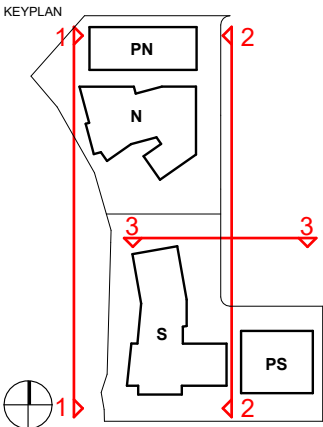
2 PENOBSCOT STREET ELEVATION
1" = 40'-0"



3 GALVESTON STREET ELEVATION
1" = 40'-0"

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1" = 40'-0"

SHEET TITLE:

STREET ELEVATIONS

SHEET NO:

A-301

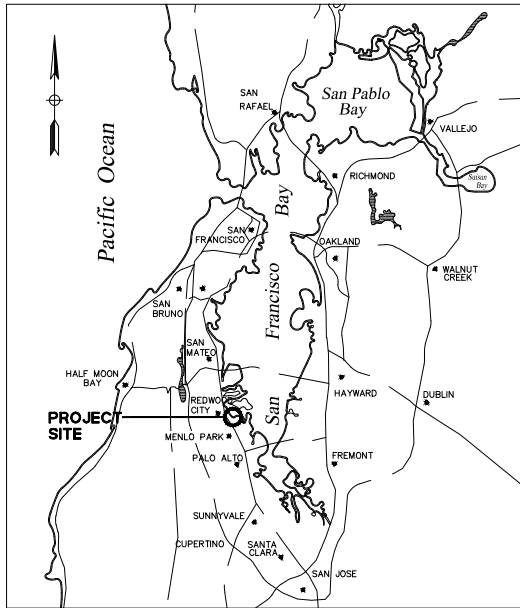
VESTING TENTATIVE PARCEL MAP

505 PENOBSCOT PROJECT

301, 505 PENOBSCOT DR AND 701 GALVESTON DR, REDWOOD CITY, CALIFORNIA

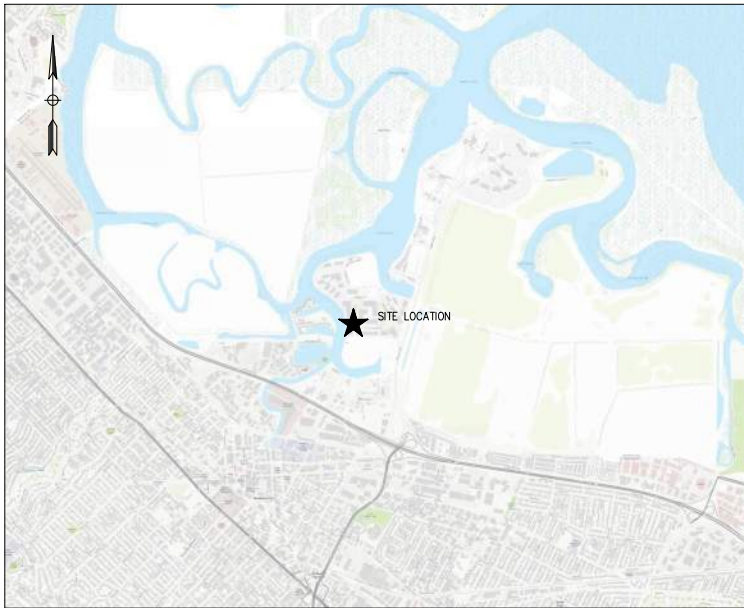
SHEET INDEX

SHEET NO	DESCRIPTION
C-001	COVER SHEET
C-002	NOTES, LEGEND, ABBREVIATIONS
C-100	EXISTING CONDITIONS PLAN
C-200	PROPOSED DEMOLITION PLAN
C-300	EXISTING BOUNDARY PLAN (OVERALL)
C-301	PROPOSED BOUNDARY PLAN (OVERALL)
C-302	EXISTING BOUNDARY AND EASEMENTS PLAN (DETAILED)
C-303	PROPOSED BOUNDARY AND EASEMENTS PLAN (DETAILED)
C-400	PROPOSED SITE PLAN
C-401	CROSS SECTIONS
C-500	PROPOSED GRADING PLAN
C-600	PROPOSED UTILITY PLAN
C-700	PROPOSED STORMWATER MANAGEMENT PLAN
C-701	PROPOSED STORMWATER MANAGEMENT DATA AND DETAILS
C-702	BEST MANAGEMENT PRACTICES



VICINITY MAP

NTS



LOCATION MAP

NTS

PROJECT DATA

APPLICANT:	505 PENOBSCOT DRIVE RWC, LLC 425 MARKET STREET STE 1050 SAN FRANCISCO, CA 94105 (415)-489-2224
OWNER'S REPRESENTATIVE:	PROJECT MANAGEMENT ADVISORS, INC. 1 TOWERS PLACE, SUITE 200 SOUTH SAN FRANCISCO, CA 94080 (650)-491-8800
ARCHITECT:	WRNS STUDIO 501 SECOND STREET 4TH FLOOR, STE 402 SAN FRANCISCO, CA 94107 (415) 489-2224
CIVIL ENGINEER:	BKF ENGINEERS 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 CONTACT: JAMES DALLOSTA, P.E. (650) 482-6300
APN:	054-320-260, 054-320-250, 054-320-160, 054-320-080, 054-320-090
EXISTING LAND USE:	OFFICE/LIFE SCIENCE
PROPOSED LAND USE:	OFFICE/LIFE SCIENCE
EXISTING ZONING:	CP - COMMERCIAL PARK
PROPOSED ZONING:	CP - COMMERCIAL PARK
SITE ADDRESS:	301, 505 PENOBSCOT DR AND 701 GALVESTON DR, REDWOOD CITY, CA
SITE AREA:	13.65± ACRES

LIST OF UTILITIES & PROVIDERS:	
SEWAGE DISPOSAL:	CITY OF REDWOOD CITY
STORM DRAIN:	CITY OF REDWOOD CITY
WATER SUPPLY:	CITY OF REDWOOD CITY
FIRE PROTECTION:	REDWOOD CITY FIRE DEPARTMENT
GAS & ELECTRIC:	PACIFIC GAS AND ELECTRIC COMPANY
TELEPHONE:	AT&T
COMMUNICATION:	CABLECOM

MAPPING STATEMENT

THIS PROJECT WILL BE A MERGER OF 6 PARCELS INTO 5 PARCELS. THE EXISTING PUBLIC RIGHT-OF-WAY EASEMENT ALONG PENOBSCOT DRIVE AND GALVESTON DRIVE WILL BE VACATED. THE EXISTING UNDERLYING PROPERTY IS PRIVATELY OWNED AND WOULD REMAIN IN THE SAME LOCATION AND CONFIGURATION, BUT WITH THE PROPOSED VACATION WOULD BE PRIVATELY MAINTAINED ROADWAY WITH A NEW PUBLIC ACCESS EASEMENT.

THE TOTAL NUMBER OF COMMERCIAL CONDOMINIUMS WILL NOT EXCEED 10 UNITS. PURSUANT TO COMMERCIAL AND INDUSTRIAL COMMON INTEREST DEVELOPMENT ACT (CICID ACT), CALIFORNIA CIVIL CODE SECTIONS 6500-6876.

BENCHMARK STATEMENT

CITY OF REDWOOD CITY BENCHMARK SYSTEM.

BENCHMARK NO. 64 - ELEVATION = 6.82 FEET (NAVD 88 ± 0.1')

RECORD OF SURVEY 1911-A, FILED FOR RECORD ON NOVEMBER 19, 2008, IN VOLUME 32 OF L.L.S. MAPS AT PAGES 50-52.

THE ELEVATIONS SHOWN WERE DERIVED FROM GPS RTK OBSERVATIONS, ADJUSTED TO THE CITY OF REDWOOD CITY BENCHMARK SYSTEM PER THE ABOVE LISTED BENCH

BASIS OF BEARINGS

THE BEARING OF NORTH 01°03'51" EAST ALONG THE CENTERLINE OF PENOBSCOT DRIVE BETWEEN THOSE TWO FOUND MONUMENTS INTERSECTING AT GALVESTON DRIVE AND SAGINAW DRIVE AS SHOWN ON THAT MAP RECORDED IN BOOK 112 OF MAPS AT PAGES 04-06 AND FILED FOR RECORD ON AUGUST 31, 1984 IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY.

SOURCE OF SURVEY

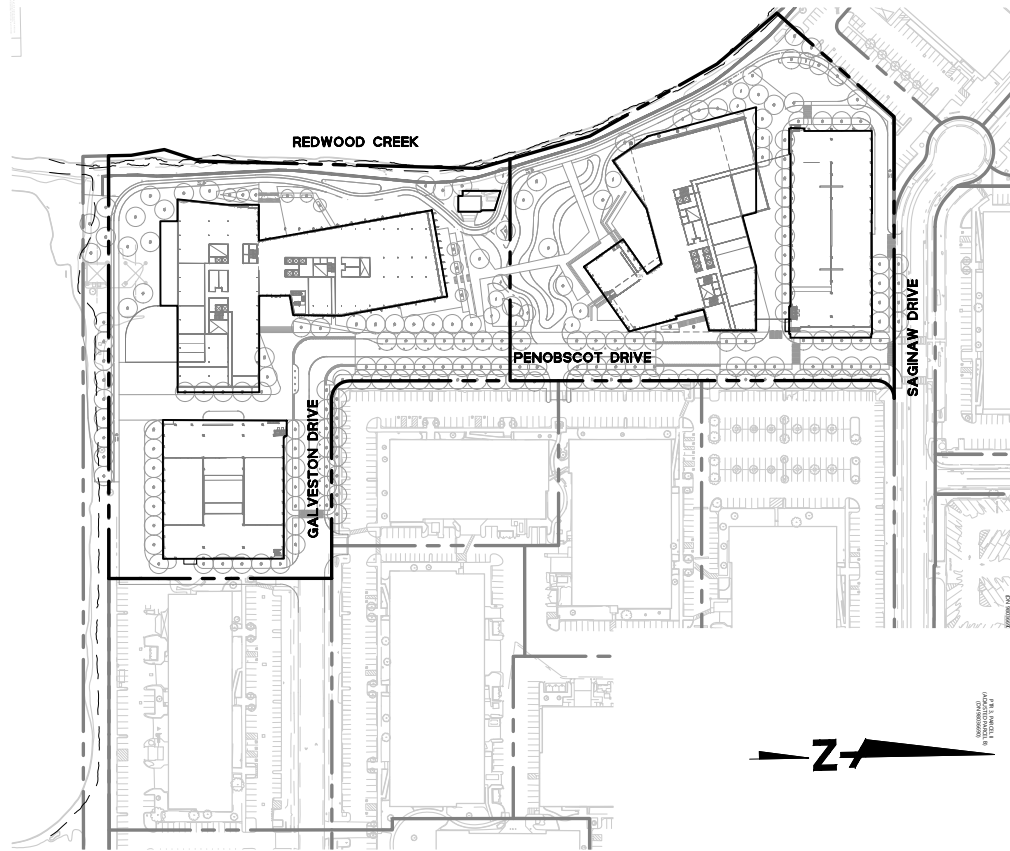
SITE BOUNDARY LINES, EASEMENTS, OBJECTS SHOWN HEREON ARE BASED ON A SURVEY PERFORMED BY BKF ENGINEERS, DATED 06/02/2023, REFER TO SURVEY DOCUMENT FOR FULL DETAIL.

THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY VERTICAL MAPPING RESOURCES, IN MESA, ARIZONA. JOB NUMBER 20-3147. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY ON 10/09/2020, ORIGINAL COMPILED MAP SCALE 1"=20', CONTOUR INTERVAL 1 FOOT.

FEMA

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. LOMR 23-09-0500P FOR COMMUNITY NUMBER 060325 (CITY OF REDWOOD CITY), WITH EFFECTIVE DATE OCTOBER 2, 2024, AS BEING LOCATED IN FLOOD ZONE "X":

ACCORDING TO FEMA, THE DEFINITION OF ZONE "X" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



SITE PLAN

SCALE: 1" = 150'

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

JAMES DALLOSTA, PE
PRINCIPAL/VICE PRESIDENT
P.E. #72339 EXP 06/30/26
BKF ENGINEERS

DATE

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

PATRICK C. CONNORS, PE
PROJECT MANAGER
P.E. #85260 EXP 12/31/26
BKF ENGINEERS

DATE

WRNSSTUDIO

501 SECOND STREET
4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
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415.358.9100 FAX
WWW.WRNSSTUDIO.COM

swa

WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	10/03/2025

REVISION LIST	DATE
---------------	------

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

COVER SHEET

SHEET NO:

C-001

9/4/2025 6:01:06 PM

GENERAL NOTES

1. TENTATIVE MAP: THIS VESTING TENTATIVE PARCEL MAP IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66452, CHAPTER 4.5, AND SECTION 66426(C) OF THE SUBDIVISION MAP ACT.
2. FINAL MAP: THE APPLICANT RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS FOR THIS PROJECT.
3. BOUNDARY: BOUNDARY INFORMATION IS BASED ON SURVEY DATA PREPARED BY BKF.
4. RECORD INFORMATION: RECORD OWNERSHIP AND EASEMENT INFORMATION WAS TAKEN FROM:
A) THE PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, #NCS-1156461-CHI2, DATED SEPTEMBER 11, 2024.
B) THE PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TTILE COMPANY, #60604766-606-TEO-JM, DATED MAY 30, 2023.
5. GRADING: SITE GRADES AND BUILDING / GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER’S REVIEW AND APPROVAL.
6. UTILITIES: UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEERING AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.
A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATION AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.
B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
C. THE WATER DISTRIBUTION SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER REDWOOD CITY STANDARD SPECIFICATIONS & DETAILS, WHERE APPLICABLE.
D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER REDWOOD CITY STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER REDWOOD CITY STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
E. THE RECYCLED WATER DISTRIBUTION SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER REDWOOD CITY STANDARD SPECIFICATION & DETAILS (ATTACHMENT U – RWC RECYCLED WATER DEVELOPMENT STANDARDS) AND ALL APPLICABLE REGULATIONS.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE		
ADJACENT PROPERTY LINE		
CENTERLINE		
EASEMENT LINE		
STORM DRAIN LINE		
SANITARY SEWER LINE		
WATER LINE		
FIRE SERVICE LINE		
RECYCLED WATER		
GAS LINE		
OVERHEAD LINE		
COMMUNICATION LINE		
TELEPHONE		
ELECTRICAL		
JOINT TRENCH		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
TELEPHONE MANHOLE		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
BLOW OFF VALVE		
STORM DRAIN INLET		
SPOT ELEVATION		
TRANSFORMER		
ELECTRICAL BOX		
GAS BOX		
WATER METER		
IRRIGATION METER		
BUILDING LINE		
FENCE AS NOTED		
ELECTROLIER		
TRAFFIC SIGNAL		
PARKING METER		
STREET LIGHT		
TREE (AS NOTED)		
SIGN AS NOTED		
FOUND MONUMENT AS NOTED		
BACK FLOW PREVENTER		
BOLLARD		
POWER LINE POLE		
WATER VALVE		

ABBREVIATIONS:

AC	ASPHALT CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
BLDG	BUILDING
BC	BOTTOM OF CURB
BW	BACK OF WALK, BOTTOM OF WALL
C EDGE	CONCRETE EDGE
CL	CENTERLINE
CONC	CONCRETE
DW	DOMESTIC WATER
E	EAST
EG	EXISTING GRADE
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
FW	FIRE WATER
GR	GRATE
HP	HIGH POINT
INV	INVERT
JT	JOINT TRENCH
LG	LIP OF GUTTER
LOW	LIMIT OF WORK
LP	LOW POINT
N	NORTH
NE	NORTHEAST
NW	NORTHWEST
O.R.	OFFICIAL RECORD
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PM	PARCEL MAP
PR	PROPOSED
PTR	PRELIMINARY TITLE REPORT
P.U.E.	PUBLIC UTILITY EASEMENT
RIM	RIM ELEVATION
RW	RECYCLED WATER
S	SOUTH
SD	STORM DRAIN
SDDI	STORM DRAIN DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SE	SOUTHEAST
SLP	SEE LANDSCAPE PLANS
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SOUTHWEST
TC	TOP OF CURB
TW	TOP OF WALL
TYP	TYPICAL
W	WEST, WATER
WM	WATER METER
WV	WATER VALVE

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swa

WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	10/03/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

NOTES, LEGEND,
ABBREVIATIONS

SHEET NO:

C-002

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

PROPOSED DEMOLITION
PLAN

SHEET NO:

C-200

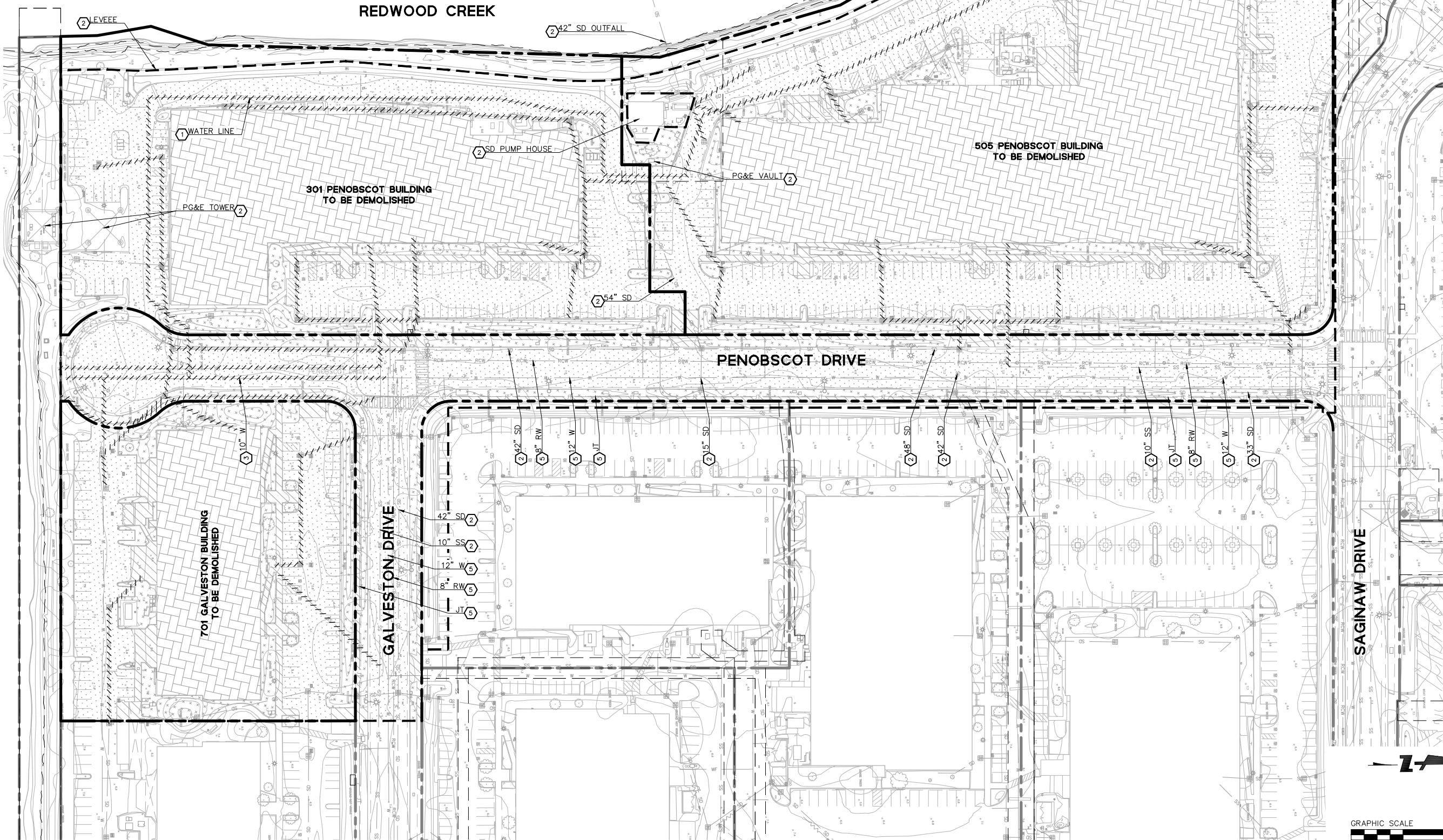
- LEGEND:**
- PROPERTY LINE
 - EXISTING FACILITY TO BE REMOVED
 - LIMIT OF WORK
 - SAWCUT
 - FULL DEPTH AC REMOVAL
 - DEMOLISH EXISTING BUILDING/FOUNDATION
 - REMOVE EXISTING CONCRETE HARDSCAPE, INCLUDING DRIVEWAY, SIDEWALK, CURB & GUTTER
 - CLEAR & GRUB/REMOVE EXISTING LANDSCAPE/VEGETATION
 - AC GRIND AND OVERLAY

DEMOLITION KEYNOTES

- TO BE REMOVED/DEMOLISHED
- TO REMAIN, PROTECT IN PLACE
- TO BE RELOCATED
- EXISTING UTILITY TO BE ABANDONED, CUT AND CAP
- EXISTING UTILITY TO BE ADJUSTED AS NEEDED TO FACILITATE PLACEMENT OF LIGHTWEIGHT FILL

REFERENCE: PRELIMINARY TITLE REPORTS
FIRST AMERICAN COMMITMENT # NCS-1156461-CH12,
DATED 07/11/24 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION

PT# 2-A: CHICAGO TITLE COMPANY ORDER # 60604766-606-TIO-JM,
DATED MAY 30, 2023 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION



LEGEND

- PROPERTY LINE
- [A] EXISTING PARCEL KEYNOTE
- [Hatched Box] EXISTING RIGHT-OF-WAY TO BE VACATED
SEE NOTE 1
- [Dashed Box] PUBLIC ACCESS EASEMENT TO BE CREATED

1) THE EXISTING PUBLIC RIGHT-OF-WAY EASEMENT ALONG PENOBSCOT DRIVE AND GALVESTON DRIVE IS PROPOSED TO BE VACATED PER MAP PURSUANT TO CALIFORNIA CODE, STREETS AND HIGHWAYS CODE – SHC § 8334(b). ONCE VACATED, PORTIONS OF THE EXISTING RIGHTS-OF-WAY ARE PROPOSED TO HAVE A NEW PUBLIC ACCESS EASEMENT AS SHOWN ON C-300 AND C-301. THE EXISTING UNDERLYING PROPERTY IS PRIVATELY OWNED AND WOULD REMAIN IN THE SAME LOCATION AND CONFIGURATION, BUT WITH THE PROPOSED VACATION WOULD BE PRIVATELY MAINTAINED ROADWAY WITH A NEW PUBLIC ACCESS EASEMENT.

2) FOR EXISTING AND PROPOSED EASEMENTS WITHIN THE PROJECT SITE (LIMIT OF WORK), SEE SHEETS C-302 AND C-303.

EXISTING PARCEL KEYNOTE	LEGAL PARCEL DESCRIPTION	APN	PARCEL ACREAGE	BUILDING ADDRESS
A	PTR 2, TRACT B, PARCEL ONE (PARCEL A) (56 PM 78-79)	054-320-260	3.55±	505 PENOBSCOT DR, REDWOOD CITY
B	PTR 2, TRACT C, PARCEL ONE (PARCEL B) (56 PM 78-79)	054-320-250, 054-320-160	5.78±	301 PENOBSCOT DR, REDWOOD CITY
C	PTR 2, TRACT A, PARCEL I (LOT 8) (112 M 4-6)	054-320-080, 054-320-090	1.97±	701 GALVESTON DR, REDWOOD CITY
D	PTR 2, TRACT F (LOT 9) (112 M 4-6)	054-320-100, 054-320-110	2.56±	501 GALVESTON DR, REDWOOD CITY
E	PTR 2, TRACT E (PARCEL A) (56 PM 76-77)	054-320-210, 054-320-220	2.02±	301 GALVESTON DR, REDWOOD CITY
F	PTR 2, TRACT D (PARCEL B) (56 PM 76-77)	054-320-230, 054-320-240	3.61±	101 GALVESTON DR, REDWOOD CITY



- LEGEND**
- EXCEPTION NUMBER PER PTR 2
EXCEPTION NUMBER PER PTR 2-A
- A.E. ACCESS EASEMENT
APN. ASSESSORS PARCEL NUMBER
C.L. CENTERLINE
C.M.E. CONSTRUCTION/MAINTENANCE EASEMENT
DN. DOCUMENT NUMBER
E.A.E. EMERGENCY ACCESS EASEMENT
E.E. ELECTRICAL EASEMENT
EDMT. EASEMENT
E.T.E. ELECTRICAL & TRANSMISSION EASEMENT
I.T.E. INGRESS & EGRESS EASEMENT
M. MAPS
M.D. MAINTENANCE DISTRICT
O.R. OFFICIAL RECORD
P.C. POINT OF CURVATURE
P.C.L. PARCEL
P.C.A.F.E. PUBLIC COMMERCE, NAVIGATION & FISHING EASEMENT
P.F.E. PARKING FACILITIES EASEMENT
P.L.E. PIPELINE EASEMENT
P.M. PARCEL MAPS
P.O.R. PORTION
P.S.E. PUBLIC SERVICE EASEMENT
P.T. POINT OF TANGENCY
P.T.R. PRELIMINARY TITLE REPORT
P.U.E. PUBLIC UTILITY EASEMENT
R.W. RIGHT-OF-WAY
S.D. STORM DRAIN EASEMENT
S.D.P.E. STORM DRAIN PUMP STATION EASEMENT
S.D.P.F. STORM DRAIN PUMP STATION FACILITY
S.E. STREET EASEMENT
S.S.P.E. SANITARY SEWER EASEMENT
S.S.P.F. SANITARY SEWER PIPELINE EASEMENT
S.Q.F. SQUARE FOOT
T.C.E. TEMPORARY CONSTRUCTION EASEMENT
U.C.F.E. UNDERGROUND COMMUNICATION FACILITIES EASEMENT
U.E. UTILITY EASEMENT
U.U.E. UNDERGROUND UTILITY EASEMENT
W.L.E. WATER LINE EASEMENT
- LINE TYPES**
- ADJACENT LOT LINE
SUBJECT BOUNDARY LINE
EASEMENT LINE
HISTORIC LOT LINE
- REFERENCED PRELIMINARY TITLE REPORTS**
- PTR 2:** FIRST AMERICAN COMMITMENT # NCS-1156461-CH02, DATED SEPTEMBER 11, 2024 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY, A NEW YORK CORPORATION
- PTR 2-A:** CHICAGO TITLE COMPANY ORDER # 60604766-606-TEO-JM, DATED MAY 30, 2023 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY, A NEW YORK CORPORATION
- HATCHES**
- STORM DRAIN EASEMENT (S.D.E.)
WATER LINE EASEMENT (W.L.E.)
SANITARY SEWER EASEMENT (S.S.E.)
STORM DRAIN PUMP STATION EASEMENT (S.D.P.S.E.)
MAINTENANCE DISTRICT PARCEL
PG&E ELECTRICAL TRANSMISSION EASEMENT (PG&E E.T.E.)
PUBLIC SERVICE EASEMENT (P.S.E.)
LEVEE EASEMENT
EMERGENCY ACCESS EASEMENT (E.A.E.)
PARKING FACILITY EASEMENT (P.F.E.)
PUBLIC UTILITY EASEMENT (P.U.E.)
RAILROAD AND UTILITY EASEMENT
INGRESS AND EGRESS EASEMENT AND UTILITY EASEMENT

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415.489.2224 TEL
415.358.9100 FAX
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swa

WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	10/03/2025

REVISION LIST	DATE
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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

EXISTING BOUNDARY PLAN
(OVERALL)

SHEET NO:

C-300

9/4/2025 6:01:06 PM

LEGEND

----- PROPERTY LINE

PUBLIC ACCESS EASEMENT TO BE CREATED

1) FOR FULL LIST OF EXISTING AND PROPOSED EASEMENTS WITHIN THE PROJECT SITE (LIMIT OF WORK), SEE SHEETS C-302 AND C-303.

LOT NUMBER	OWNER	PARCEL AREAS	BUILDING ADDRESS
1	METROPOLITAN LIFE INSURANCE COMPANY	321,789 SF (3.55 AC)	TBD PENOBSCOT DR, REDWOOD CITY
2	METROPOLITAN LIFE INSURANCE COMPANY	272,916 SF (6.27 AC)	TBD PENOBSCOT DR, REDWOOD CITY
3	METROPOLITAN LIFE INSURANCE COMPANY	136,813 SF (3.14 AC)	501 GALVESTON DR, REDWOOD CITY
4	METROPOLITAN LIFE INSURANCE COMPANY	100,882 SF (2.32 AC)	301 GALVESTON DR, REDWOOD CITY
5	METROPOLITAN LIFE INSURANCE COMPANY	174,569 SF (4.01 AC)	101 GALVESTON DR, REDWOOD CITY

GENERAL NOTES

TENTATIVE MAP:
THIS VESTING TENTATIVE PARCEL MAP IS BEING FILED IN ACCORDANCE WITH SECTION 66452 AND SECTION 66426(C) OF THE SUBDIVISION MAP ACT.

MULTIPLE FINAL MAPS:
PURSUANT TO SECTION 66463.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BONDED.

EASEMENTS:
ADDITIONAL SITE EASEMENTS ARE SHOWN ON SEPARATE DRAWINGS. SEE SHEETS C-302 AND C-303.

PROJECT DATA

PROJECT ADDRESS:
301-505 PENOBSCOT DRIVE, 101-701 GALVESTON DRIVE, REDWOOD CITY, CA

ASSESSOR PARCEL NO.:
0547-320-260, 054-320-250, 054-320-160, 054-320-080, 054-320-090, 054-320-100, 054-320-110, 054-320-210, 054-320-220, 054-320-230, 054-320-240

EXISTING ZONING:
CP - COMMERCIAL PARK

EXISTING LAND USE:
OFFICE/LIFE-SCIENCE

PROPOSED USE:
OFFICE/LIFE-SCIENCE, OPEN SPACE, STRUCTURED PARKING

PROPOSED PROJECT AREA: 13.65± ACRES

MAPPING STATEMENT

THIS PROJECT WILL BE A MERGER OF 6 PARCELS INTO 5 PARCELS. THE EXISTING PUBLIC RIGHT-OF-WAY EASEMENT ALONG PENOBSCOT DRIVE AND GALVESTON DRIVE WILL BE VACATED. THE EXISTING UNDERLYING PROPERTY IS PRIVATELY OWNED AND WOULD REMAIN IN THE SAME LOCATION AND CONFIGURATION, BUT WITH THE PROPOSED VACATION WOULD BE PRIVATELY MAINTAINED ROADWAY WITH A NEW PUBLIC ACCESS EASEMENT.

THE TOTAL NUMBER OF COMMERCIAL CONDOMINIUMS WILL NOT EXCEED 10 UNITS. PURSUANT TO COMMERCIAL AND INDUSTRIAL COMMON INTEREST DEVELOPMENT ACT (CICID ACT), CALIFORNIA CIVIL CODE SECTIONS 6500-6876.

WRNSSTUDIO

501 SECOND STREET
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WATRY DESIGN, INC.



WATT

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ENTITLEMENT APPLICATION	10/03/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

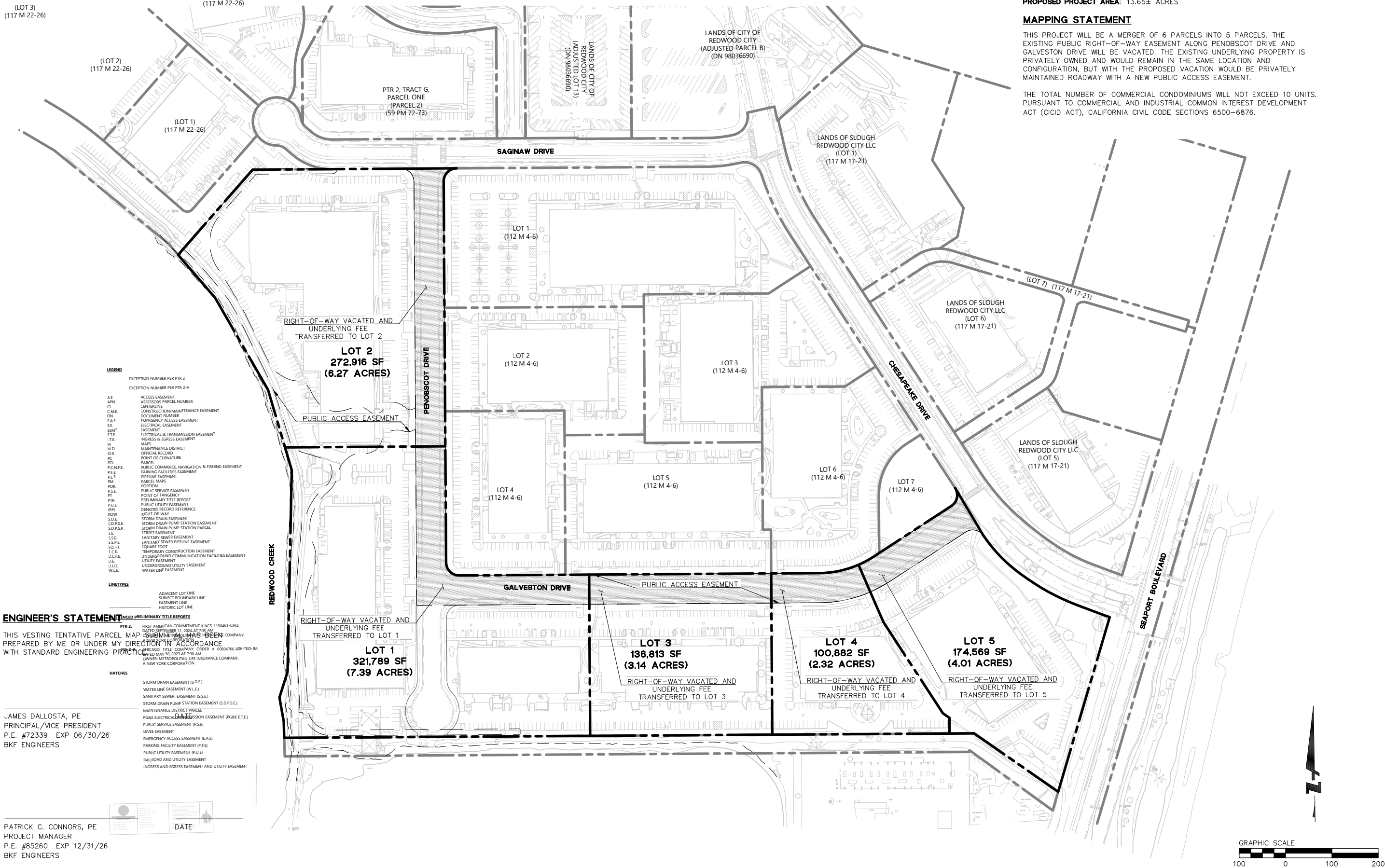
SCALE:

SHEET TITLE:

PROPOSED BOUNDARY PLAN (OVERALL)

SHEET NO:

C-301



ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP SUBMITTED HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

JAMES DALLOSTA, PE
PRINCIPAL/VICE PRESIDENT
P.E. #72339 EXP 06/30/26
BKF ENGINEERS

PATRICK C. CONNORS, PE
PROJECT MANAGER
P.E. #85260 EXP 12/31/26
BKF ENGINEERS

LEGEND	EXCEPTION NUMBER PER PTR 2-A
A.E. ACCESS EASEMENT	
APN. ASSESSOR'S PARCEL NUMBER	
CL. CENTERLINE	
CM.E. CONSTRUCTION/MAINTENANCE EASEMENT	
DN. DOCUMENT NUMBER	
E.A.E. EMERGENCY ACCESS EASEMENT	
E.E. ELECTRICAL EASEMENT	
EDMT. EASEMENT	
E.T.E. ELECTRICAL TRANSMISSION EASEMENT	
I.T.E. INGRESS & EGRESS EASEMENT	
M. MAPS	
M.D. MAINTENANCE DISTRICT	
O.R. OFFICIAL RECORD	
PC. POINT OF CURVATURE	
PCL. PUBLIC COMMERCE, NAVIGATION & FISHING EASEMENT	
P.C.A.F.E. PUBLIC COMMERCE, NAVIGATION & FISHING EASEMENT	
P.F.E. PARKING FACILITIES EASEMENT	
P.L.E. PIPELINE EASEMENT	
PM. PARCEL MAPS	
PCBL. PORTION	
P.S.E. PUBLIC SERVICE EASEMENT	
PT. POINT OF TANGENCY	
PT. PRELIMINARY TITLE REPORT	
P.U.E. PUBLIC UTILITY EASEMENT	
R.W. RIGHT-OF-WAY	
ROW. RIGHT-OF-WAY	
S.D.E. STORM DRAIN EASEMENT	
S.D.P.C.E. STORM DRAIN PUMP STATION EASEMENT	
S.D.P.P. STORM DRAIN PUMP STATION PARCEL	
SE. STREET EASEMENT	
S.S.P.E. SANITARY SEWER EASEMENT	
S.S.P. SANITARY SEWER PIPELINE EASEMENT	
SQ. FT. SQUARE FOOT	
T.C.E. TEMPORARY CONSTRUCTION EASEMENT	
U.C.F.E. UNDERGROUND COMMUNICATION FACILITIES EASEMENT	
U.E. UTILITY EASEMENT	
U.U.E. UNDERGROUND UTILITY EASEMENT	
W.L.E. WATER LINE EASEMENT	
LINE TYPES	
ADJACENT LOT LINE	
SUBJECT BOUNDARY LINE	
EASEMENT LINE	
HISTORIC LOT LINE	

ENGINEER'S STATEMENT
PTR 2: FIRST AMERICAN COMMITMENT # NCC-1156461-CH2, DATED SEPTEMBER 11, 2024 AT 7:30 AM
CHESapeake DRIVE, TITLE COMPANY ORDER # 10004766-606-TEO-JM, DATED MAY 30, 2023 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY, A NEW YORK CORPORATION

HATCHES	
STORM DRAIN EASEMENT (S.D.E.)	
WATER LINE EASEMENT (W.L.E.)	
SANITARY SEWER EASEMENT (S.S.E.)	
STORM DRAIN PUMP STATION EASEMENT (S.D.P.C.E.)	
MAINTENANCE DISTRICT PARCEL	
PG&E ELECTRICAL TRANSMISSION EASEMENT (PG&E E.T.E.)	
PUBLIC SERVICE EASEMENT (P.S.E.)	
LEVEE EASEMENT	
EMERGENCY ACCESS EASEMENT (E.A.E.)	
PARKING FACILITY EASEMENT (P.F.E.)	
PUBLIC UTILITY EASEMENT (P.U.E.)	
RAILROAD AND UTILITY EASEMENT	
INGRESS AND EGRESS EASEMENT AND UTILITY EASEMENT	



LEGEND

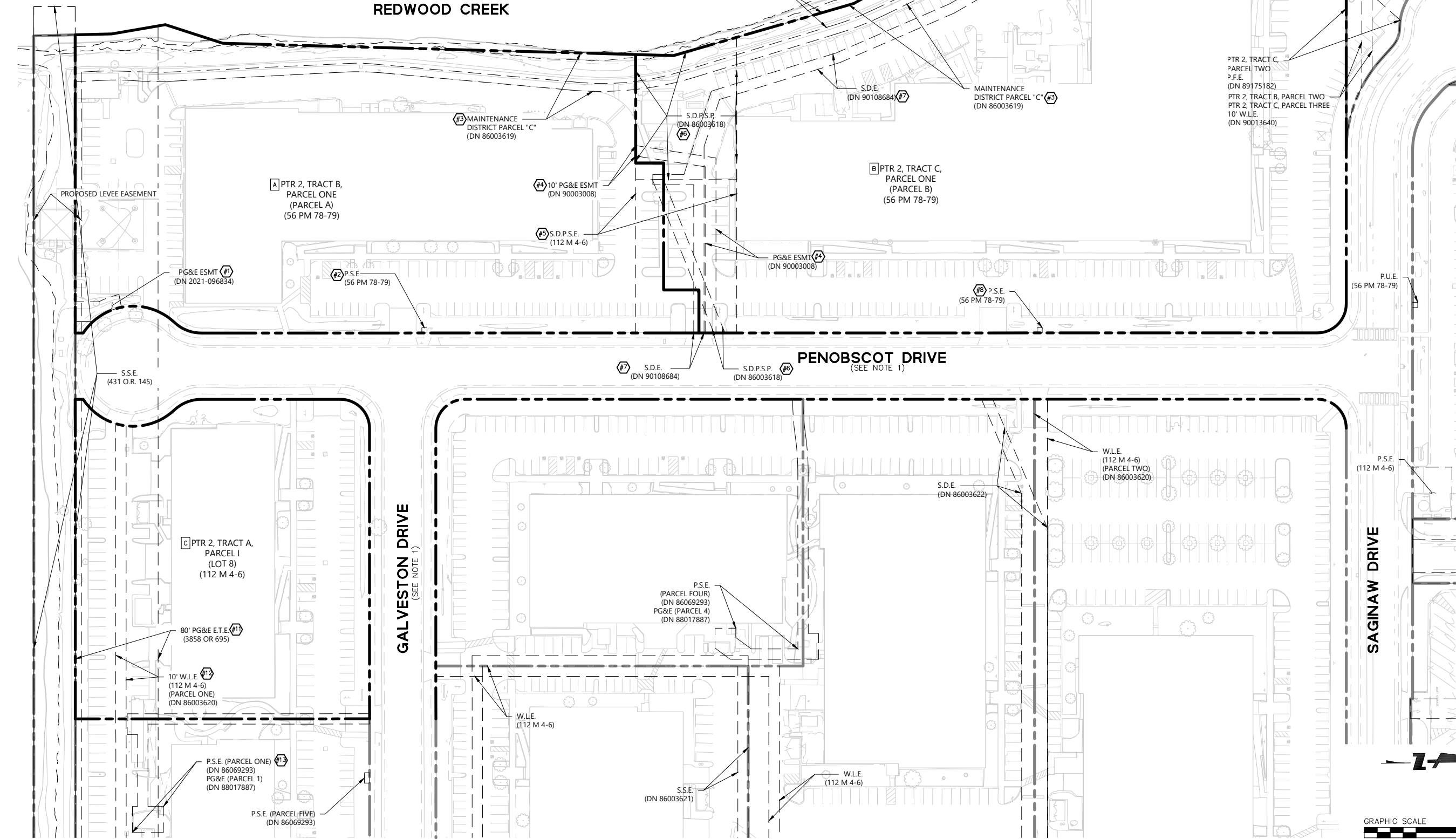
- PROPERTY LINE
- EASEMENT
- [A] EXISTING PARCEL KEYNOTE
- [#] EXISTING EASEMENT KEYNOTE

NOTES

1) THE EXISTING PUBLIC RIGHT-OF-WAY EASEMENT ALONG PENOBSCOT DRIVE AND GALVESTON DRIVE IS PROPOSED TO BE VACATED PER MAP PURSUANT TO CALIFORNIA CODE, STREETS AND HIGHWAYS CODE – SHC § 8334(b). ONCE VACATED, PORTIONS OF THE EXISTING RIGHTS-OF-WAY ARE PROPOSED TO HAVE A NEW PUBLIC ACCESS EASEMENT AS SHOWN ON C-300 AND C-301. THE EXISTING UNDERLYING PROPERTY IS PRIVATELY OWNED AND WOULD REMAIN IN THE SAME LOCATION AND CONFIGURATION, BUT WITH THE PROPOSED VACATION WOULD BE PRIVATELY MAINTAINED ROADWAY WITH A NEW PUBLIC ACCESS EASEMENT.

EASEMENT DISPOSITION TABLE				
	EASEMENT	IN FAVOR OF	DESCRIPTION	ACTION
#1	PG&E EASEMENT > 10' W.L.E. (3858 OR 695)	PG&E EASEMENT > 10' W.L.E. (3858 OR 695)	PG&E EASEMENT FOR ONSITE DRY UTILITIES	EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT
#2	PUBLIC SERVICE EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR ONSITE WATER INFRASTRUCTURE	EASEMENT TO BE VACATED PER MAP
#3	MAINTENANCE DISTRICT PARCEL "C"	CITY OF REDWOOD CITY	EASEMENT FOR OPERATION AND MAINTENANCE OF FLOOD PROTECTION FACILITIES	EASEMENT TO REMAIN
#4	10' PG&E EASEMENT	PG&E EASEMENT	PG&E EASEMENT FOR ONSITE	EASEMENT TO REMAIN
#5	STORM DRAIN PUMP STATION EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR STORM DRAIN INFRASTRUCTURE	EASEMENT TO BE MODIFIED PER MAP
#6	STORM DRAIN PUMP STATION EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR STORM DRAIN INFRASTRUCTURE	EASEMENT TO REMAIN
#7	STORM DRAIN EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR STORM DRAIN INFRASTRUCTURE	EASEMENT TO BE MODIFIED PER MAP
#8	PUBLIC SERVICE EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR ONSITE WATER INFRASTRUCTURE	EASEMENT TO BE MODIFIED PER MAP
#9	10' STORM DRAIN EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR ONSITE STORM DRAIN INFRASTRUCTURE	EASEMENT TO BE VACATED PER MAP
#10	PROPOSED LEVEE EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR LEVEE ACCESS AND MAINTENANCE	EASEMENT TO REMAIN
#11	PG&E ELECTRICAL & TRANSMISSION EASEMENT	PG&E EASEMENT	PG&E EASEMENT FOR ONSITE DRY UTILITIES	EASEMENT TO REMAIN
#12	WATER LINE EASEMENT	CITY OF REDWOOD CITY	EASEMENT FOR ONSITE WATER INFRASTRUCTURE	EASEMENT TO REMAIN
#13	PUBLIC SERVICE EASEMENT & PG&E EASEMENT	CITY OF REDWOOD CITY & PG&E	PG&E EASEMENT FOR ONSITE DRY UTILITIES	EASEMENT TO REMAIN

EXISTING PARCEL KEYNOTE	LEGAL PARCEL DESCRIPTION	APN	PARCEL ACREAGE	BUILDING ADDRESS
A	PTR 2, TRACT B, PARCEL ONE (PARCEL A) (56 PM 78-79)	054-320-260	3.55	505 PENOBSCOT DR, REDWOOD CITY
B	PTR 2, TRACT C, PARCEL ONE (PARCEL B) (56 PM 78-79)	054-320-250, 054-320-160	5.78	301 PENOBSCOT DR, REDWOOD CITY
C	PTR 2, TRACT A, PARCEL I (LOT 8) (112 M 4-6)	054-320-080, 054-320-090	1.97	701 GALVESTON DR, REDWOOD CITY



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swa

WATRY DESIGN, INC.



WATT

ISSUES	DATE
ENTITLEMENT APPLICATION	10/03/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

EXISTING BOUNDARY AND
EASEMENTS PLAN
(DETAILED)

SHEET NO:

C-302

9/4/2025 6:01:06 PM

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

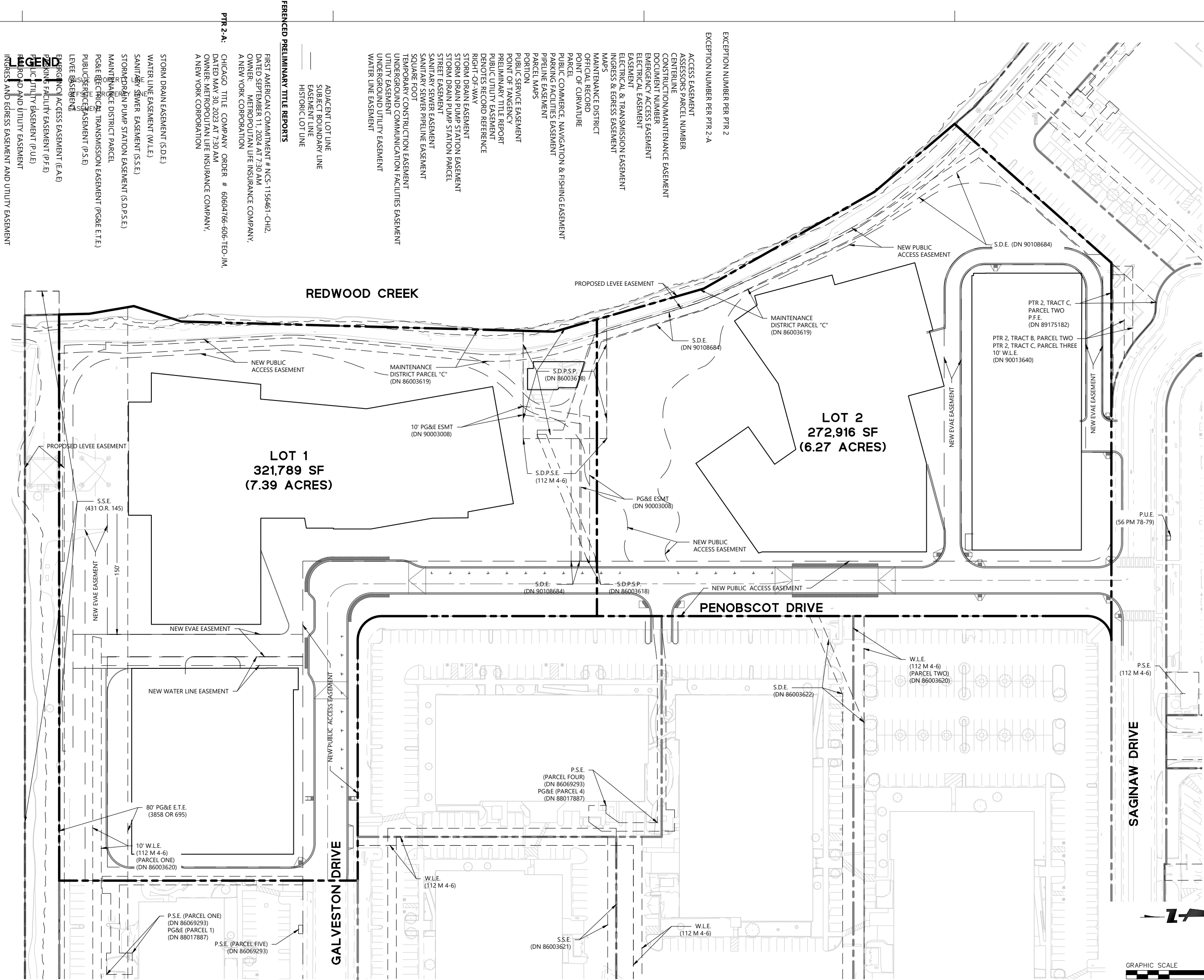
SCALE:

SHEET TITLE:

PROPOSED BOUNDARY AND
EASEMENTS PLAN
(DETAILED)

SHEET NO:

C-303



505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

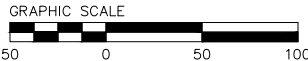
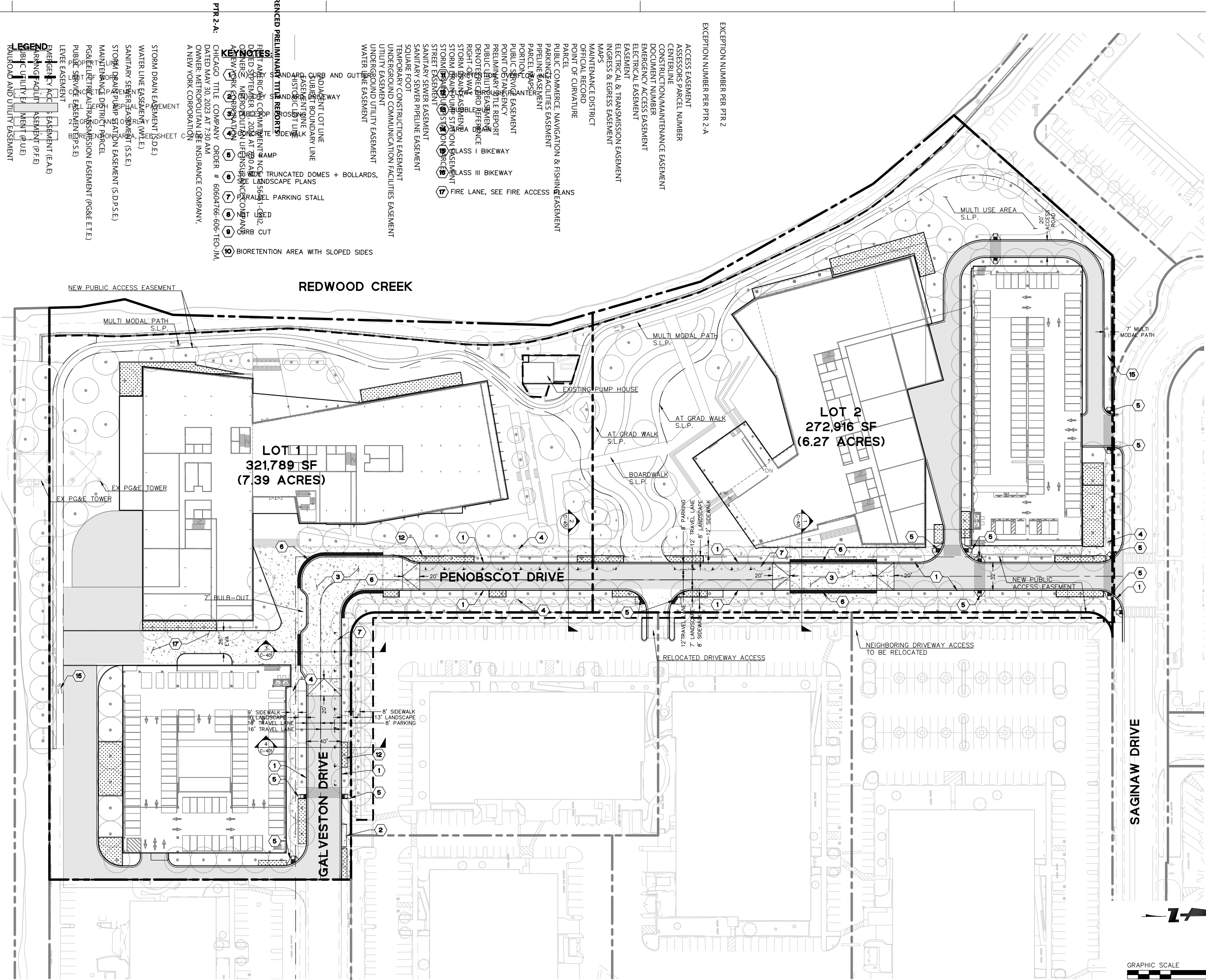
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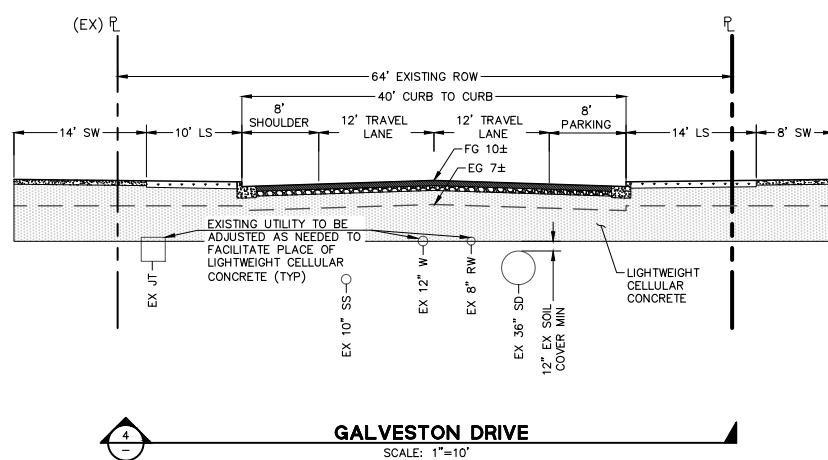
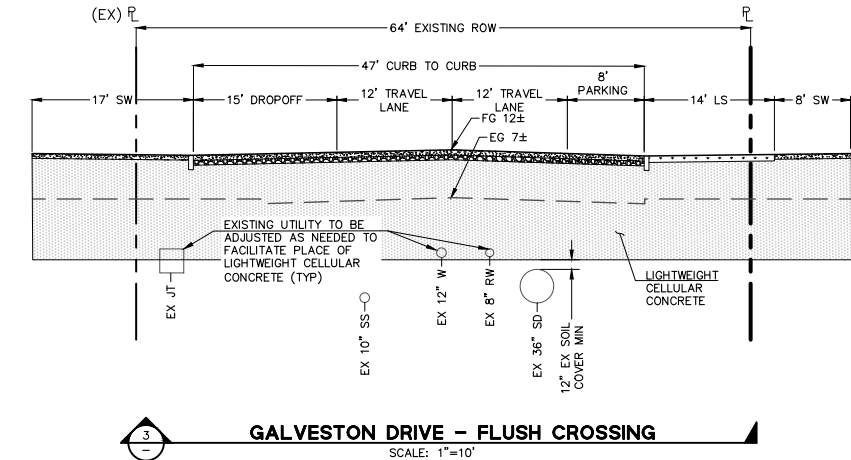
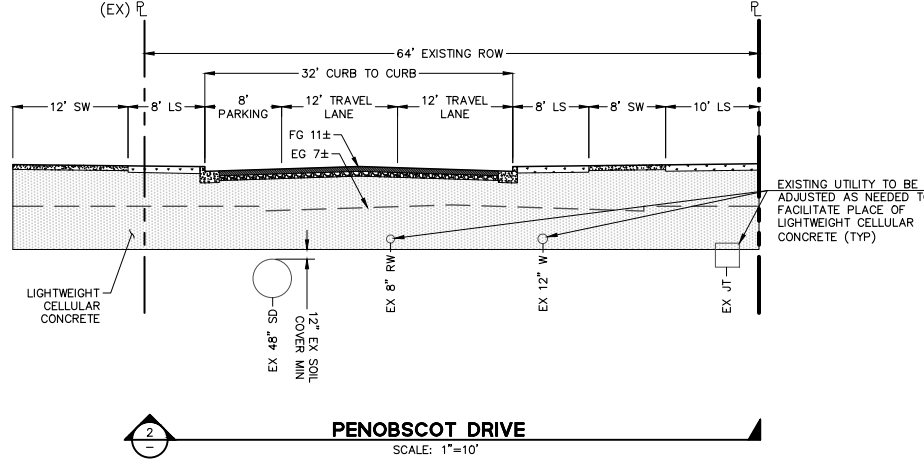
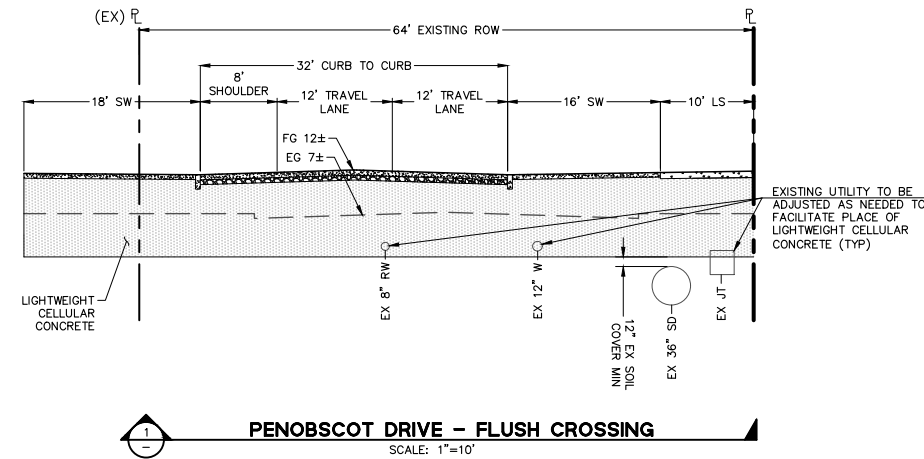
SHEET TITLE:

PROPOSED SITE PLAN

SHEET NO:

C-400





505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

CROSS SECTIONS

SHEET NO:

C-401

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

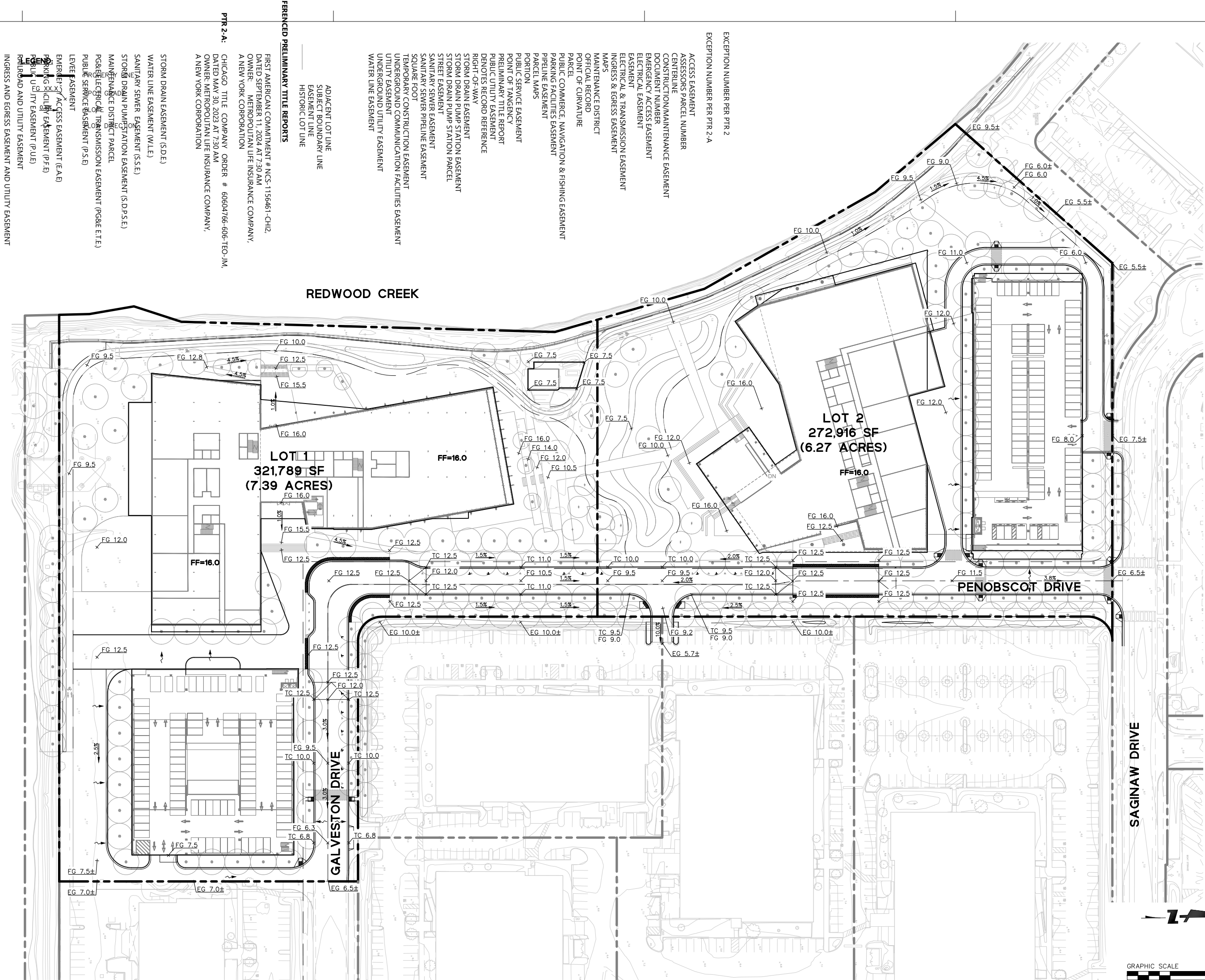
SCALE:

SHEET TITLE:

PROPOSED GRADING PLAN

SHEET NO:

C-500



EXCEPTION NUMBER PER PTR 2
EXCEPTION NUMBER PER PTR 2-A

ACCESS EASEMENT
ASSESSORS PARCEL NUMBER
CENTRILINE
CONSTRUCTION/MAINTENANCE EASEMENT
DOCUMENT NUMBER
EMERGENCY ACCESS EASEMENT
ELECTRICAL EASEMENT
EASEMENT
ELECTRICAL & TRANSMISSION EASEMENT
INGRESS & EGRESS EASEMENT
MAPS
MAINTENANCE DISTRICT
OFFICIAL RECORD
POINT OF CURVATURE
PARCEL
PUBLIC COMMERCE, NAVIGATION & FISHING EASEMENT
PARKING FACILITIES EASEMENT
PIPELINE EASEMENT
PARCEL MAPS
PORTION
PUBLIC SERVICE EASEMENT
POINT OF TANGENCY
PRELIMINARY TITLE REPORT
PUBLIC UTILITY EASEMENT
DENOTES RECORD REFERENCE
RIGHT-OF-WAY
STORM DRAIN EASEMENT
STORM DRAIN PUMP STATION EASEMENT
STORM DRAIN PUMP STATION PARCEL
STREET EASEMENT
SAINTARY SEWER EASEMENT
SAINTARY SEWER PIPELINE EASEMENT
SQUARE FOOT
TEMPORARY CONSTRUCTION EASEMENT
UNDERGROUND COMMUNICATION FACILITIES EASEMENT
UTILITY EASEMENT
UNDERGROUND UTILITY EASEMENT
WATER LINE EASEMENT

ADJACENT LOT LINE
SUBJECT BOUNDARY LINE
EASEMENT LINE
HISTORIC LOT LINE

REFERENCED PRELIMINARY TITLE REPORTS

FIRST AMERICAN COMMITMENT # NCS-1156461-CH12,
DATED SEPTEMBER 11, 2024 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION

CHICAGO TITLE COMPANY ORDER # 60604766-606-TEO-JM,
DATED MAY 30, 2023 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION

STORM DRAIN EASEMENT (S.D.E.)
WATER LINE EASEMENT (W.L.E.)
SAINTARY SEWER EASEMENT (S.S.E.)
STORM DRAIN PUMP STATION EASEMENT (S.D.P.S.E.)
MAINTENANCE DISTRICT PARCEL
PG&E/ELECTRIC & TRANSMISSION EASEMENT (PG&E E.T.E.)
PUBLIC SERVICE EASEMENT (P.S.E.)
LEVEL EASEMENT
EMERGENCY ACCESS EASEMENT (E.A.E.)
PARKING FACILITIES EASEMENT (P.F.E.)
PIPELINE EASEMENT (P.L.E.)
RAILROAD AND UTILITY EASEMENT
INGRESS AND EGRESS EASEMENT AND UTILITY EASEMENT

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

PROPOSED UTILITY PLAN

SHEET NO:

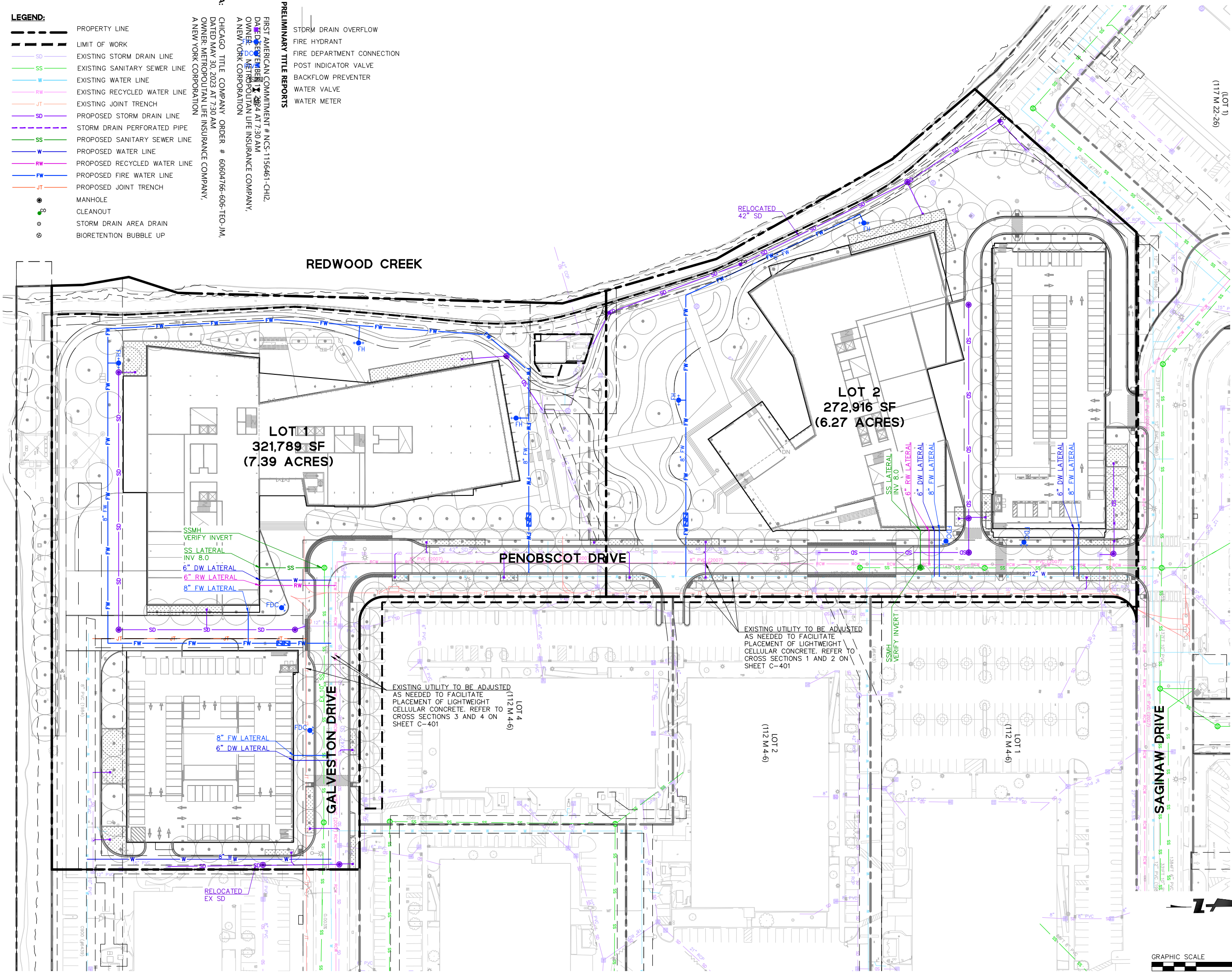
C-600







- LEGEND:**
- PROPERTY LINE
 - LIMIT OF WORK
 - EXISTING STORM DRAIN LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING RECYCLED WATER LINE
 - EXISTING JOINT TRENCH
 - PROPOSED STORM DRAIN LINE
 - STORM DRAIN PERFORATED PIPE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED RECYCLED WATER LINE
 - PROPOSED FIRE WATER LINE
 - PROPOSED JOINT TRENCH
 - MANHOLE
 - CLEANOUT
 - STORM DRAIN AREA DRAIN
 - BIORETENTION BUBBLE UP

PTB 2-A: CHICAGO TITLE COMPANY ORDER # 60604766-606-TFO-JM,
DATED MAY 30, 2023 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION

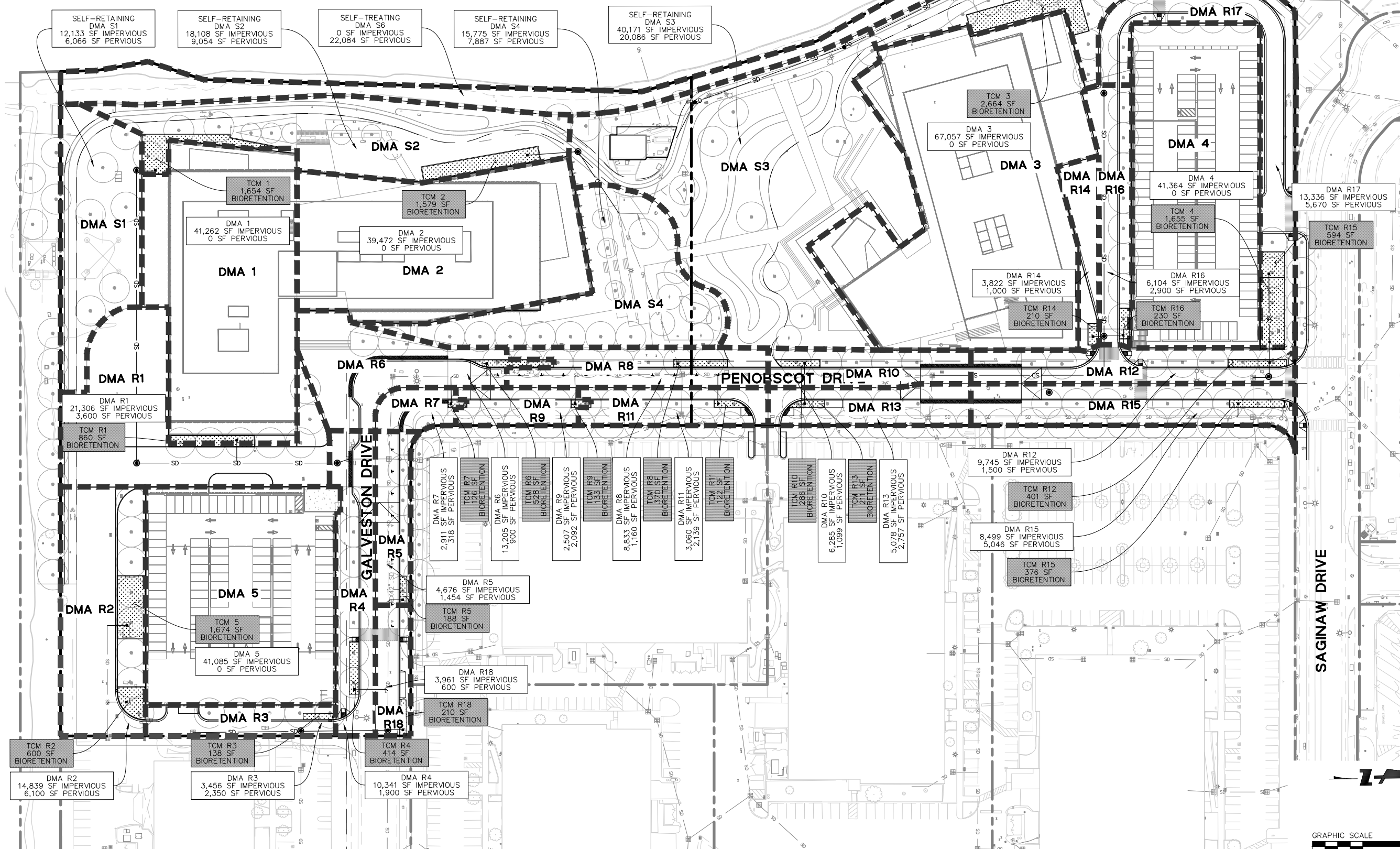
REFERENCE PRELIMINARY TITLE REPORTS
FIRST AMERICAN COMMITMENT # NCS-1156461-CH12,
DATED FEBRUARY 28, 2024 AT 7:30 AM
OWNER: METROPOLITAN LIFE INSURANCE COMPANY,
A NEW YORK CORPORATION

- STORM DRAIN OVERFLOW
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- BACKFLOW PREVENTER
- WATER VALVE
- WATER METER



	PROPERTY LINE
	DRAINAGE MANAGEMENT AREA
	BIORETENTION AREA
	STORM DRAIN PIPE
	OVERFLOW DRAIN WITH ATRIUM GRATE
	BUBBLE UP

1. THE PROJECT WILL UTILIZE STORMWATER TREATMENT MEASURES IN COMPLIANCE WITH PROVISION C.3. OF THE SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER NPDES PERMIT (MRP).
2. BIORETENTION AREAS ARE DEPENDENT ON CONTRIBUTING DRAINAGE MANAGEMENT AREAS AND WILL VARY IN LOCATION AND SIZE.
3. BIORETENTION HAS BEEN SIZED USING THE 4% RULE OR USING COMBINATION FLOW AND VOLUME CALCULATIONS.
4. LANDSCAPE AREAS MAY BE USED AS SELF-RETAINING AREAS TO TREAT RUN-OFF FROM IMPERVIOUS SURFACES. SELF-RETAINING AREAS WILL HAVE A MAXIMUM 2:1 RATIO OF CONTRIBUTING IMPERVIOUS AREA TO LANDSCAPE AREA, AND A 3" PONDING DEPTH.



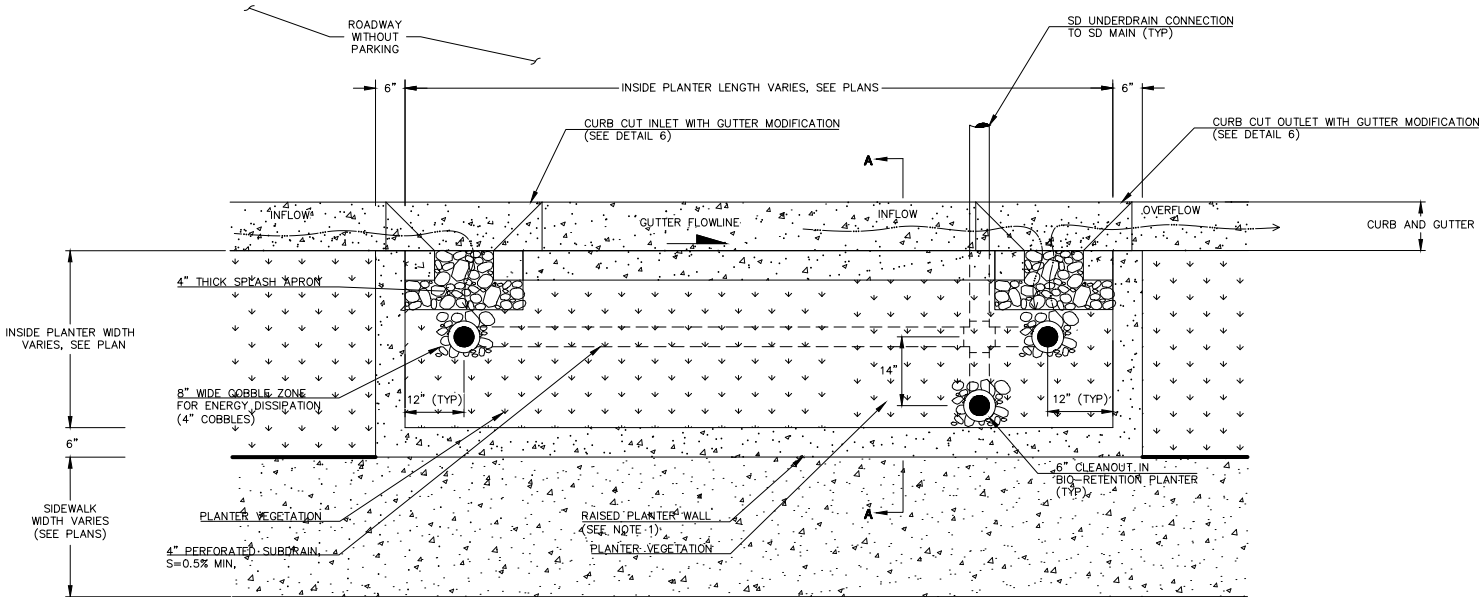
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All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch _____

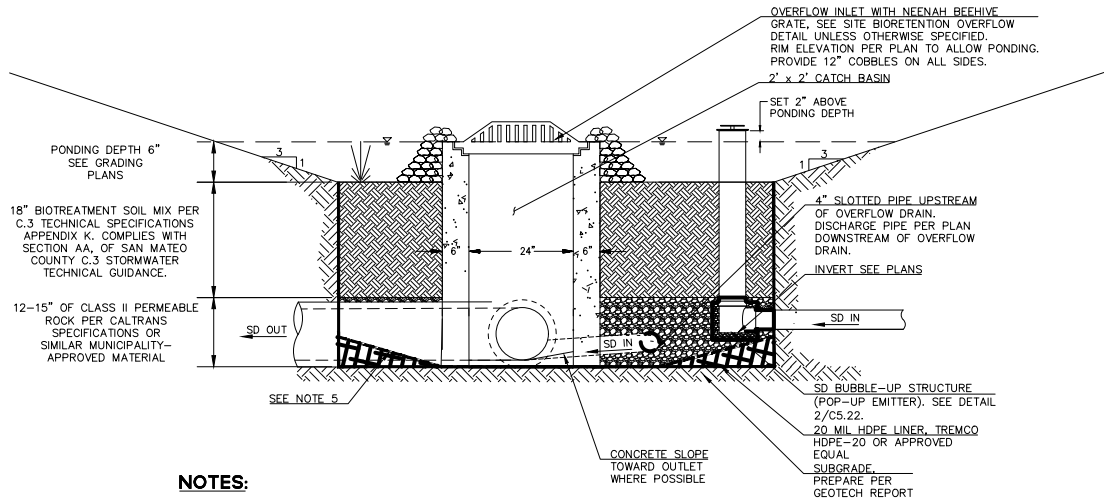
TREATMENT CONTROL MEASURE SUMMARY TABLE															
DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ⁴ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention			Self Retaining / Treating	
											Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)
1	1	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	41,262	41,262	-	0	6.94%	1,650	1,654	6		
2	2	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	39,467	39,467	-	0	6.64%	1,579	1,579	6		
3	3	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	65,536	65,536	-	0	11.02%	2,621	2,664	6		
4	4	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	41,184	41,184	-	0	6.93%	1,647	1,664	6		
5	5	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	41,085	41,085	-	0	6.91%	1,643	1,674	6		
R1	R1	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	24,907	21,307	-	3,600	4.19%	852	860	6		
R2	R2	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	20,929	14,829	-	6,100	3.52%	593	600	6		
R3	R3	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	5,806	3,456	-	2,350	0.98%	138	138	6		
R4	R4	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	12,241	10,341	-	1,900	2.06%	414	414	6		
R5	R5	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	6,130	4,676	-	1,454	1.03%	187	188	6		
R6	R6	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	14,105	13,205	-	900	2.37%	528	528	6		
R7	R7	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	3,229	2,911	-	318	0.54%	116	126	6		
R8	R8	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	9,993	8,833	-	1,160	1.68%	353	370	6		
R9	R9	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	4,599	2,507	-	2,092	0.77%	100	133	6		
R10	R10	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	7,384	6,285	-	1,099	1.24%	251	286	6		
R11	R11	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	6,998	4,270	-	2,728	1.18%	171	182	6		
R12	R12	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	11,245	9,745	-	1,500	1.89%	390	401	6		
R13	R13	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	7,835	5,078	-	2,757	1.32%	203	211	6		
R14	R14	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	4,822	3,822	-	1,000	0.81%	153	210	6		
R15	R15	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	13,545	8,499	-	5,046	2.28%	340	376	6		
R16	R16	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	9,004	6,104	-	2,900	1.51%	244	299	6		
R17	R17	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	19,006	13,336	-	5,670	3.20%	533	594	6		
R18	R18	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method **	4,561	3,961	-	600	0.77%	158	210	6		
S1	-	Onsite	Self-retaining areas (landscaped)	LID	N/A	18,199	12,133	-	6,066	3.06%	N/A	N/A	N/A	3 inches	3 inches
S2	-	Onsite	Self-retaining areas (landscaped)	LID	N/A	27,161	18,108	-	9,054	4.57%	N/A	N/A	N/A	3 inches	3 inches
S3	-	Onsite	Self-retaining areas (landscaped)	LID	N/A	60,233	40,155	-	20,078	10.13%	N/A	N/A	N/A	3 inches	3 inches
S4	-	Onsite	Self-retaining areas (landscaped)	LID	N/A	23,662	15,775	-	7,887	3.98%	N/A	N/A	N/A	3 inches	3 inches
S5	-	Onsite	Self-retaining areas (landscaped)	LID	N/A	28,511	19,007	-	9,504	4.79%	N/A	N/A	N/A	3 inches	3 inches
S6	-	Onsite	Self-treating areas (landscaped)	LID	N/A	22,065	-	-	22,065	3.71%	N/A	N/A	N/A		
Totals:						594,705	478,877	0	117,828	100.00%					

Footnotes:
1 Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required
2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
4 Gravel is considered as an impervious surface unless it is part of an infiltration trench.



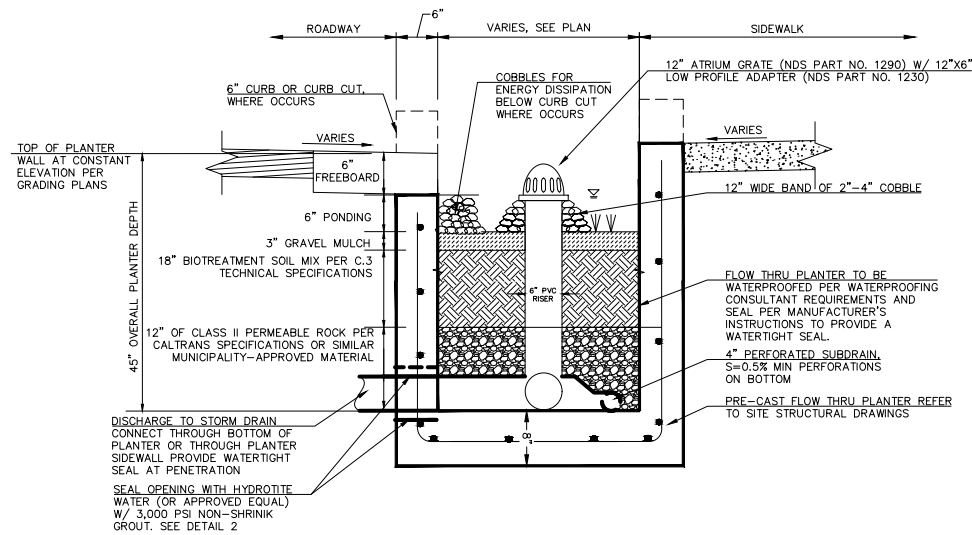
- NOTES:
- SLOPE TOP OF PLANTER WALL TO MATCH LONGITUDINAL SLOPE OF ADJACENT SURFACE.
 - LAY OUT DRAINAGE NOTCHES TO PREVENT PONDING BEHIND PLANTER WALL WITH 5' MAXIMUM SPACING BETWEEN NOTCHES.
 - 4" THICK SPLASH APRON SHALL NOT BE INTEGRAL TO PLANTER WALL OR OTHER ADJACENT CONCRETE ELEMENTS.
 - SCARIFY SUBGRADE TO A DEPTH OF 3 INCHES (MIN) IMMEDIATELY PRIOR TO PLACEMENT OF AGGREGATE STORAGE AND BIO-RETENTION SOIL MATERIAL.
 - ALL FITTINGS SHALL BE SOIL TIGHT.
 - TOP OF PONDING ELEVATION IS EQUAL TO LOWEST DESIGN FLOW ELEVATION.
 - SET CROWN OF UNDERDRAIN PIPE AT OR BELOW BOTTOM OF CHOKING COURSE.
 - CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR PRE-CAST TREATMENT PLANTER FOR REVIEW PRIOR TO FABRICATION.

3
-
AT-GRADE FLOW THROUGH PLANTER
NTS



- NOTES:
- SEAL ALL PIPE PENETRATIONS THRU HDPE LINER PER MANUFACTURE INSTRUCTIONS TO PROVIDE A WATERTIGHT SEAL. USE TREMCO PARASEAL PARA JT TAPE (2-SIDED BUTYL TAPE) AND TREMCO PARASEAL PERMANENT SEAM TAPE.
 - BIO-RETENTION SIDE SLOPES SHALL BE CONSTRUCTED FROM COMPACTED NATIVE SOIL AS APPROVED BY THE GEOTECHNICAL ENGINEER. BIO-RETENTION SOIL MIX SHALL BE PLACED ONLY WITHIN THE FLAT BOTTOM AREA OF THE BIO-RETENTION BASIN.
 - CONTRACTOR SHALL CONTACT CIVIL ENGINEER FOR OBSERVATION OF PERFORATED PIPE LAYOUT (PRIOR TO BACKFILL) AND OVERFLOW INLET INSTALLATION. PROVIDE 2 DAYS MINIMUM NOTICE.
 - CONTRACTOR SHALL EXERCISE EXTREME CARE TO MAINTAIN INTEGRITY OF HDPE LINER. CONTRACTOR SHALL REPAIR PUNCTURES OR DAMAGE WITH TREMCO PARASEAL PARA JT TAPE (2-SIDED BUTYL TAPE) AND TREMCO PARASEAL PERMANENT SEAM TAPE.
 - DEPRESS LINER AT LOW POINT/OUTLET TO ALLOW WATER TO DRAIN OUT OF PLANTER. FITTINGS ARE SCHEMATIC. CONFIRM SIZING AND DIMENSIONS WITH MANUFACTURER.
 - DETAILS SHOW APPROXIMATE LAYOUT OF PERFORATED PIPE, OVERFLOW INLETS, AND BUBBLE-UP STRUCTURES. REFER TO UTILITY PLAN FOR EXACT LOCATIONS. REFER TO HORIZONTAL CONTROL AND GRADING PLANS FOR ADDITIONAL INFORMATION.

1
-
BIORETENTION AREA
NTS



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swa
WATRY DESIGN, INC.



WATT

ISSUES DATE
ENTITLEMENT APPLICATION 10/03/2025

REVISION LIST DATE

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

PROJECT NO.: 24040.00

DATE: 10/03/2025

SCALE:

SHEET TITLE:

PROPOSED STORMWATER
MANAGEMENT DATA AND
DETAILS

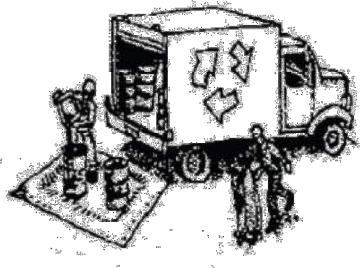
SHEET NO:

C-701

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



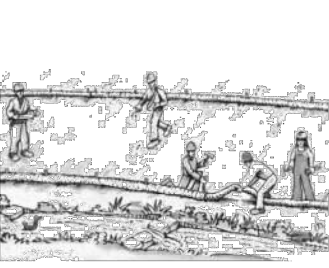
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

PROJECT NARRATIVE

The open space framework for the Project is structured around two primary zones:

The Waterfront Zone – “Wet Landscape”

The “wet landscape” evokes the nearby salt marshes of Bair Island, bringing that ecological gesture into the site through organic landforms, immersive planting, and opportunities for passive recreation. The topography forms a variety of spatial scales and programming moments, opening views outward and activating the multi-modal path along the waterfront.

The Streetscape Zone – “Urban Edge”

Defining the “urban edge” of the project, the streetscape landscape includes flush drop-off plazas at building entries, generous sidewalks, street trees, understory, and typical streetscape amenities. The frontage established along this zone contributes to the entry experience of visitors and building occupants alike.

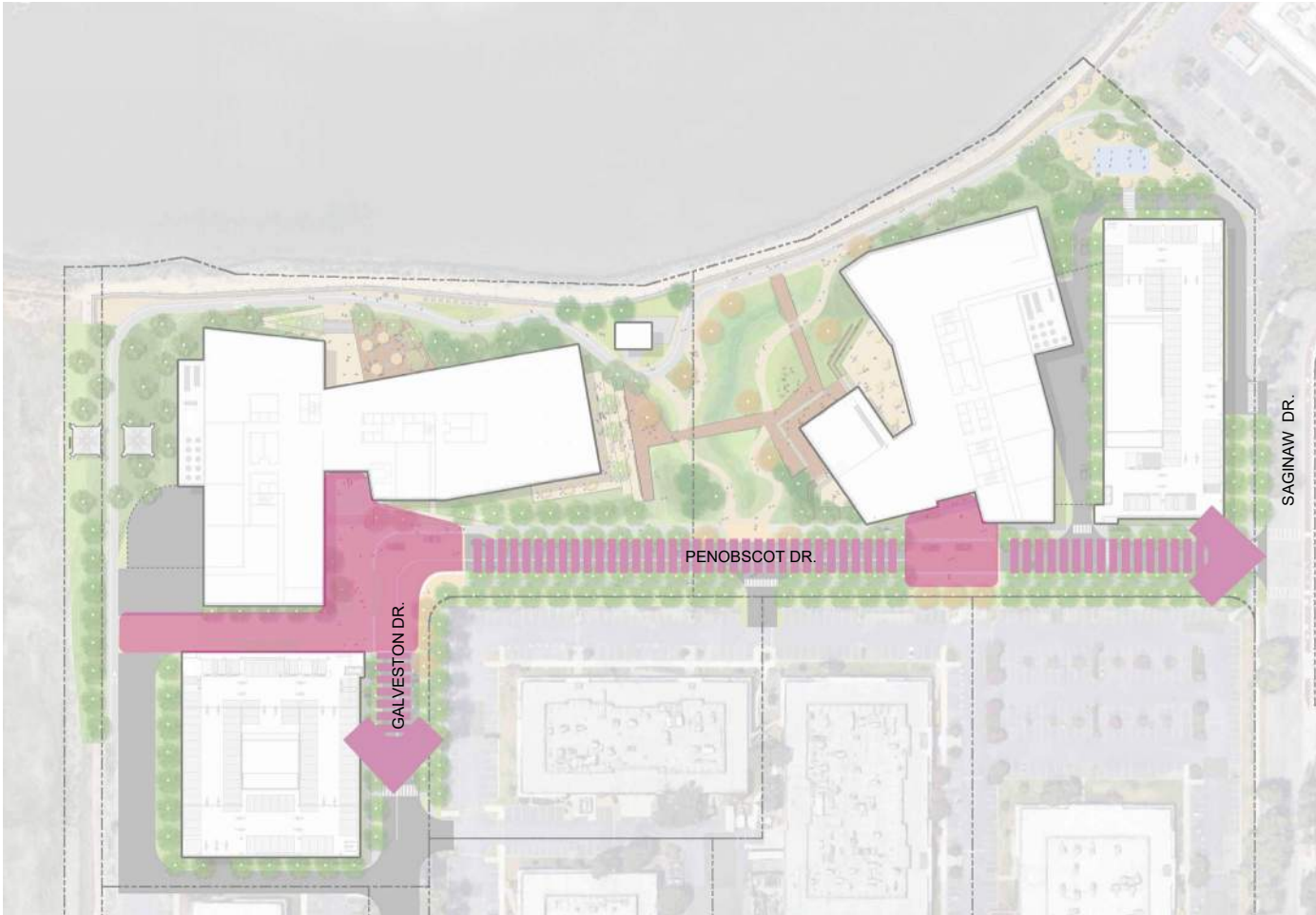
This ‘Urban Wild’ open space framework forms the foundation of the public-facing landscape design on the project. These zones are further activated by a series of private terrace and courtyards that break out from the buildings to provide programming areas for tenants.

A comprehensive circulation system includes sidewalks, multi-modal and pedestrian-only pathways, as well as a low boardwalk system that connects the buildings to the wet landscape and the waterfront. This creates a layered sequence of experiences throughout the site.

The materiality approach is inspired by the local Redwood City natural systems - forests, coastal salt marsh, and productive working landscapes. The design translates these references into a palette that unites architecture and landscape, emphasizing durability, ecological considerations, and a commitment to sustainability.



① OPEN SPACE FRAMEWORK - WET LANDSCAPE
1" = 100'-0"



② OPEN SPACE FRAMEWORK- URBAN EDGE
1" = 100'-0"

WATERFRONT ACCESS



TRAIL ACTIVATION



SHORELINE RESTORATION



MULTI MODAL PATH



SEATING ALONG TRAIL SHOLDER



505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

SCALE: 1" = 100'-0"

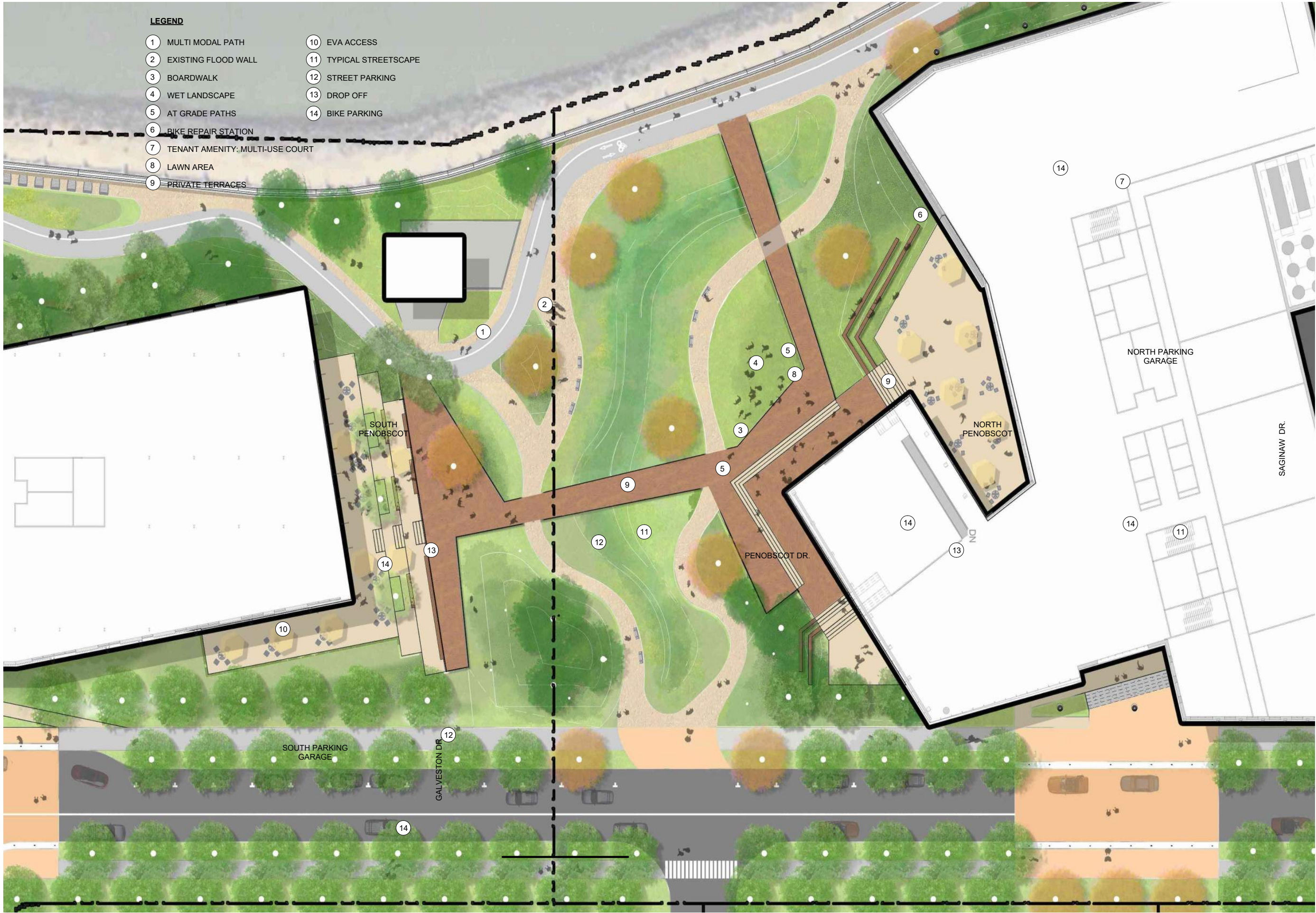
SHEET TITLE:

OPEN SPACE
FRAMEWORK

SHEET NO:

L-001

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LEGEND

- | | |
|-----------------------------------|------------------------|
| 1 MULTI MODAL PATH | 10 EVA ACCESS |
| 2 EXISTING FLOOD WALL | 11 TYPICAL STREETSCAPE |
| 3 BOARDWALK | 12 STREET PARKING |
| 4 WET LANDSCAPE | 13 DROP OFF |
| 5 AT GRADE PATHS | 14 BIKE PARKING |
| 6 BIKE REPAIR STATION | |
| 7 TENANT AMENITY: MULTI-USE COURT | |
| 8 LAWN AREA | |
| 9 PRIVATE TERRACES | |

1 OVERALL LAYOUT PLAN
1" = 50'-0"

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WATRY DESIGN, INC.



ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

SCALE: 1" = 50'-0"

SHEET TITLE:

OVERALL LANDSCAPE
SITE PLAN

SHEET NO:

L-101

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

SCALE: 1" = 50'-0"

SHEET TITLE:

10% PUBLIC ACCESS

SHEET NO:

L-102

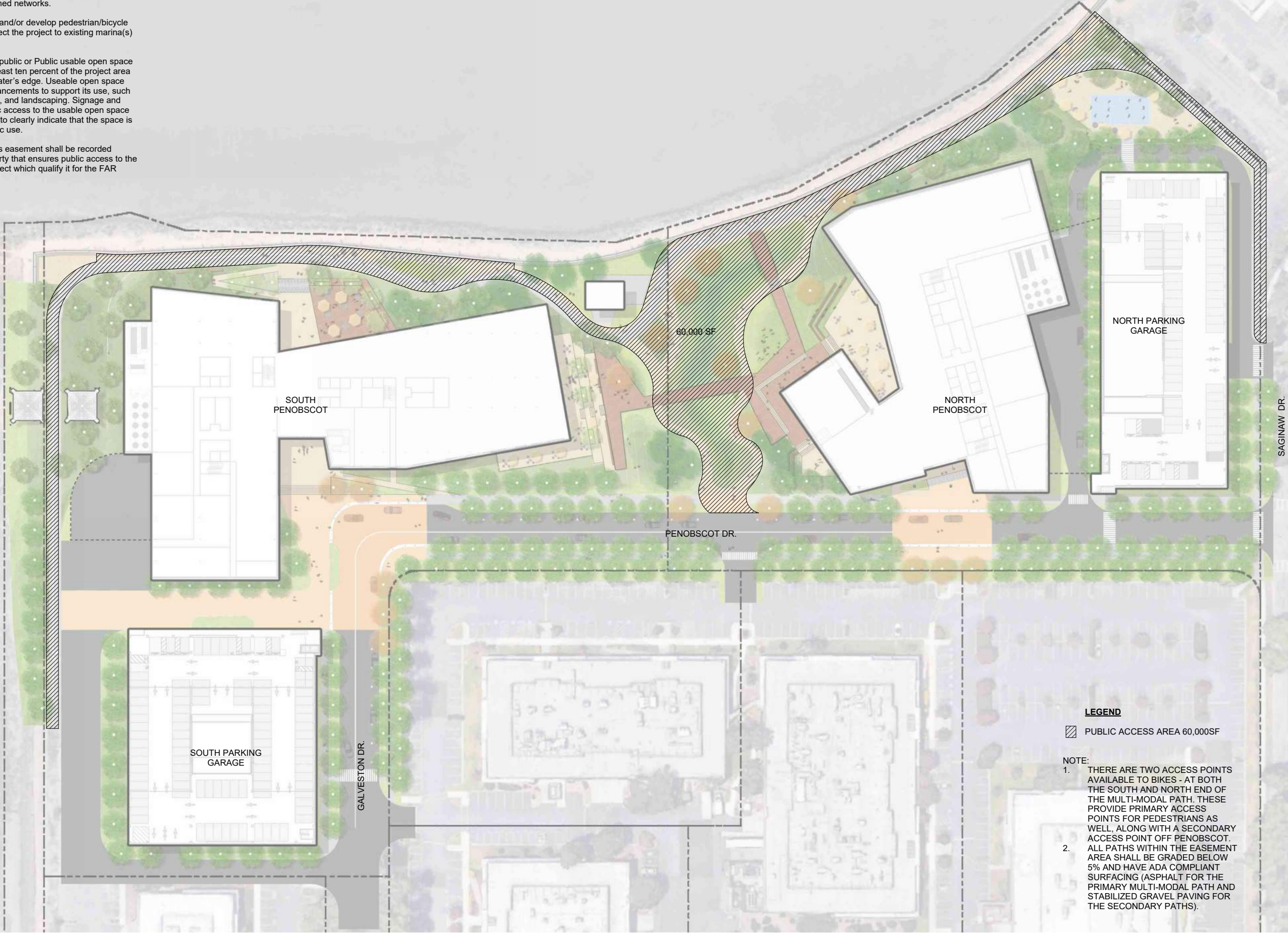
Incentive-Based FAR Bonus

a) Provide publicly-accessible pedestrian and bicycle pathways along the water's edge, and connect to existing and planned networks.

b) Provide docks and/or develop pedestrian/bicycle networks to connect the project to existing marina(s) when possible.

c) Provide Quasi-public or Public usable open space amounting to at least ten percent of the project area adjacent to the water's edge. Useable open space shall include enhancements to support its use, such as benches, trails, and landscaping. Signage and appropriate public access to the usable open space shall be provided to clearly indicate that the space is available for public use.

d) A public access easement shall be recorded against the property that ensures public access to the portion of the project which qualify it for the FAR Bonus.



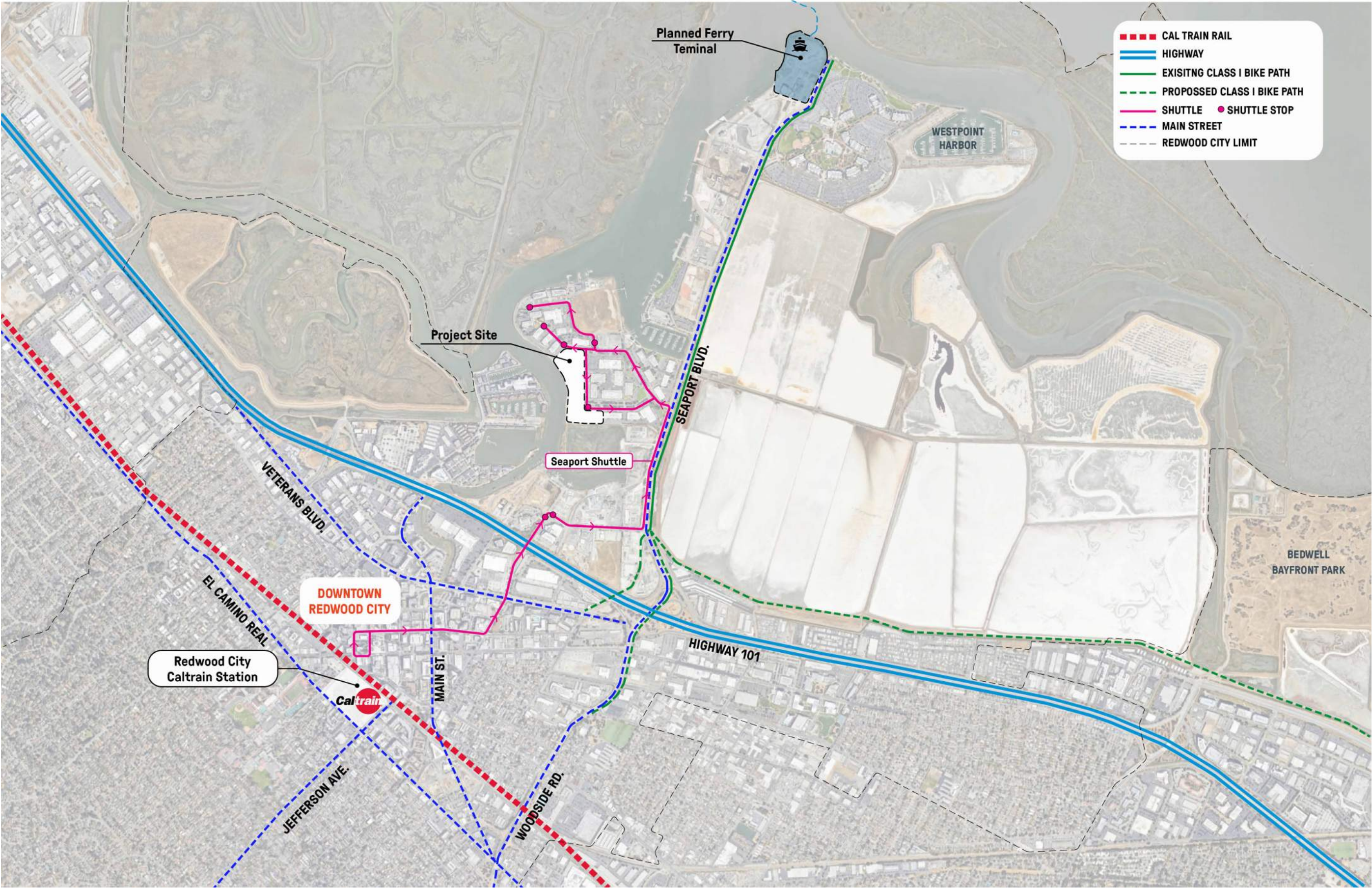
LEGEND

PUBLIC ACCESS AREA 60,000SF

NOTE:

1. THERE ARE TWO ACCESS POINTS AVAILABLE TO BIKES - AT BOTH THE SOUTH AND NORTH END OF THE MULTI-MODAL PATH. THESE PROVIDE PRIMARY ACCESS POINTS FOR PEDESTRIANS AS WELL, ALONG WITH A SECONDARY ACCESS POINT OFF PENOBSCOT. ALL PATHS WITHIN THE EASEMENT AREA SHALL BE GRADED BELOW 5% AND HAVE ADA COMPLIANT SURFACING (ASPHALT FOR THE PRIMARY MULTI-MODAL PATH AND STABILIZED GRAVEL PAVING FOR THE SECONDARY PATHS).
- 2.

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- ■ ■ ■ CAL TRAIN RAIL
- HIGHWAY
- EXISITNG CLASS I BIKE PATH
- - - PROPOSED CLASS I BIKE PATH
- SHUTTLE ● SHUTTLE STOP
- - - MAIN STREET
- - - REDWOOD CITY LIMIT



ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

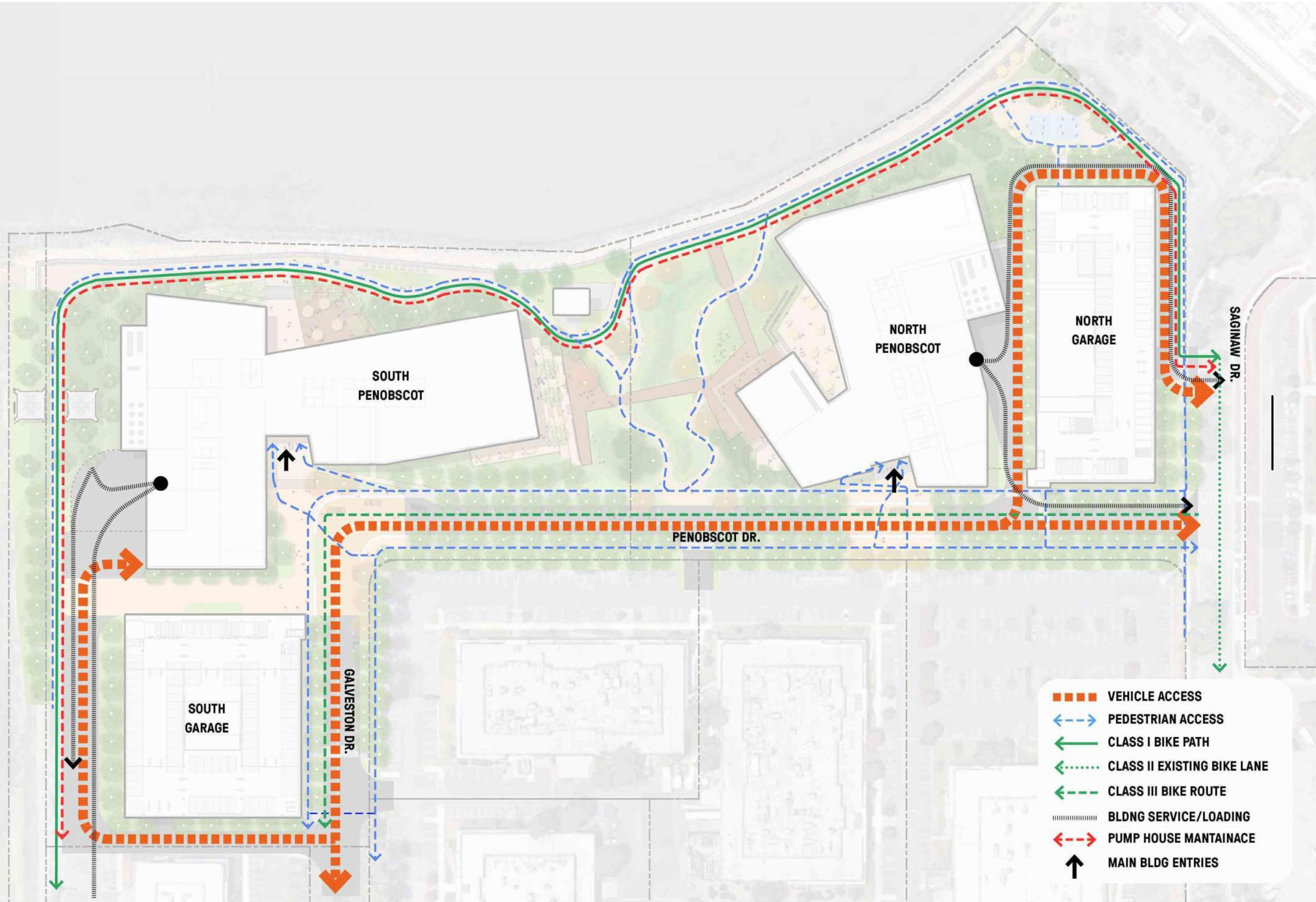
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SHEET TITLE:

REGIONAL CIRCULATION
DIAGRAM

SHEET NO:



① SITE ACCESS CIRCULATION DIAGRAM
1" = 50'-0"

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

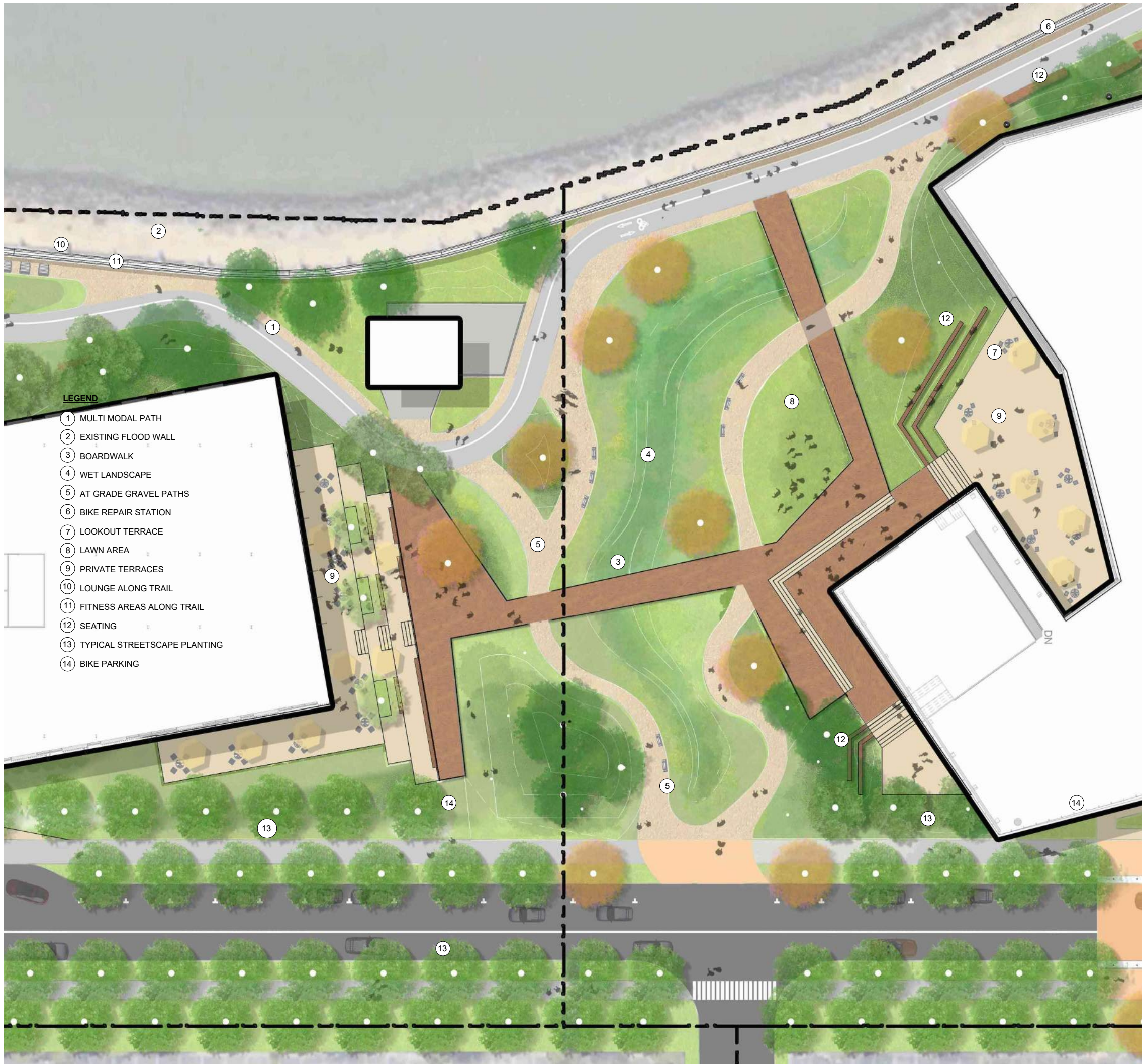
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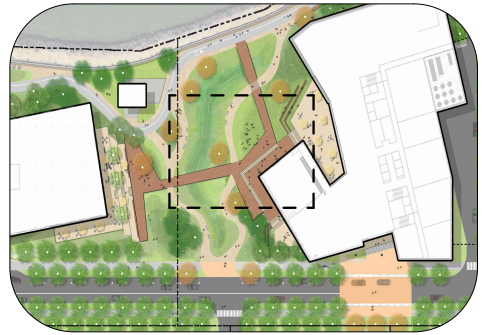
SITE ACCESS
CIRCULATION DIAGRAMS

SHEET NO:

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1 CENTRAL LANDSCAPE ENLARGEMENT PLAN
1" = 20'-0"



THE BOARDWALK



ACTIVATION NODE



TERRACE STEPS



WET LANDSCAPE



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swa

WATRY DESIGN, INC.

BKF

ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

SCALE: As indicated

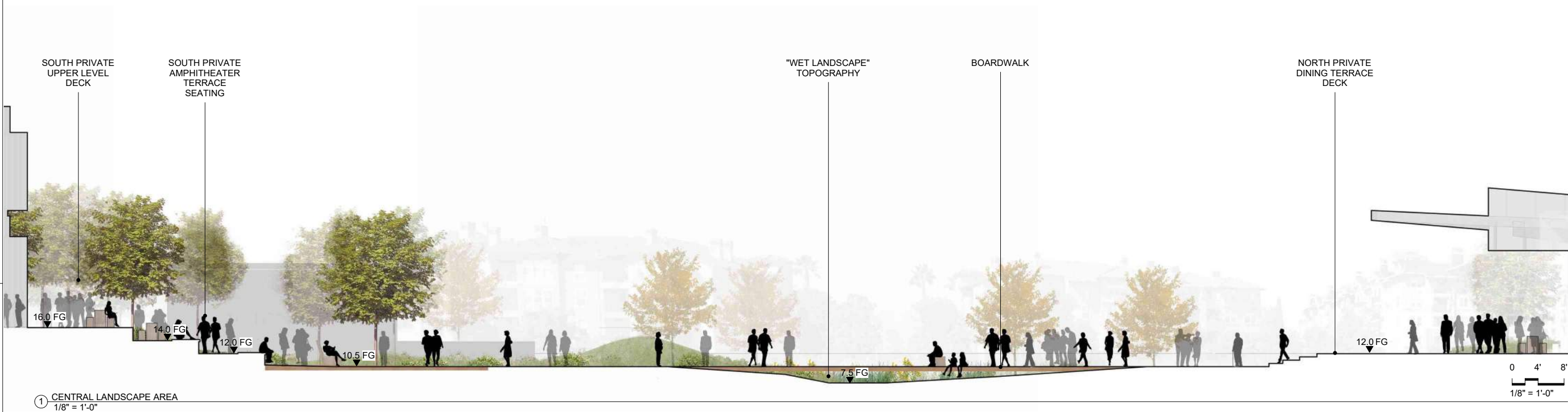
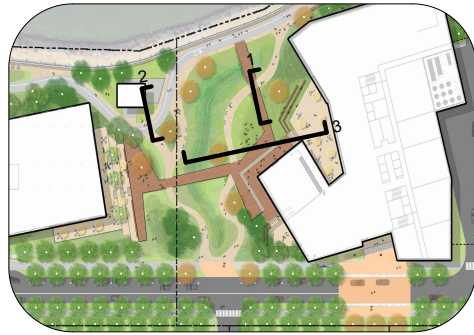
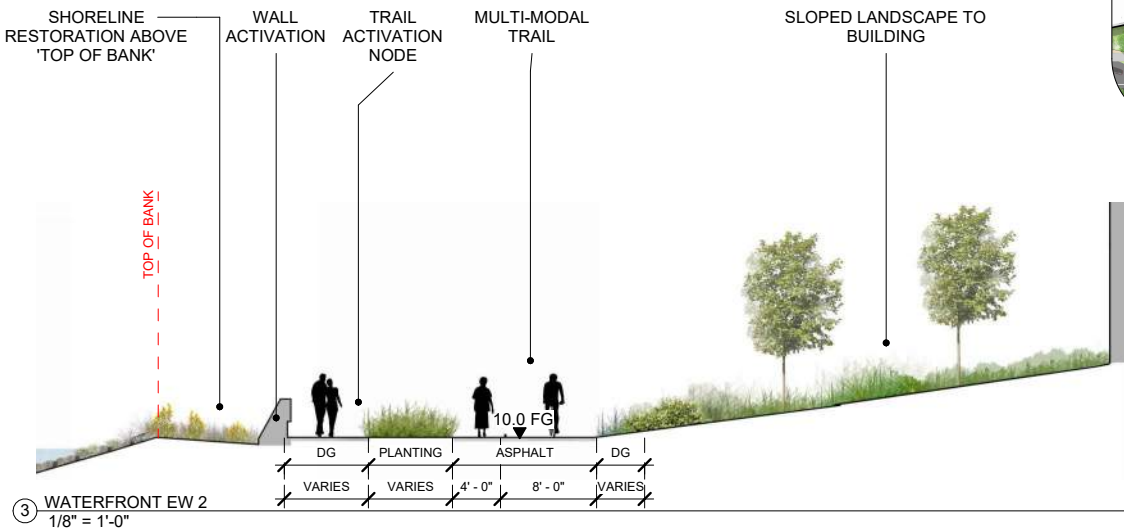
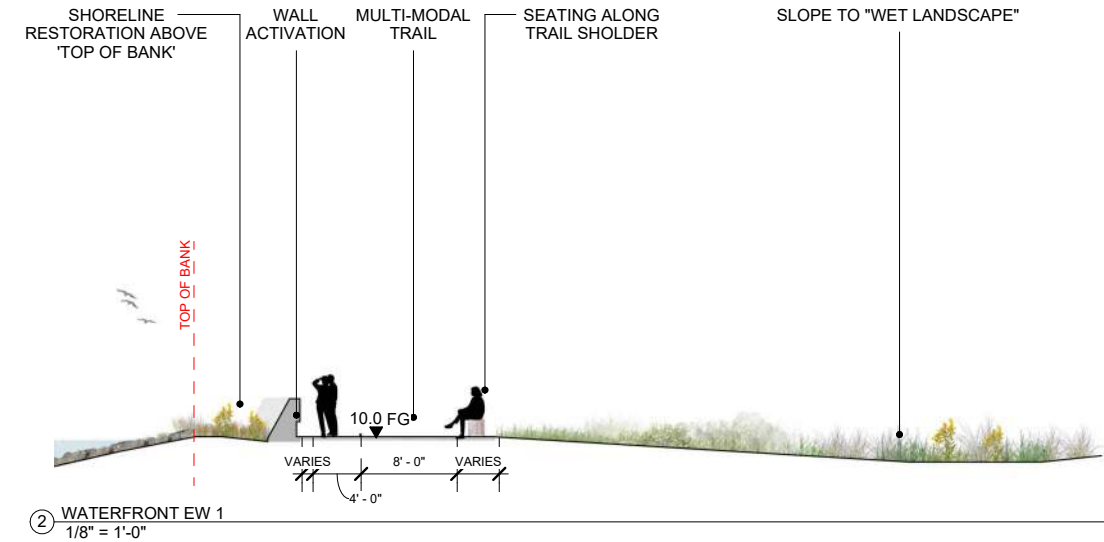
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CENTRAL LANDSCAPE
ENLARGEMENT PLAN

SHEET NO:

L-201

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AMPHITHEATER TERRACE SEATING



BOARDWALK PATHS



WET LANDSCAPE



TERRACE SEATING



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REVISION LIST	DATE
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SCALE: As indicated

SHEET TITLE:

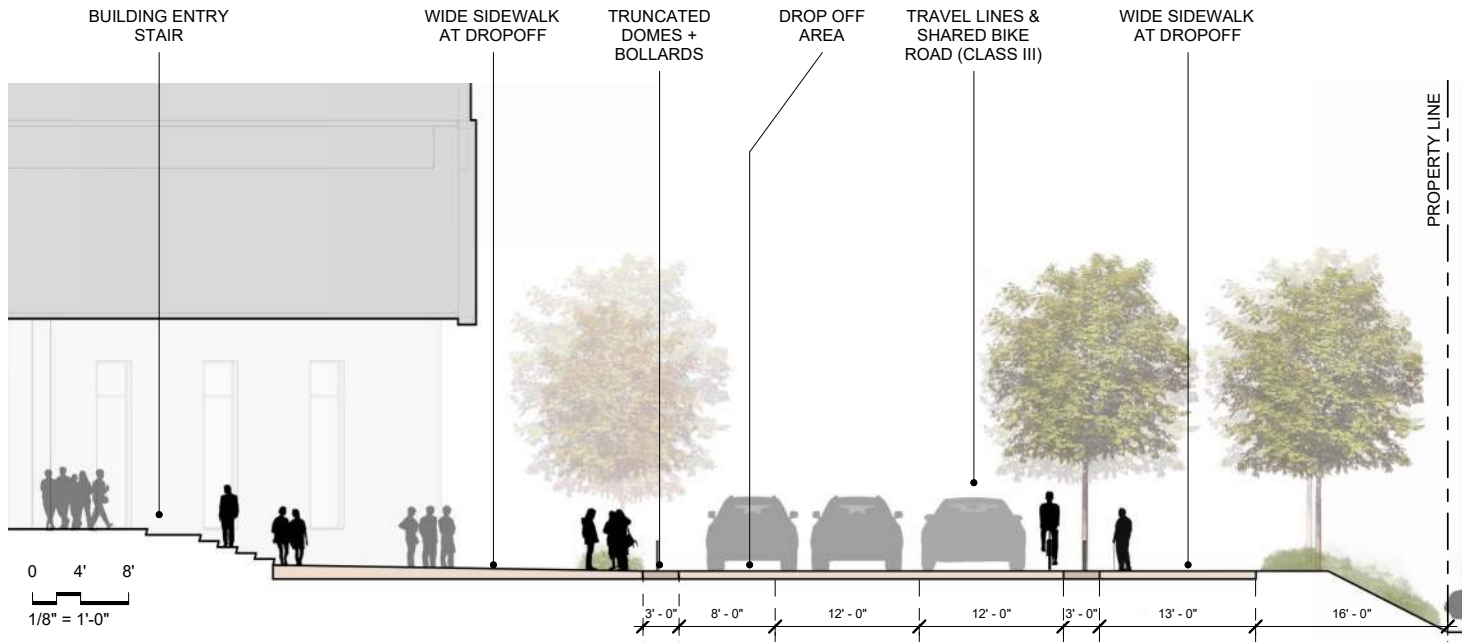
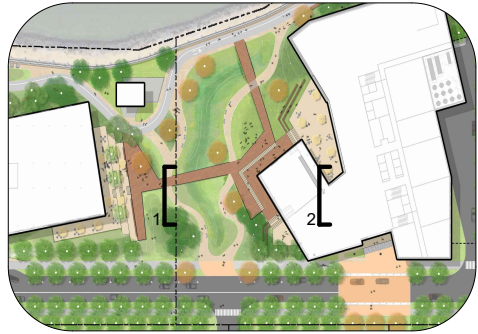
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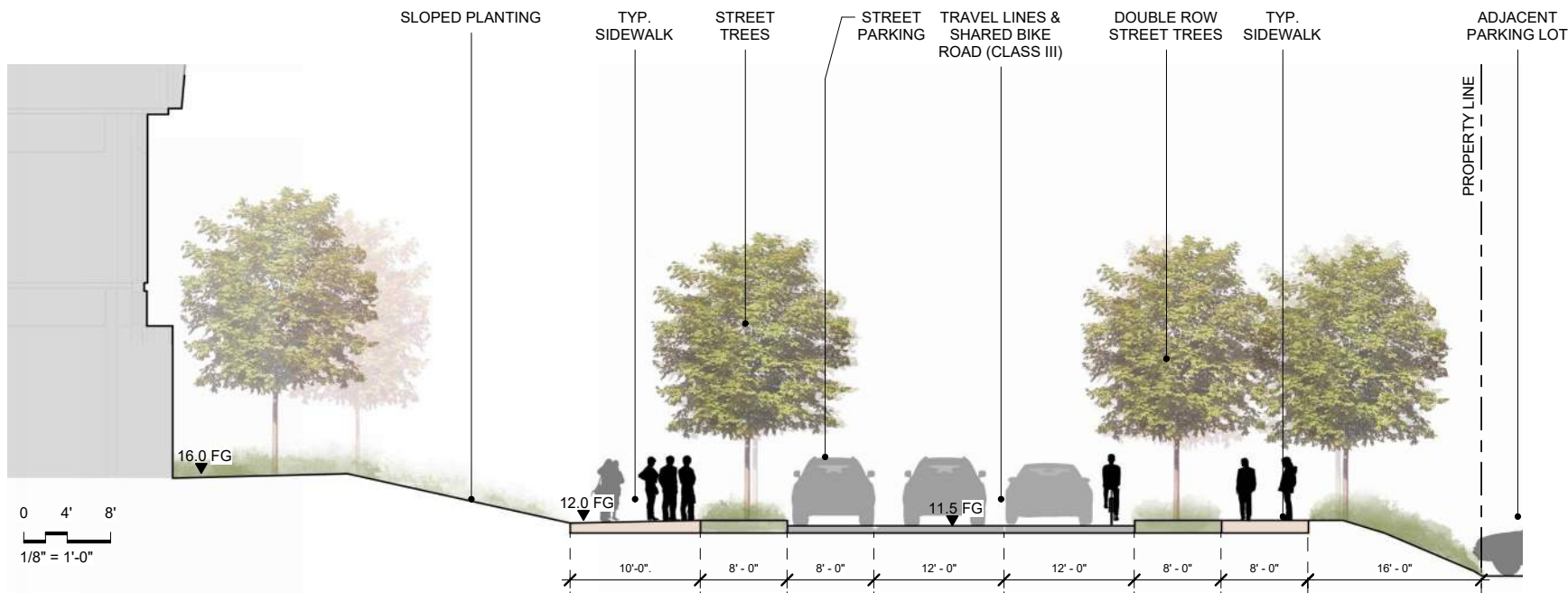
L-301

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If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.



② ROAD DROPOFF
1/8" = 1'-0"



① ROAD BUILDING
1/8" = 1'-0"

SEATING AREA AT DROP OFF



SIDEWALK



CURBLESS DROP OFF



STREETSCAPE



DROP OFF



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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/15/2025

SCALE: As indicated

SHEET TITLE:

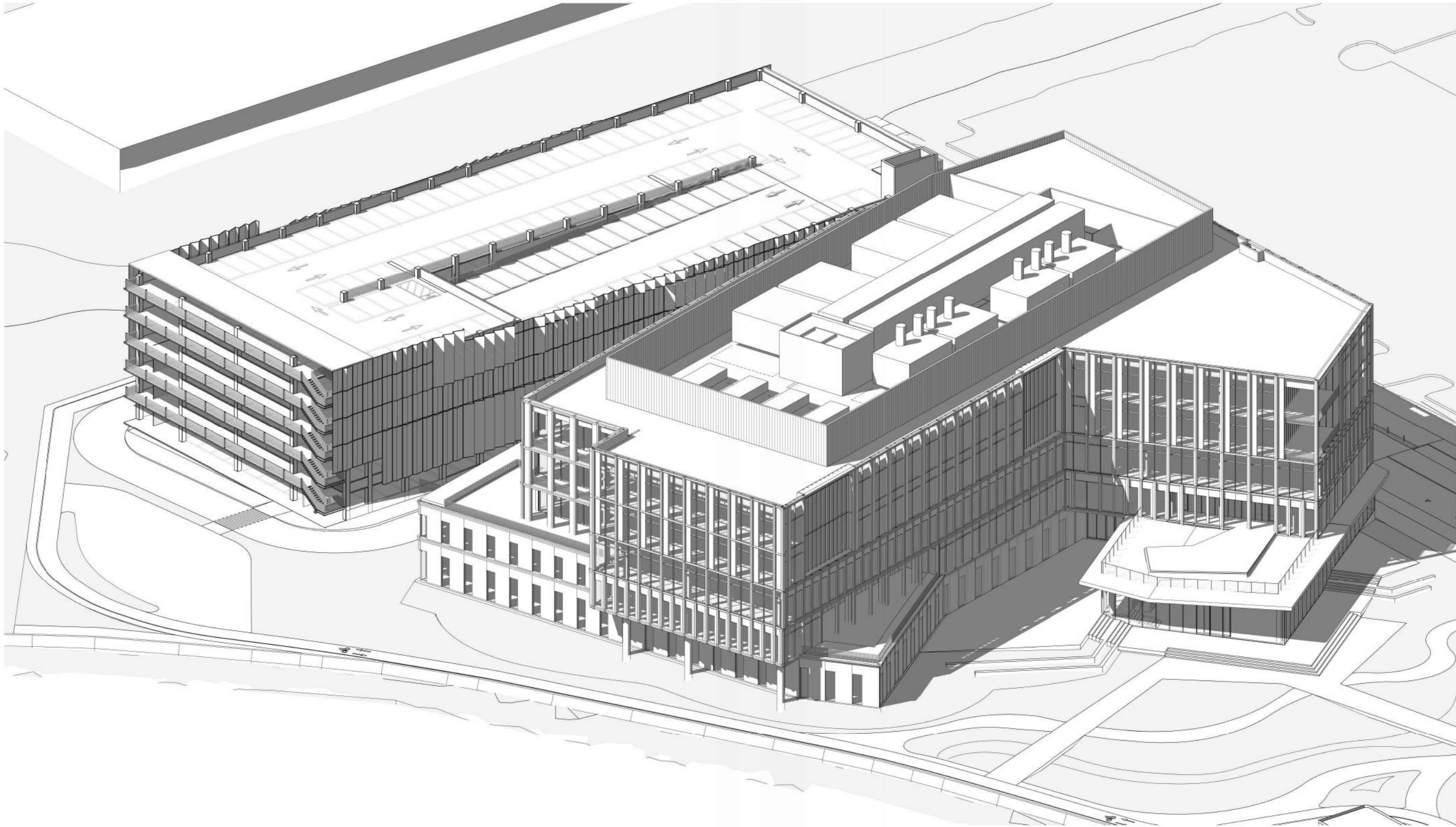
SECTIONS

SHEET NO:

L-302

10/6/2025 12:23:56 PM

10/6/2025 1:07:33 PM



1 NORTH BUILDINGS AXONMETERIC

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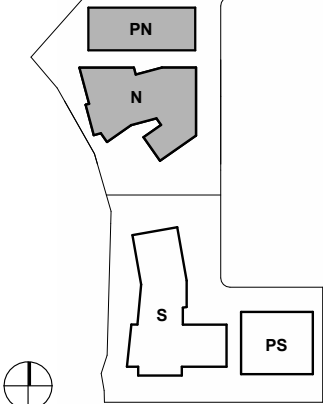
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE:

SHEET TITLE:

NORTH BUILDINGS AXON

SHEET NO:

AN-100

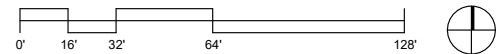
10/2/2025 2:06:36 PM



2 NORTH BLD - LEVEL 2
1/32" = 1'-0"



1 NORTH BLD - LEVEL 1
1/32" = 1'-0"



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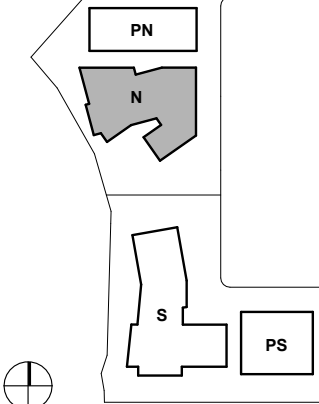
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

SHEET TITLE:

NORTH BUILDING FLOOR PLANS

SHEET NO:

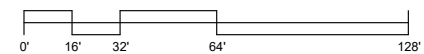
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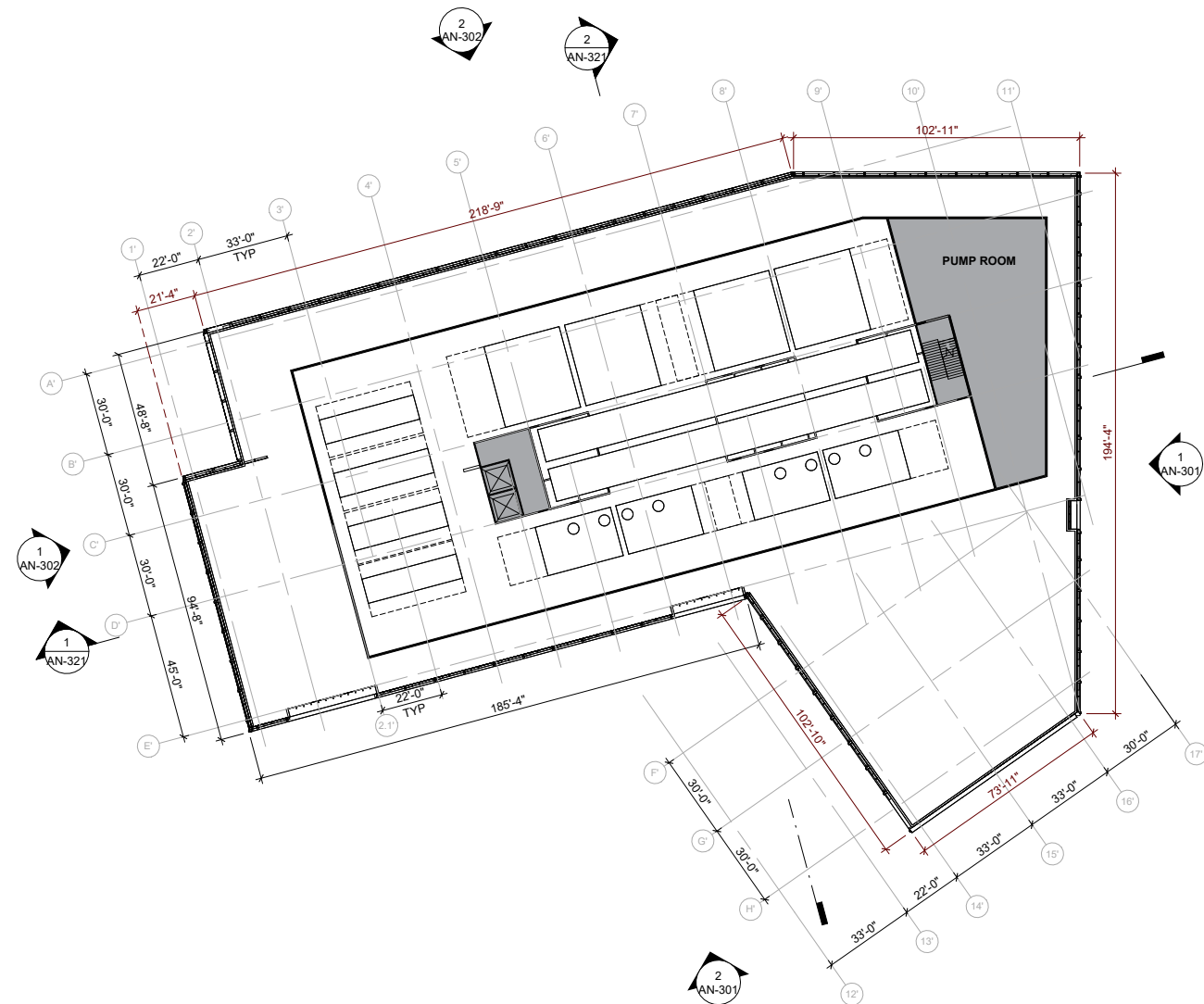
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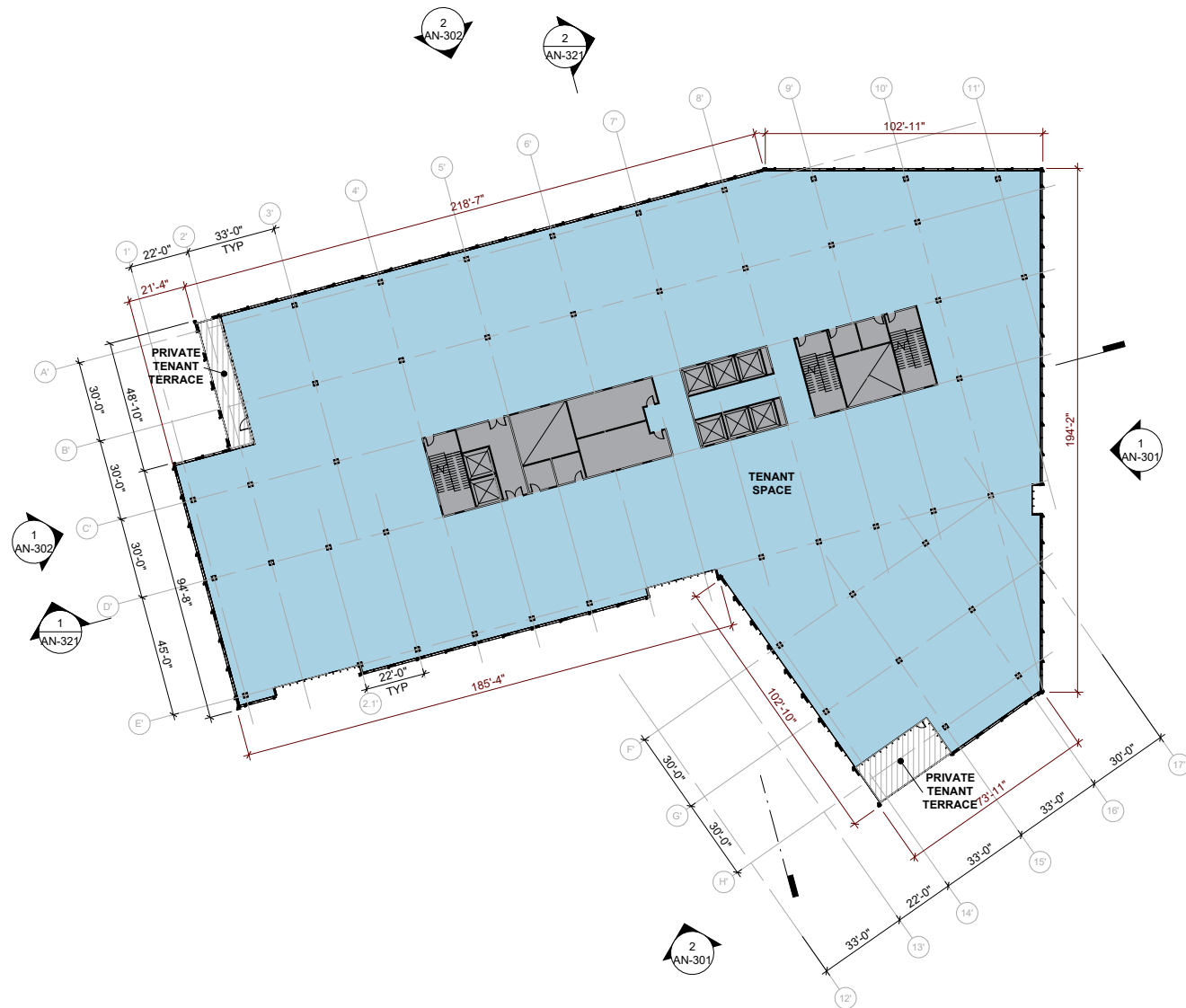
AN-102



10/2/2025 2:06:39 PM



2 NORTH BLD - ROOF
1/32" = 1'-0"



1 NORTH BLD - LEVEL 5
1/32" = 1'-0"



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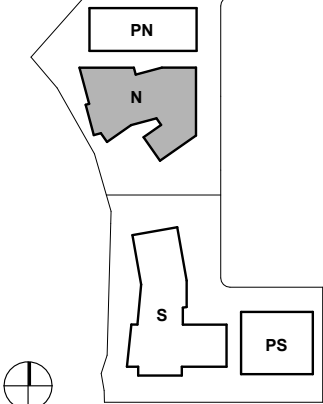
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

SHEET TITLE:

NORTH BUILDING FLOOR PLANS

SHEET NO:

AN-103

10/1/2025 5:53:49 PM



2 SOUTH ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
1/16" = 1'-0"



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL
PANEL



08 METAL LOUVER



07 PERFORATED METAL
SCREEN



06 CURTAINWALL WITH METAL
PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

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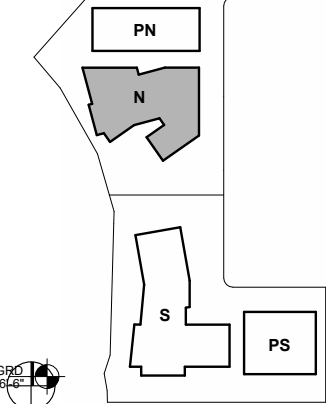
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

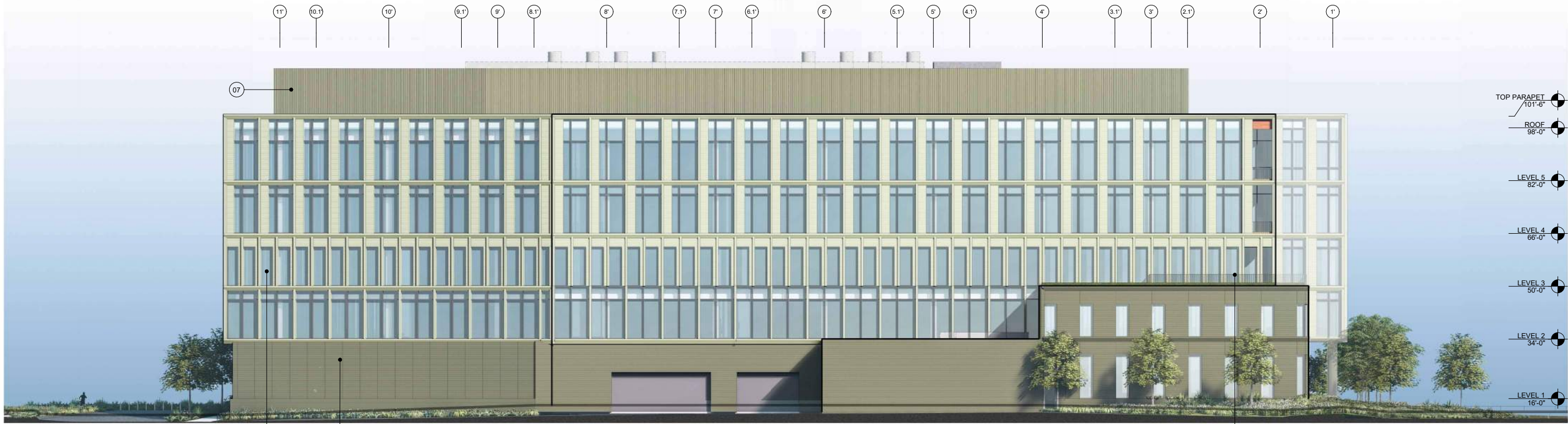
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NORTH BUILDING
ELEVATIONS

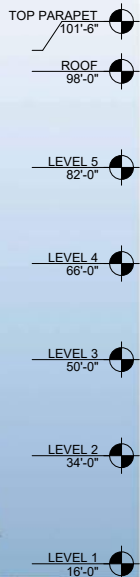
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AN-301

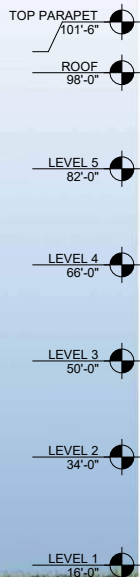
10/1/2025 5:54:01 PM



2 NORTH ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL
PANEL



08 METAL LOUVER



07 PERFORATED METAL
SCREEN



06 CURTAINWALL WITH METAL
PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

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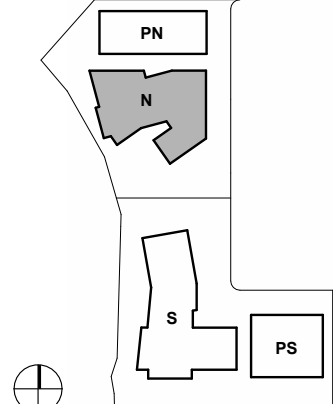
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

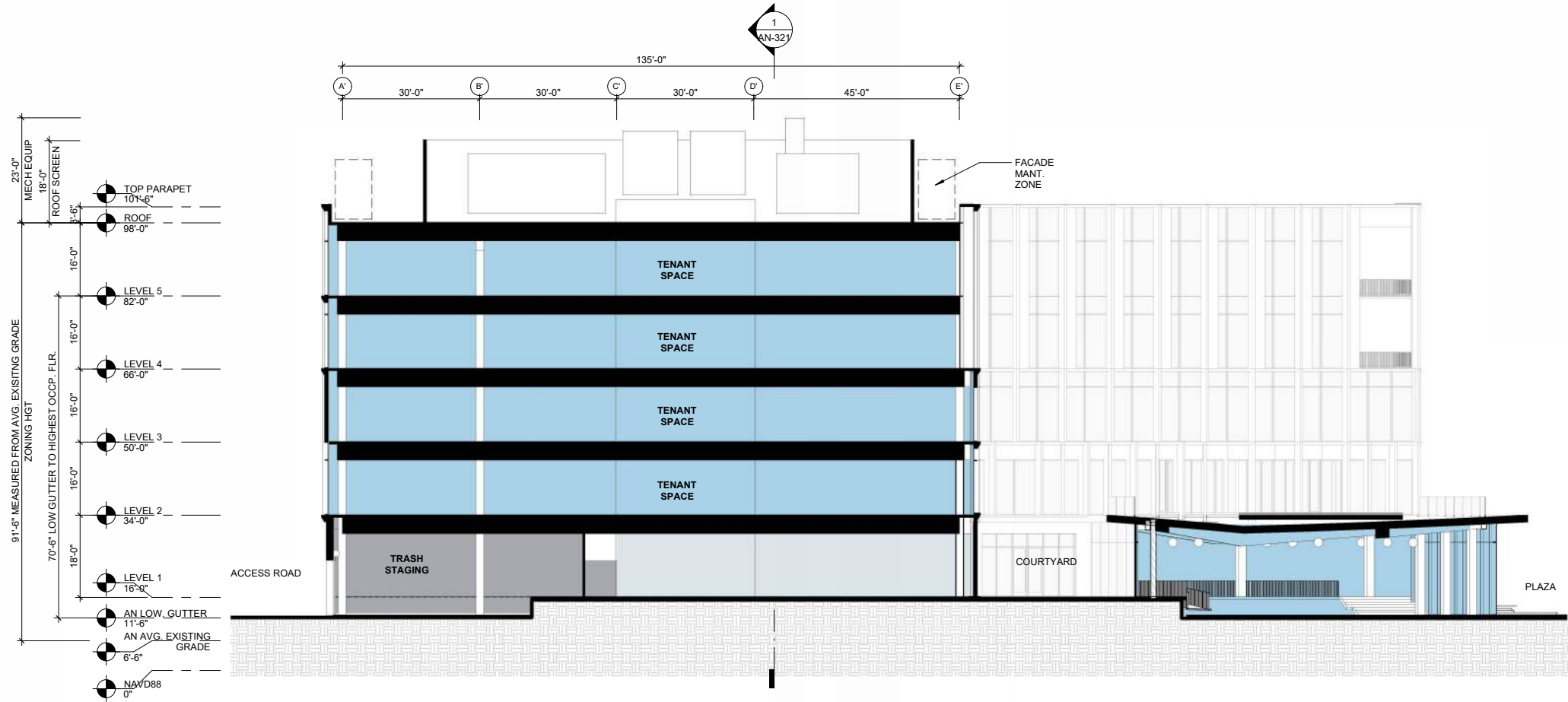
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NORTH BUILDING
ELEVATIONS

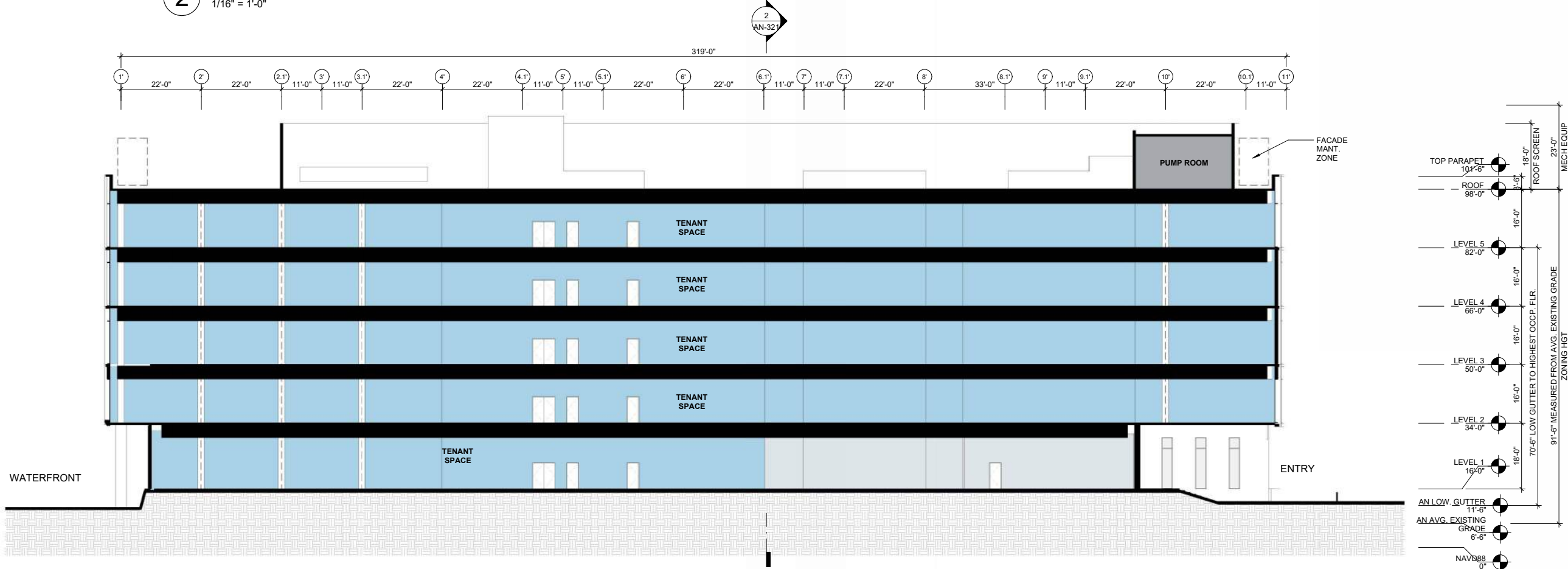
SHEET NO:

AN-302

10/2/2025 9:42:37 AM



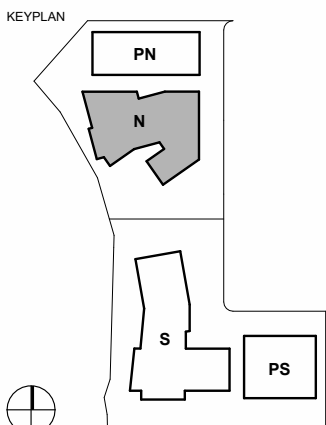
2 330 NORTH BUILDING TRANSVERSE SECTION
1/16" = 1'-0"



1 330 NORTH BUILDING LONGITUDINAL SECTION
1/16" = 1'-0"

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

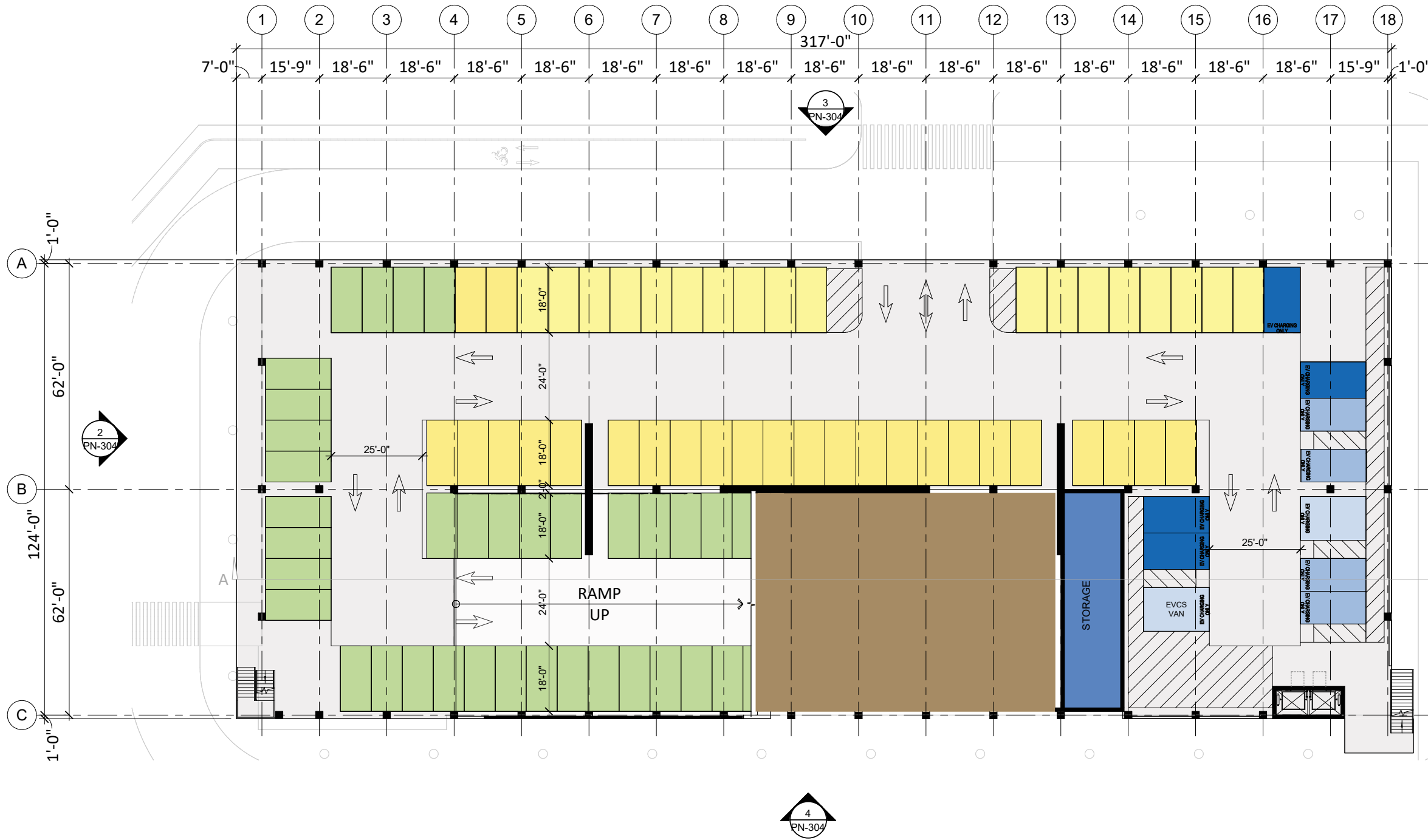
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NORTH BUILDING SECTIONS

SHEET NO:


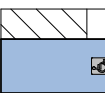
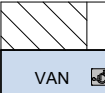
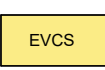
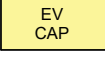
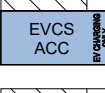
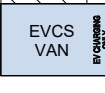
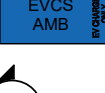
AN-321

9/17/2025 4:06:39 PM



LEVEL	UNISTALL (8'-6"x18'-0")	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	EVCS (8'-6"x18'-0")	EV CAP (8'-6"x18'-0")	EVCS ACCESSIBLE (9'-0"x18'-0")	EVCS VAN ACCESSIBLE (12'-0"x18'-0")	EVCS AMBULATORY (10'-0"x18'-0")	TOTAL
LEVEL 06	119	0	0	0	0	0	0	0	119
LEVEL 05	123	1	0	0	0	0	0	0	124
LEVEL 04	98	2	0	24	0	0	0	0	124
LEVEL 03	98	2	0	24	0	0	0	0	124
LEVEL 02	76	5	2	24	16	0	0	0	123
LEVEL 01	35	0	0	25	18	4	2	4	88
TOTAL	549	10	2	97	34	4	2	4	702

STALL TYPE LEGEND

-  UNISTALL
-  ACCESSIBLE
-  VAN ACCESSIBLE
-  EVCS - DAY ONE
-  EV CAPABLE - FUTURE INSTALL
-  EVSC ACCESSIBLE
-  EVSC VAN ACCESSIBLE
-  EVSC AMBULATORY

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DATE

ENTITLEMENT APPLICATION #1

09/15/2025

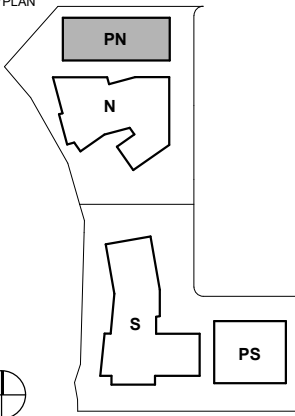
REVISION LIST

DATE

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

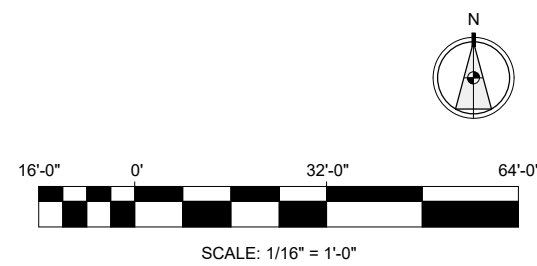
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SHEET TITLE:

PARKING NORTH - LEVEL
01 PARKING PLAN

SHEET NO:

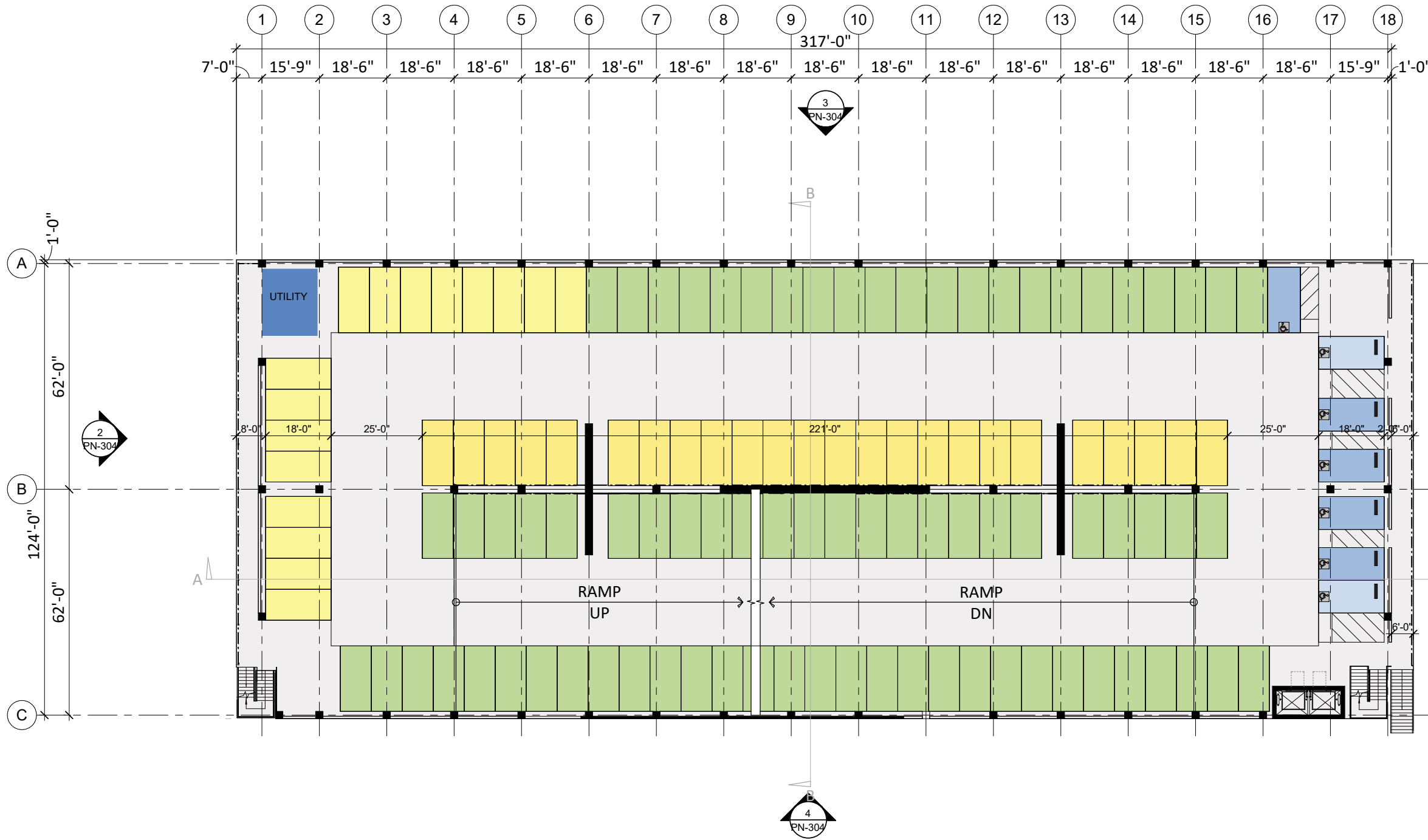
PN-101



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9/17/2025 4:06:40 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVSC ACCESSIBLE
- EVSC VAN ACCESSIBLE
- EVSC AMBULATORY

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ENTITLEMENT APPLICATION #1 _____ 09/15/2025

REVISION LIST _____ DATE _____

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 20-021
DATE: 09/25/2025
SCALE: 1/16" = 1'-0"

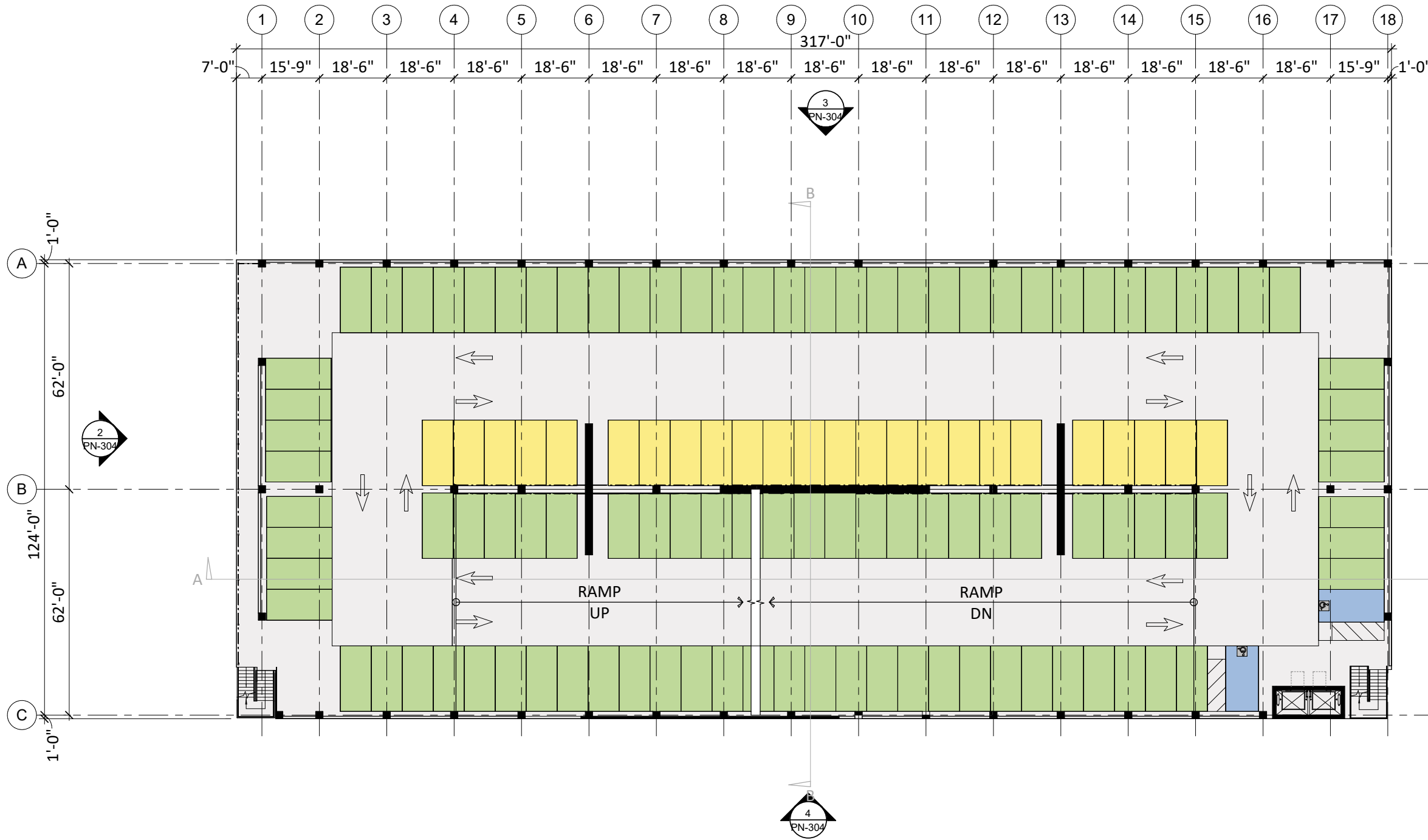
SHEET TITLE:

PARKING NORTH - LEVEL 02 PARKING PLAN

SHEET NO:

PN-102

9/17/2025 4:06:42 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVSC ACCESSIBLE
- EVSC VAN ACCESSIBLE
- EVSC AMBULATORY

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DATE

ENTITLEMENT APPLICATION #1

09/15/2025

REVISION LIST

DATE

505 PENOBSCOT PROJECT
505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

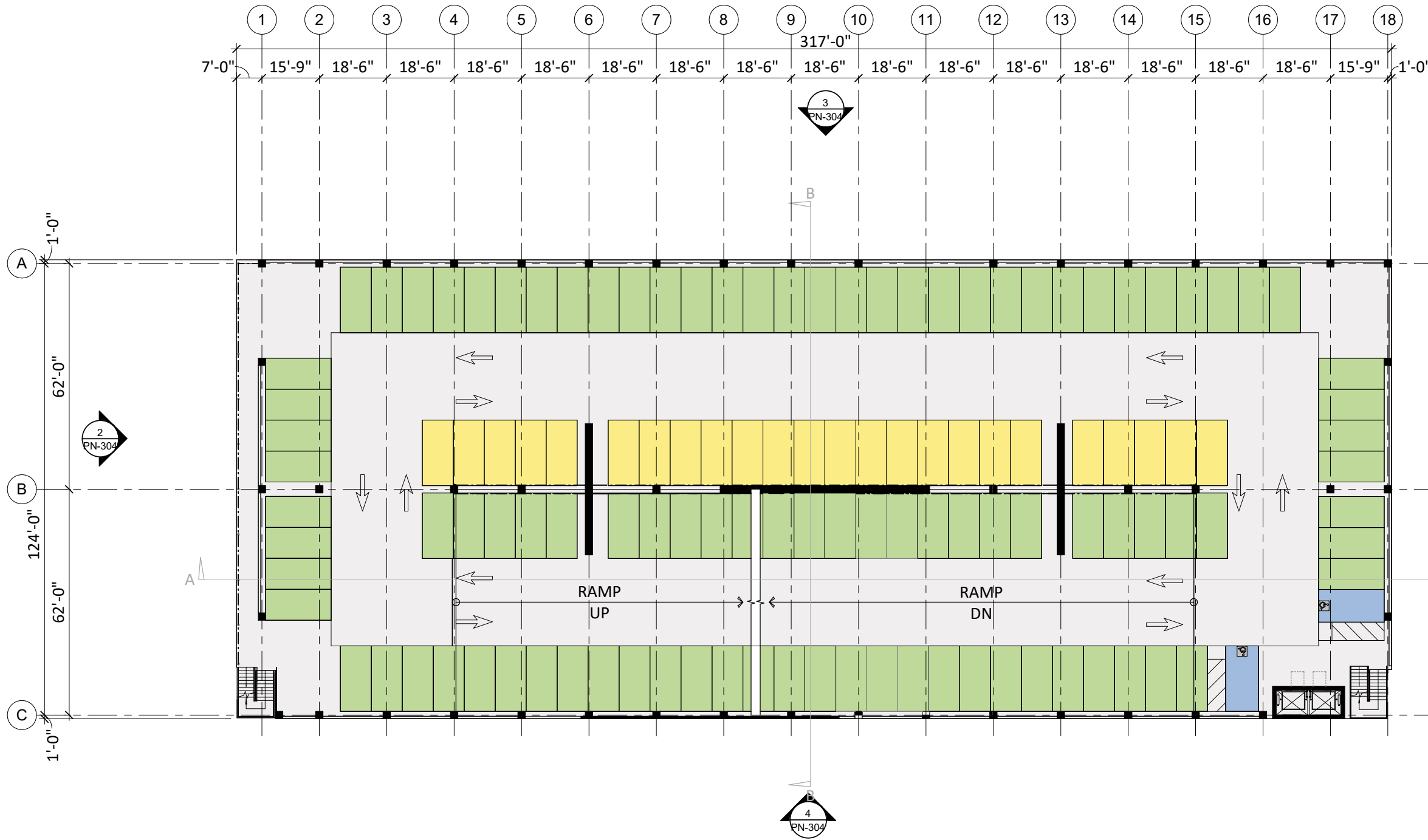
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PARKING NORTH - LEVEL 03 PARKING PLAN




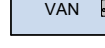
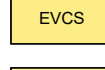
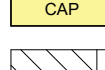
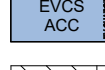

SHEET NO:

PN-103

9/17/2025 4:06:43 PM



STALL TYPE LEGEND

-  UNISTALL
-  ACCESSIBLE
-  VAN ACCESSIBLE
-  EVCS - DAY ONE
-  EV CAPABLE - FUTURE INSTALL
-  EVCS ACCESSIBLE
-  EVCS VAN ACCESSIBLE
-  EVCS AMBULATORY

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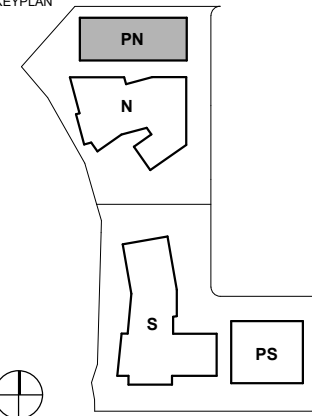
BKF

ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT
505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021
DATE: 09/25/2025
SCALE: 1/16" = 1'-0"


SHEET TITLE:

PARKING NORTH - LEVEL 04 PARKING PLAN

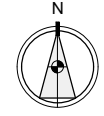
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PN-104

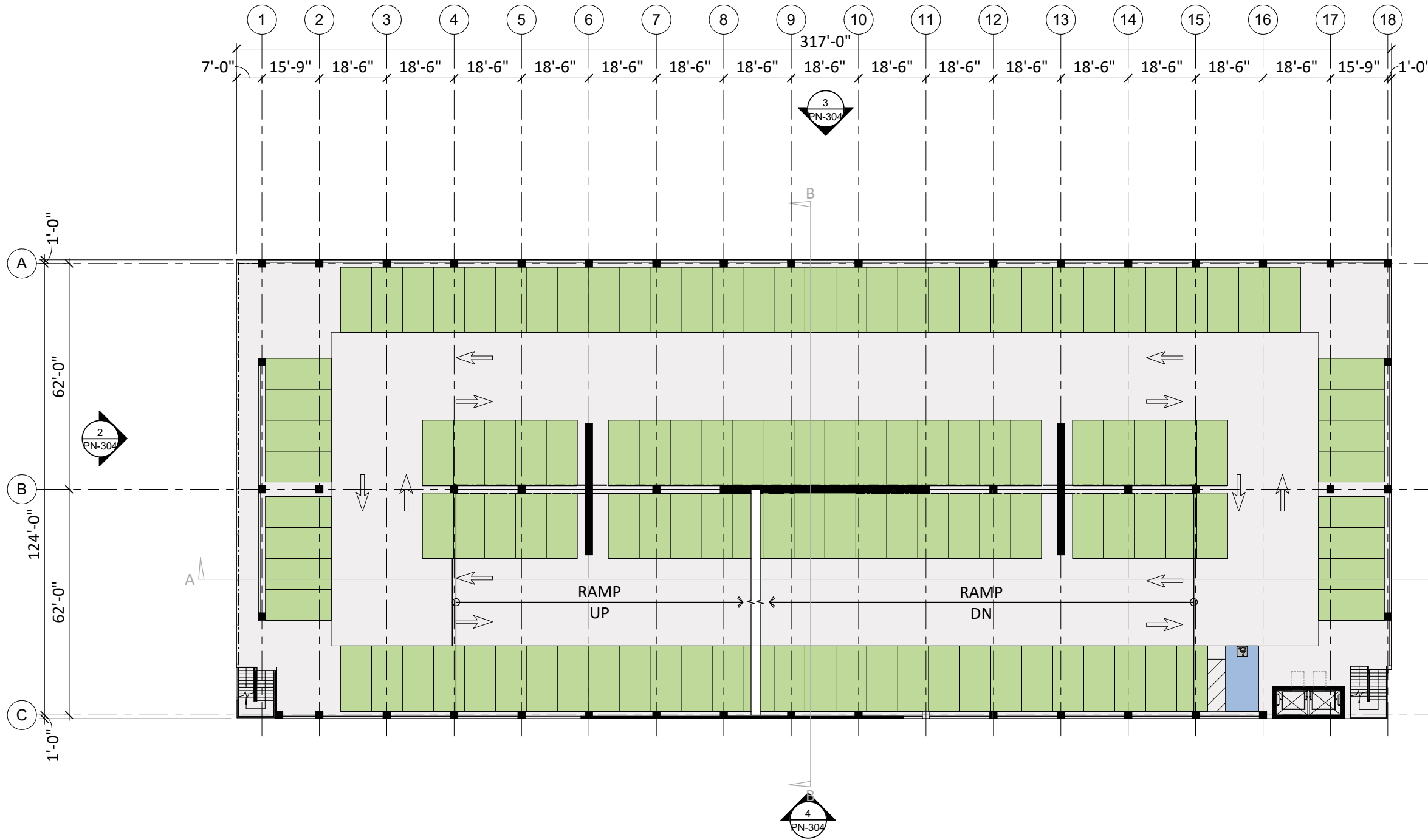
16'-0" 0' 32'-0" 64'-0"



SCALE: 1/16" = 1'-0"



9/17/2025 4:06:44 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVSC ACCESSIBLE
- EVSC VAN ACCESSIBLE
- EVSC AMBULATORY

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ISSUES

DATE

ENTITLEMENT APPLICATION #1

09/15/2025

REVISION LIST

DATE

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

SHEET TITLE:

PARKING NORTH - LEVEL
05 PARKING PLAN

SHEET NO:

PN-105

Scale bar: 16'-0" 0' 32'-0" 64'-0"

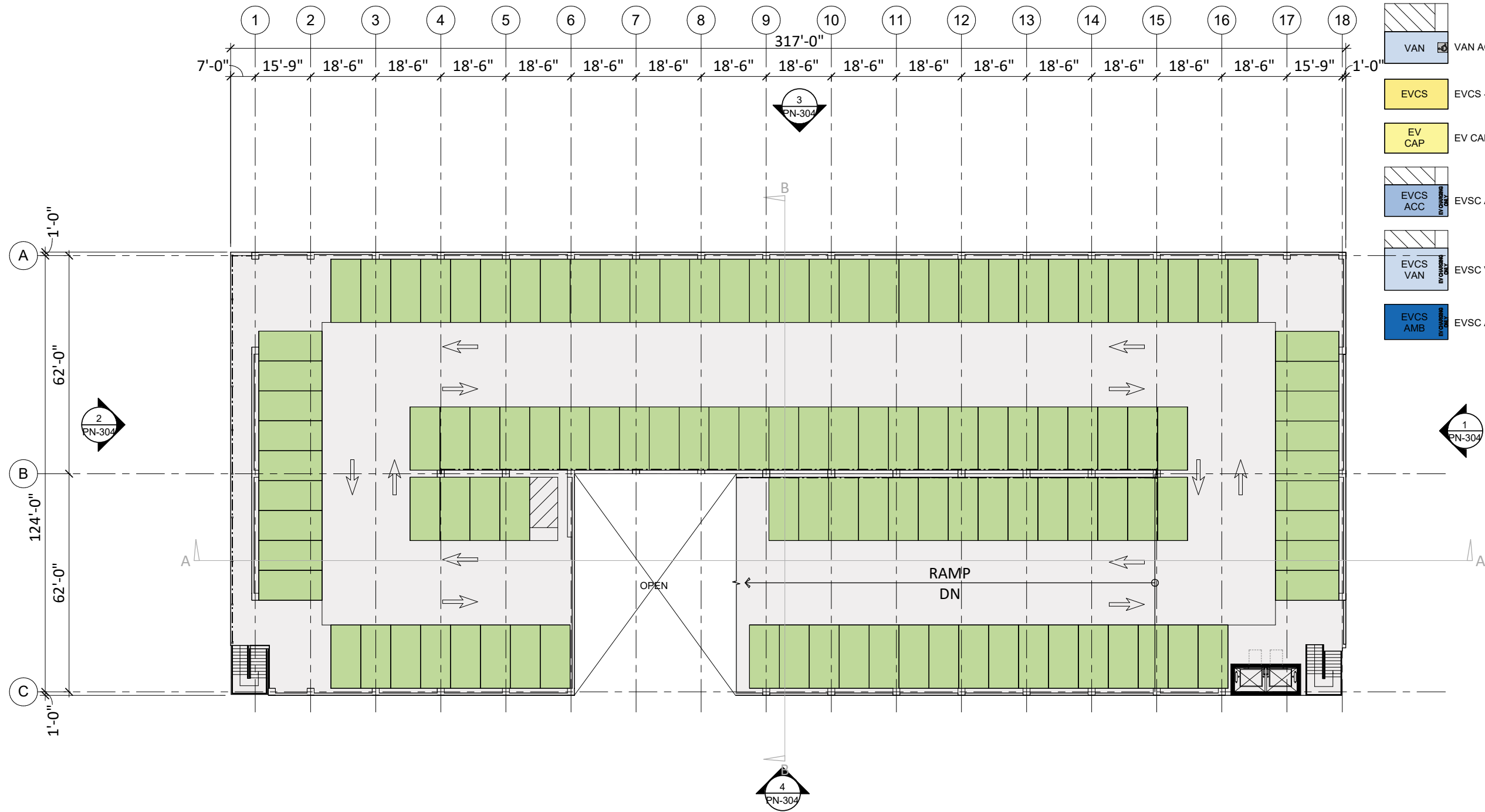
SCALE: 1/16" = 1'-0"

North arrow pointing up.

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9/17/2025 4:06:45 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVSC ACCESSIBLE
- EVSC VAN ACCESSIBLE
- EVSC AMBULATORY

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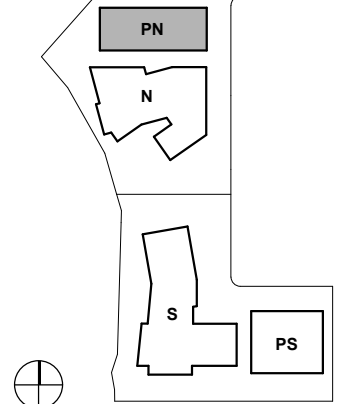
ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

SHEET TITLE:

PARKING NORTH - LEVEL
06 PARKING PLAN

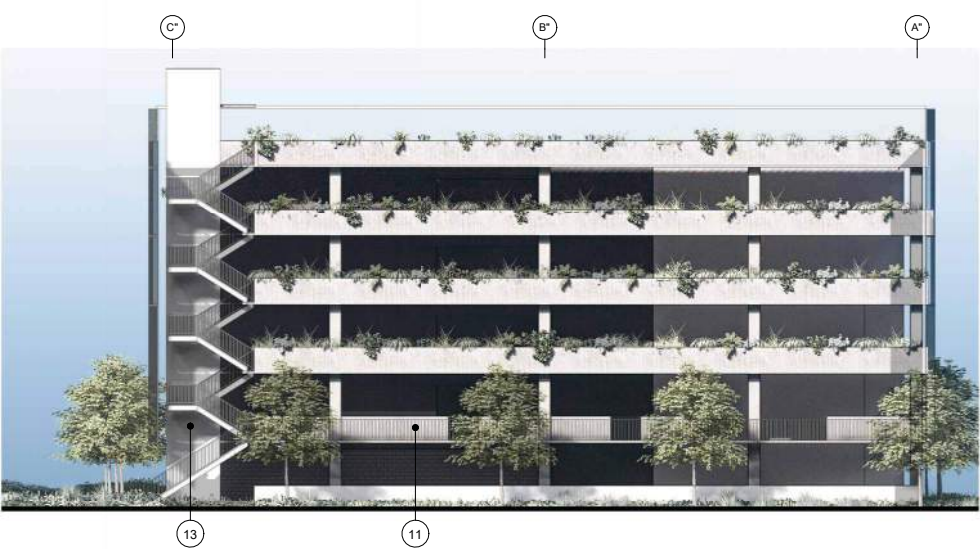
SHEET NO:

PN-106

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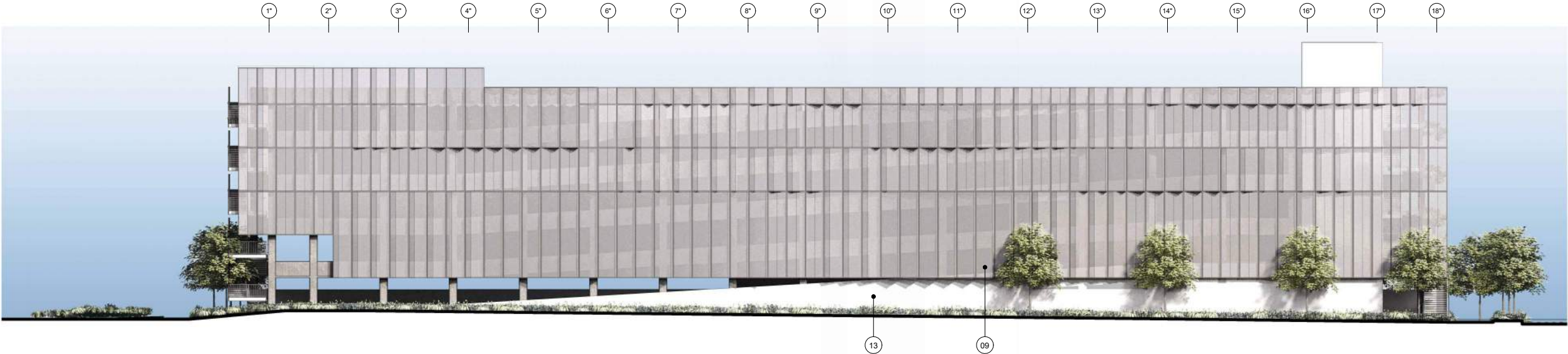


2 PARKING NORTH - EXTERIOR ELEVATION - WEST
1/16" = 1'-0"

1 PARKING NORTH - EXTERIOR ELEVATION - EAST
1/16" = 1'-0"



3 PARKING NORTH - EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"



4 PARKING NORTH - EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL
PANEL



08 METAL LOUVER



07 PERFORATED METAL
SCREEN



06 CURTAINWALL WITH METAL
PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

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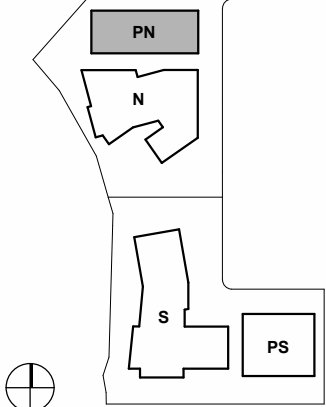
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

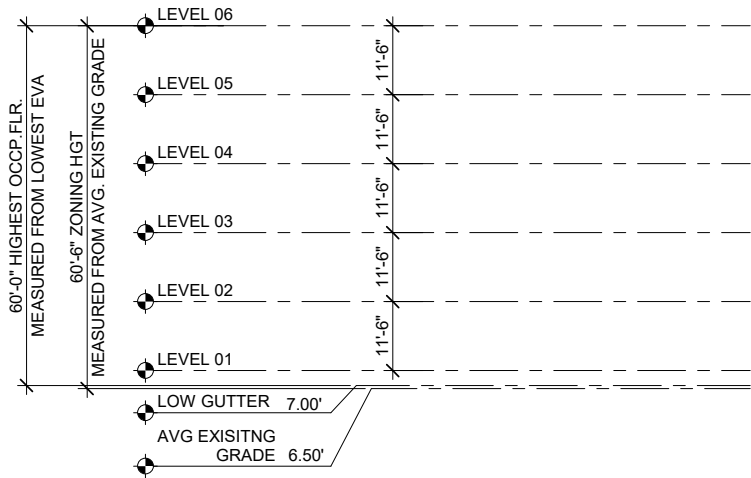
SHEET TITLE:

**NORTH PARKING -
EXTERIOR ELEVATION**

SHEET NO:

PN-304

10/1/2025 4:34:07 PM



T.O.C.
9.50'

A LONGITUDINAL SECTION

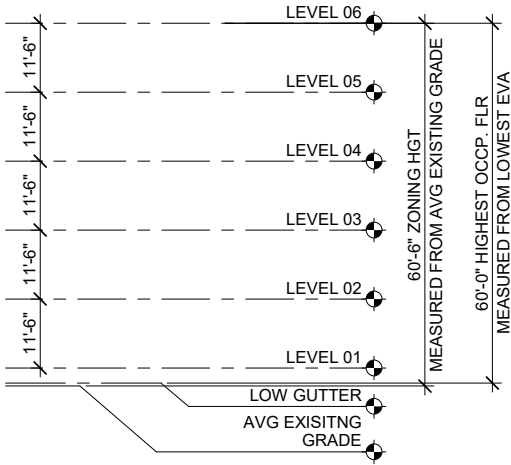
RAMP

RAMP

RAMP

RAMP

RAMP

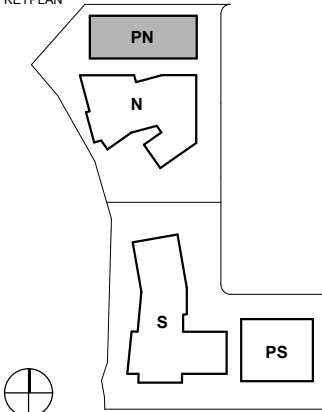


B TRANSVERSE SECTION

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

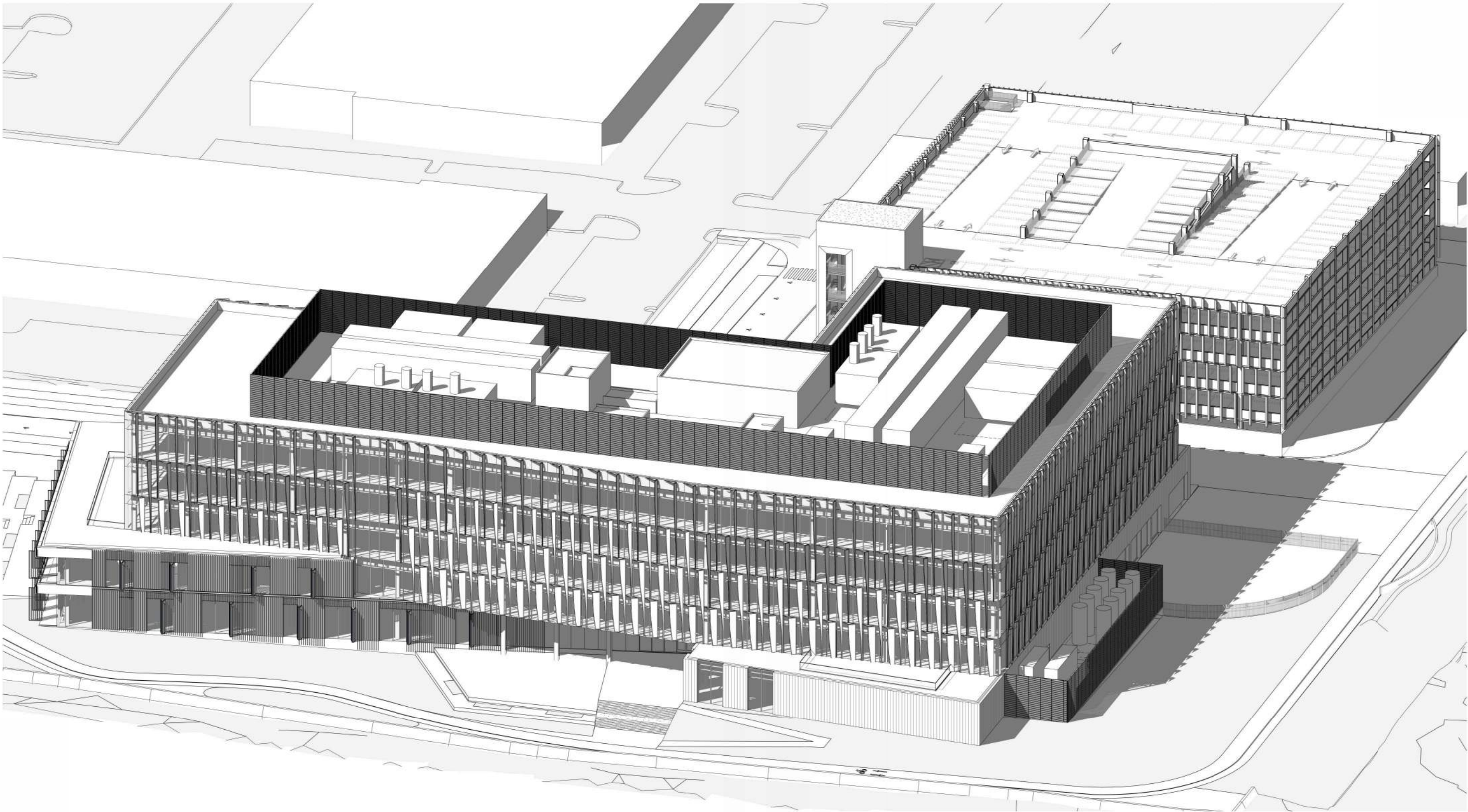
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SHEET TITLE:

PARKING NORTH -
BUILDING SECTION

SHEET NO:

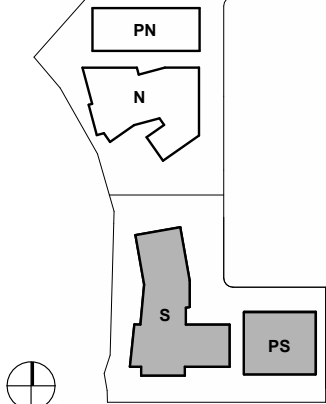
PN-330



505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE:

SHEET TITLE:

SOUTH BUILDINGS AXON

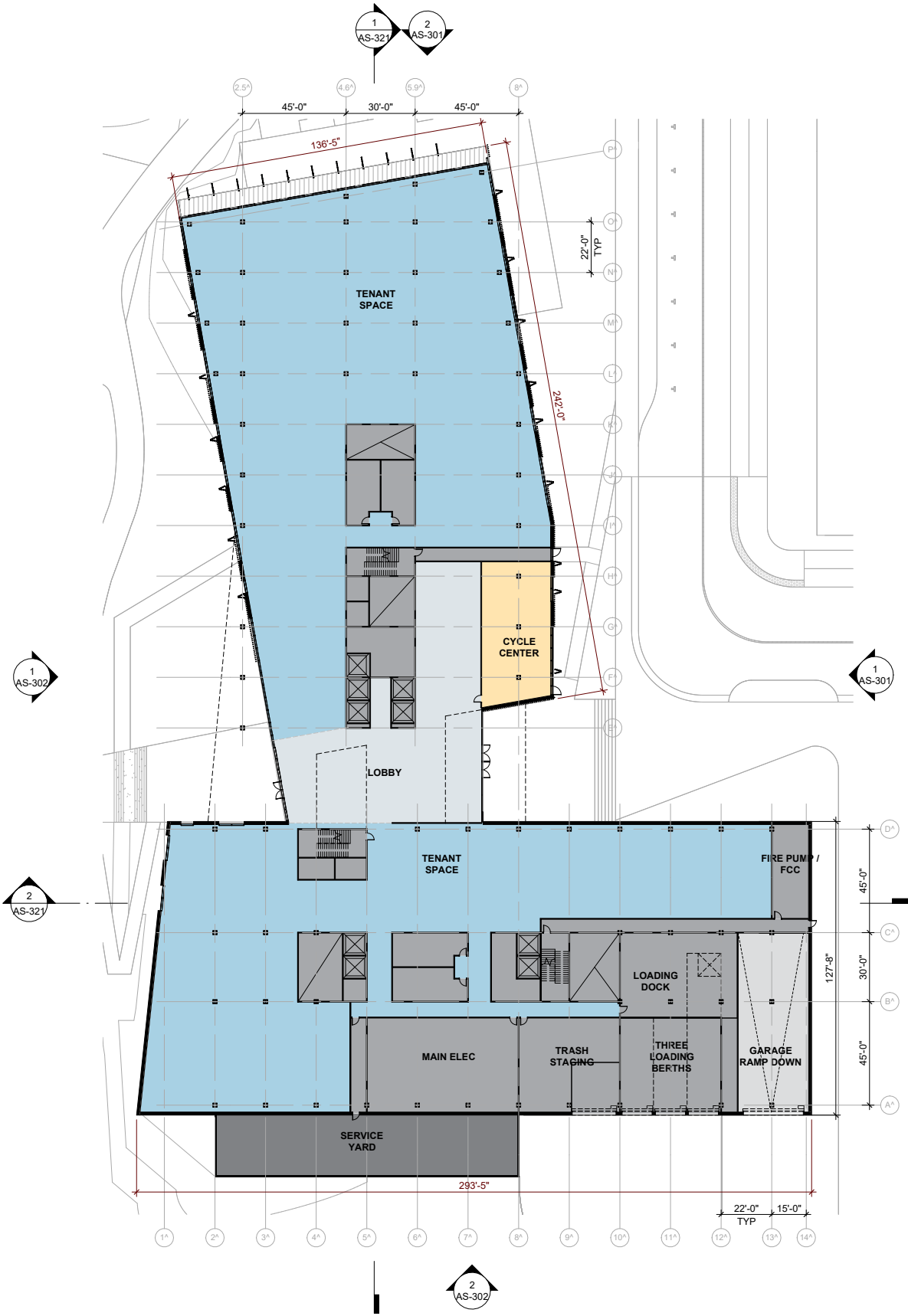
SHEET NO:

AS-100

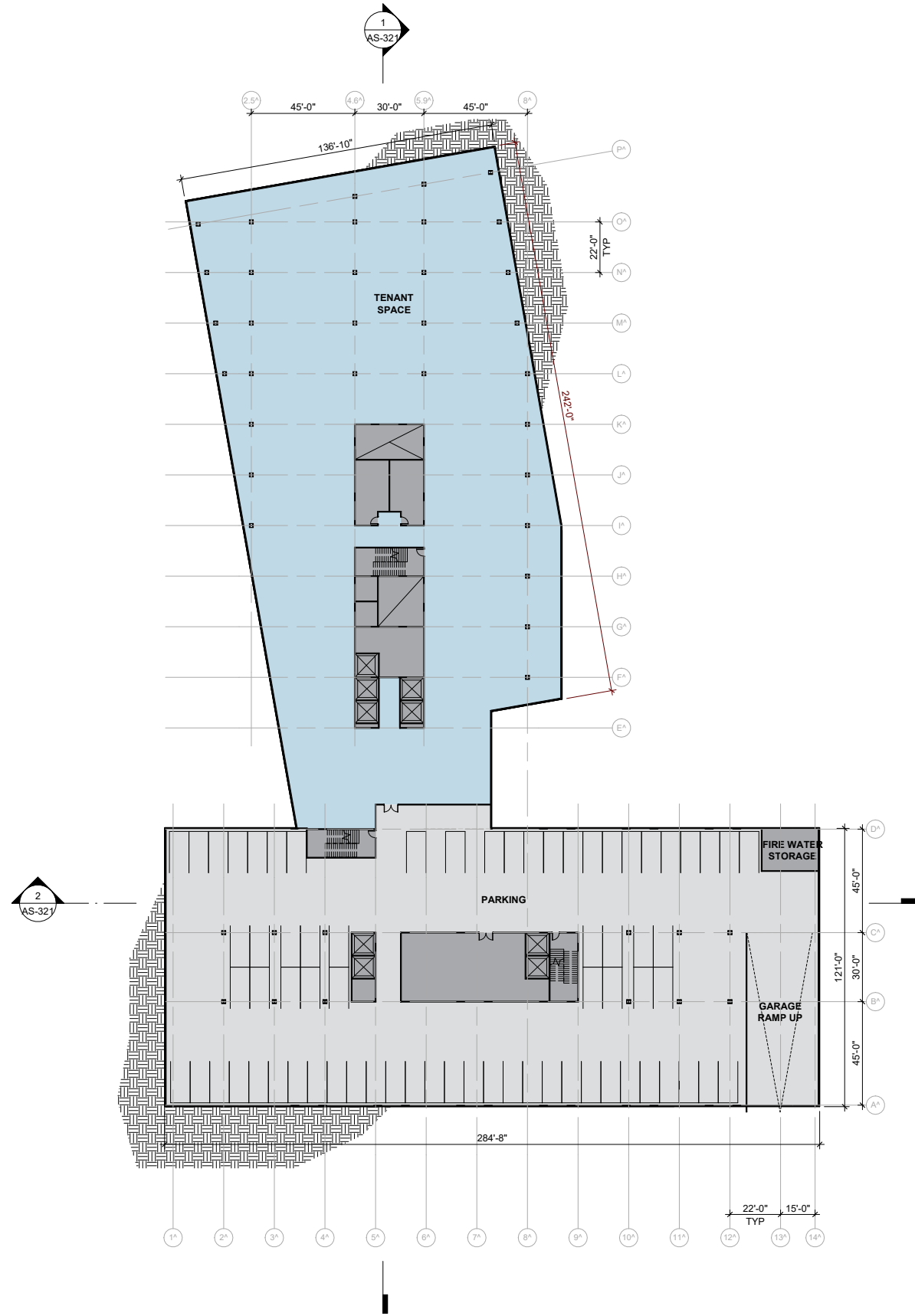
1 SOUTH BUILDINGS AXONMETERIC

10/6/2025 1:08:20 PM

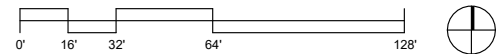
10/2/2025 2:06:40 PM



2 SOUTH BLD - LEVEL 1
1/32" = 1'-0"



1 SOUTH BLD - LEVEL B1
1/32" = 1'-0"



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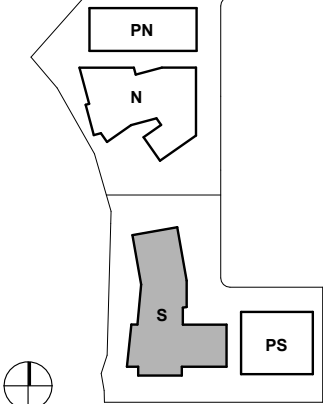
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

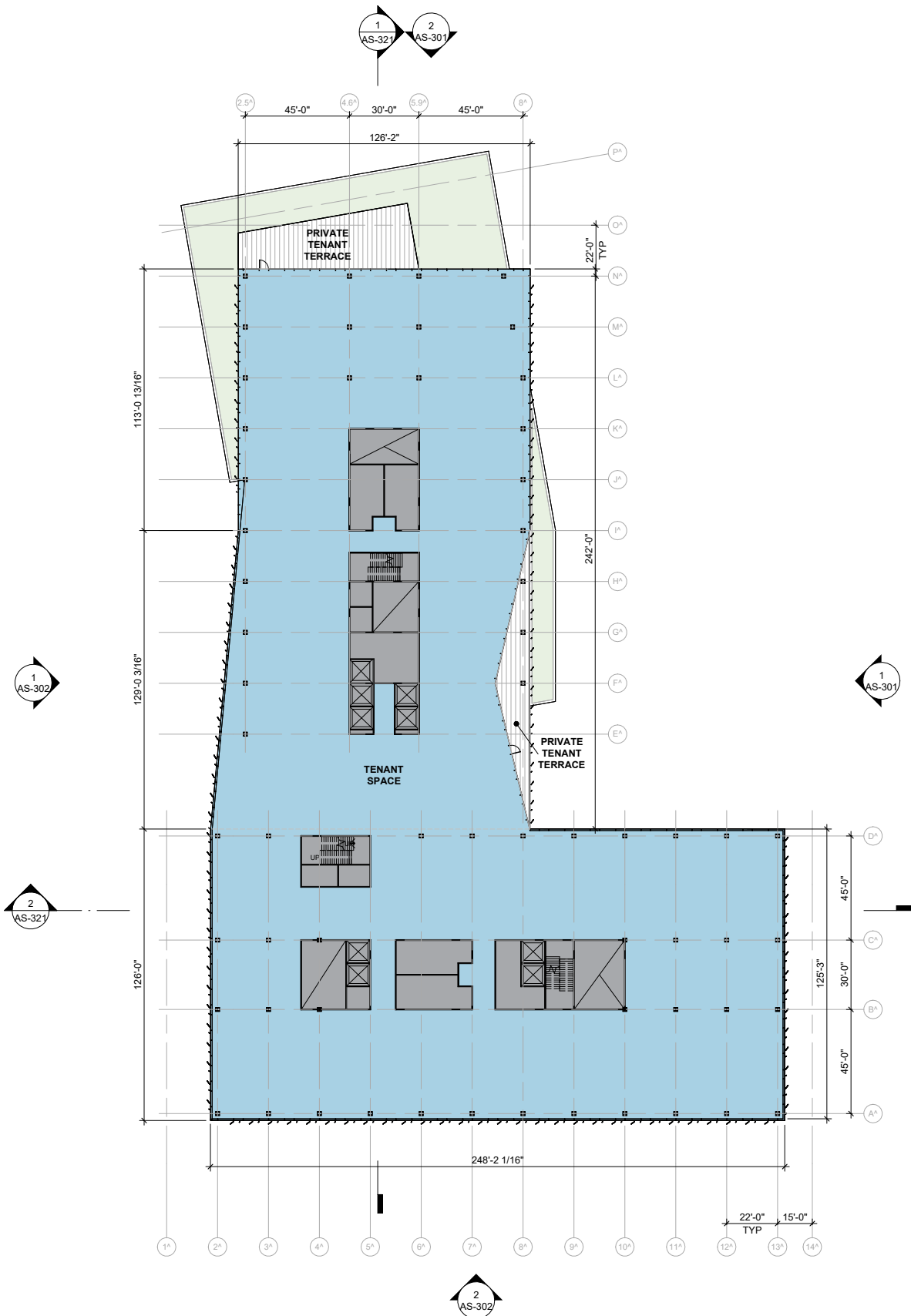
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SOUTH BUILDING FLOOR PLANS

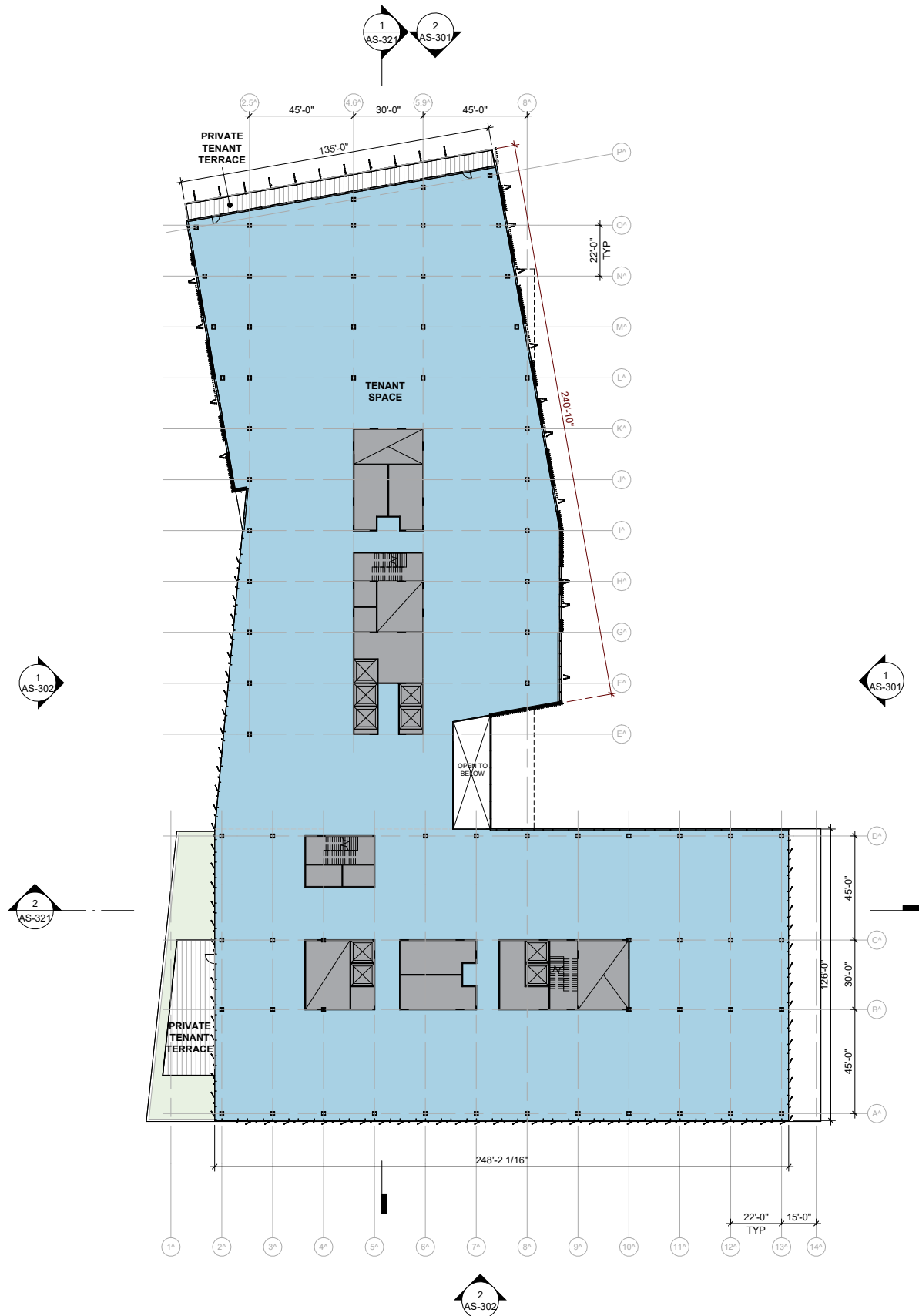
SHEET NO:

AS-101

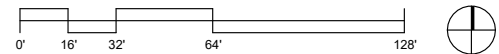
10/2/2025 2:06:41 PM



2 SOUTH BLD - LEVEL 3
1/32" = 1'-0"



1 SOUTH BLD - LEVEL 2
1/32" = 1'-0"



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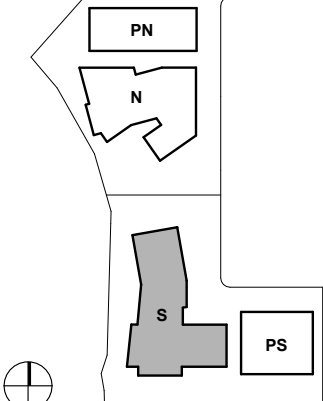
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

SHEET TITLE:

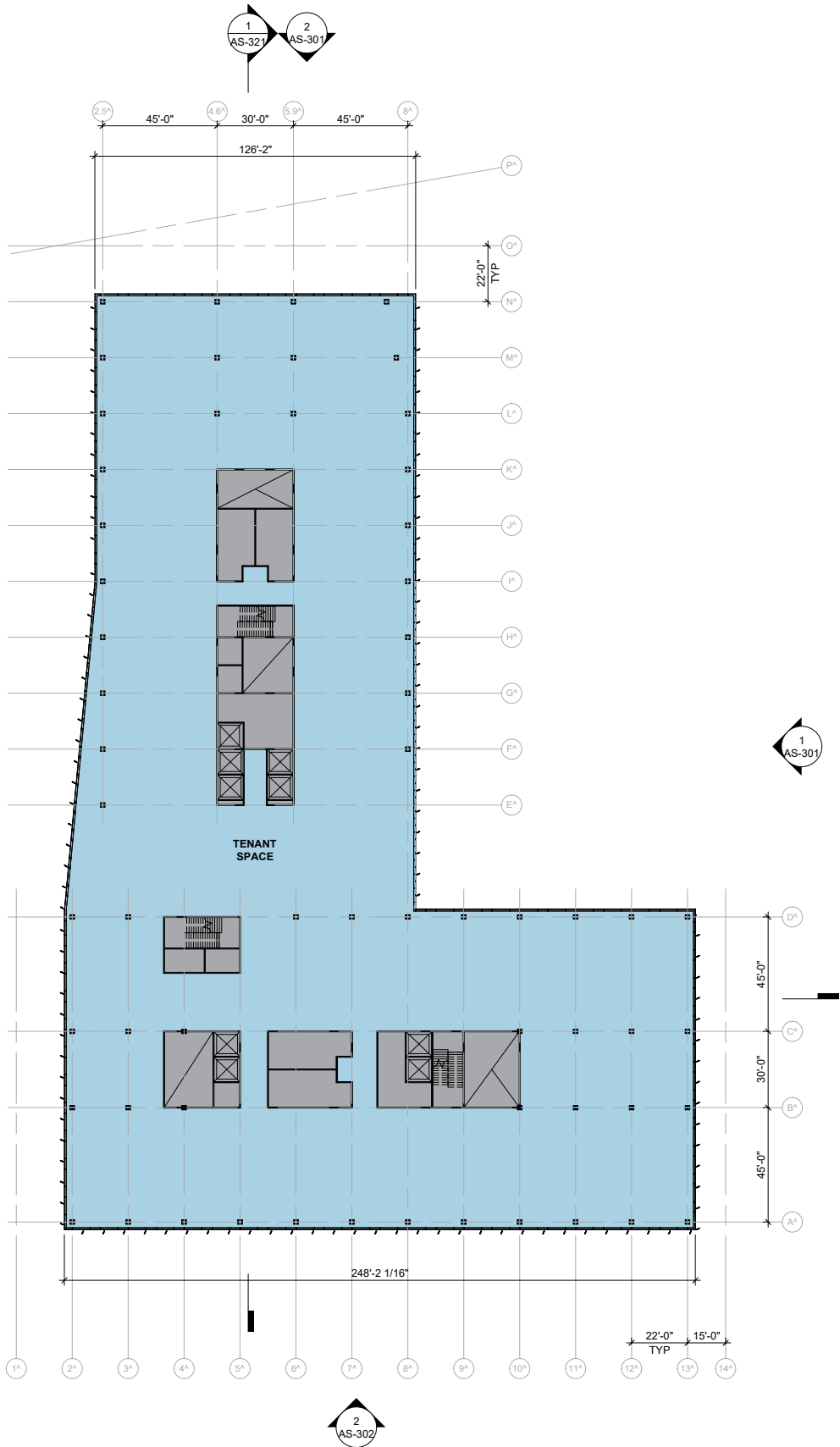
SOUTH BUILDING FLOOR PLANS

SHEET NO:

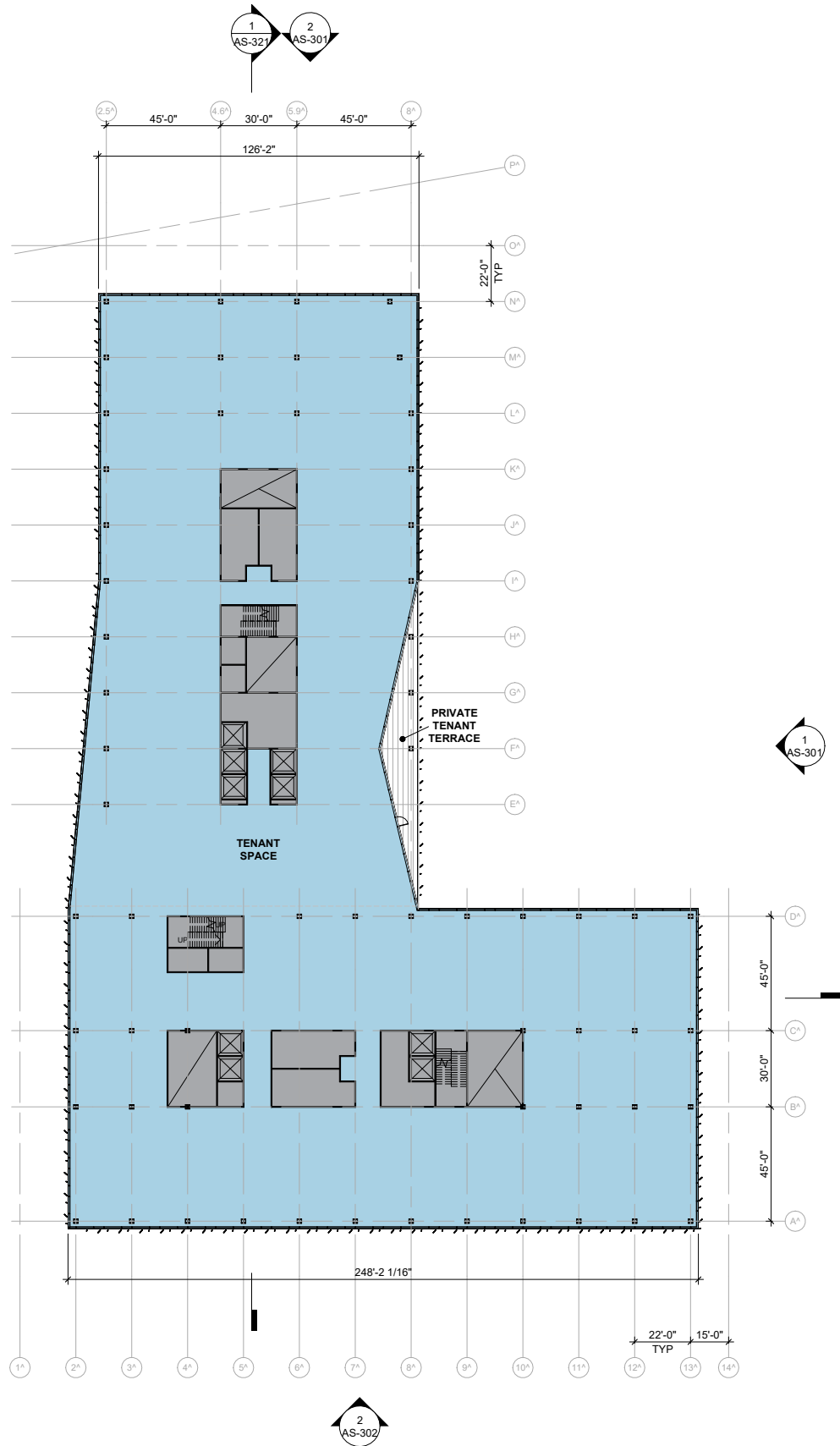
AS-102

10/2/2025 2:06:43 PM

2 SOUTH BLD - LEVEL 5
1/32" = 1'-0"



1 SOUTH BLD - LEVEL 4
1/32" = 1'-0"



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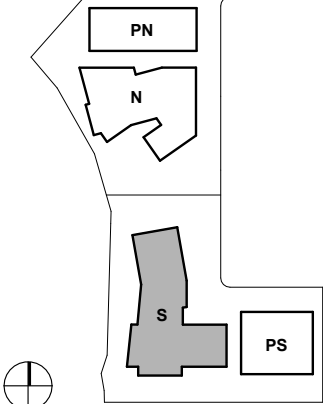
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

SHEET TITLE:

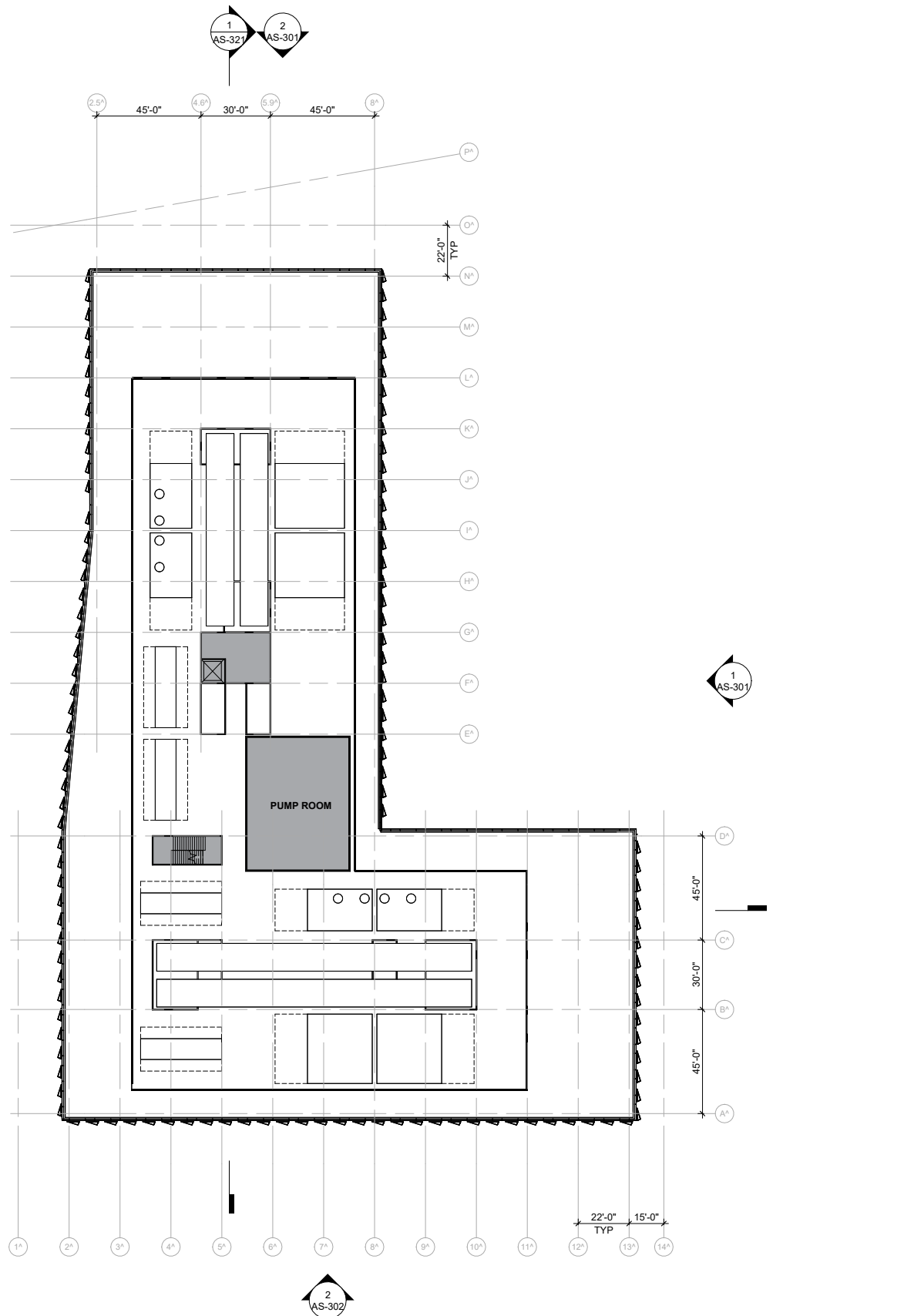
SOUTH BUILDING FLOOR PLANS

SHEET NO:

AS-103

10/2/2025 2:06:44 PM

1 SOUTH BLD - ROOF
1/32" = 1'-0"



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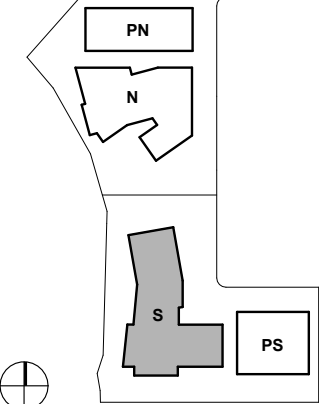
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/32" = 1'-0"

SHEET TITLE:

SOUTH BUILDING FLOOR
PLANS

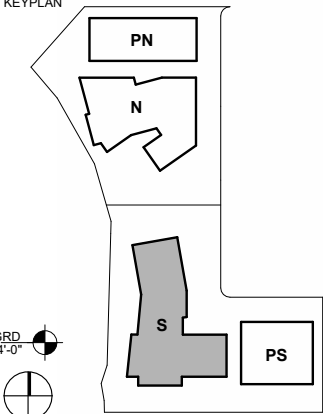
SHEET NO:

AS-104

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

SHEET TITLE:

SOUTH BUILDING
ELEVATIONS

SHEET NO:

AS-301



2 NORTH ELEVATION
1/16" = 1'-0"



1 EAST ELEVATION
1/16" = 1'-0"



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL
PANEL



08 METAL LOUVER



07 PERFORATED METAL
SCREEN



06 CURTAINWALL WITH METAL
PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

10/1/2025 5:55:37 PM



2 SOUTH ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL PANEL



08 METAL LOUVER



07 PERFORATED METAL SCREEN



06 CURTAINWALL WITH METAL PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

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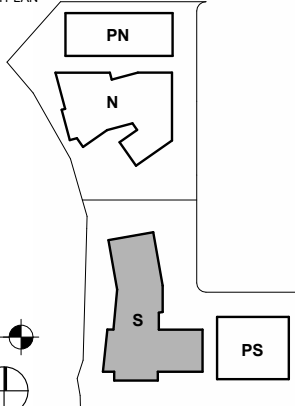
ISSUES	DATE
ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

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KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

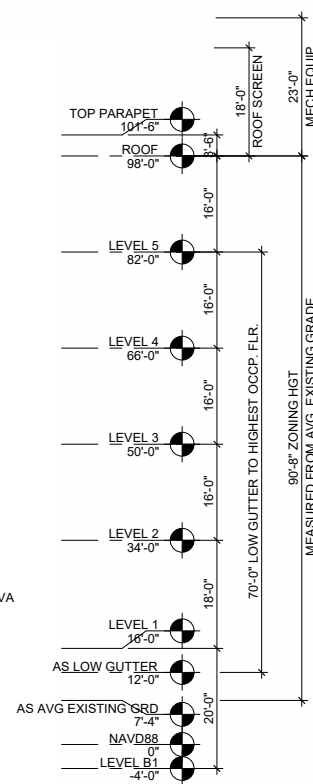
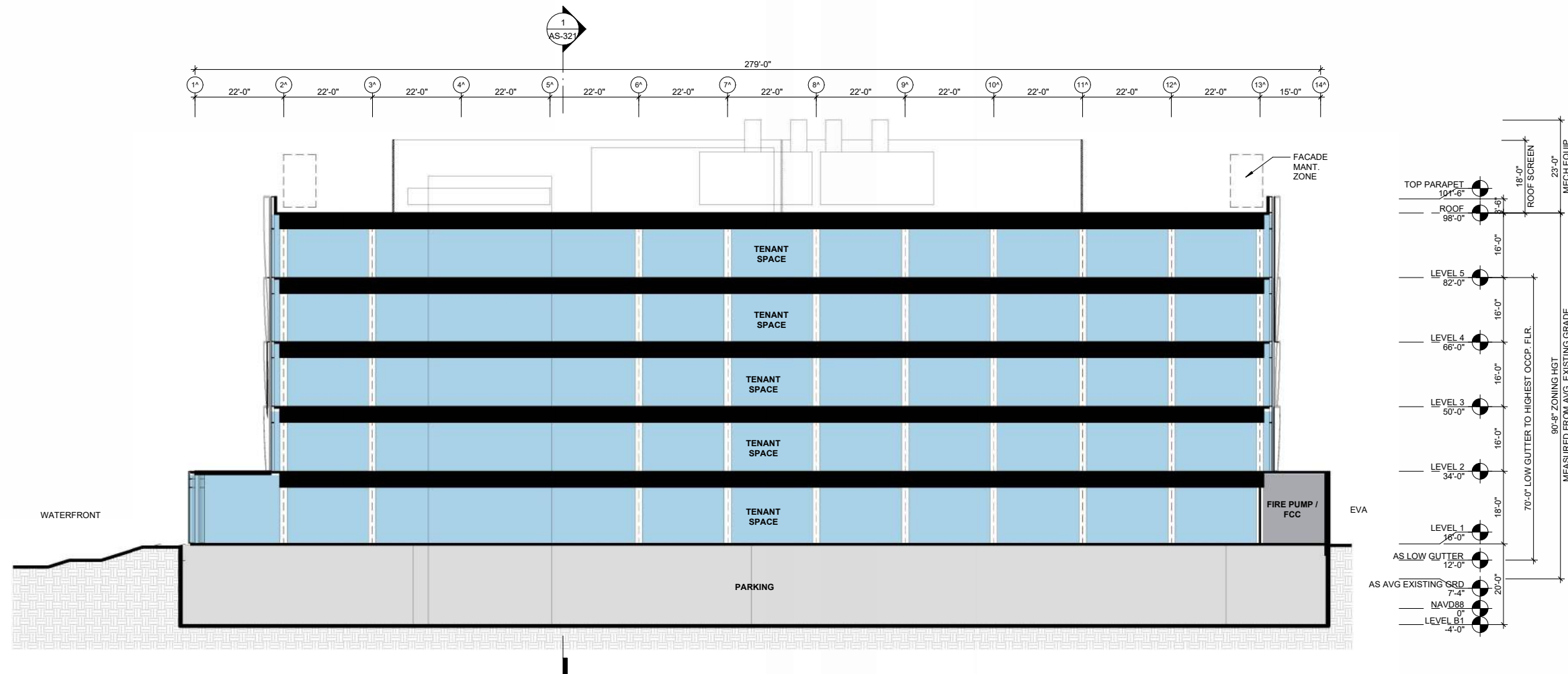
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SOUTH BUILDING ELEVATIONS

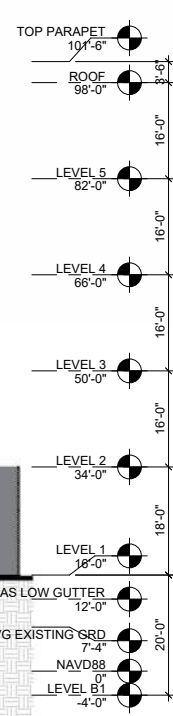
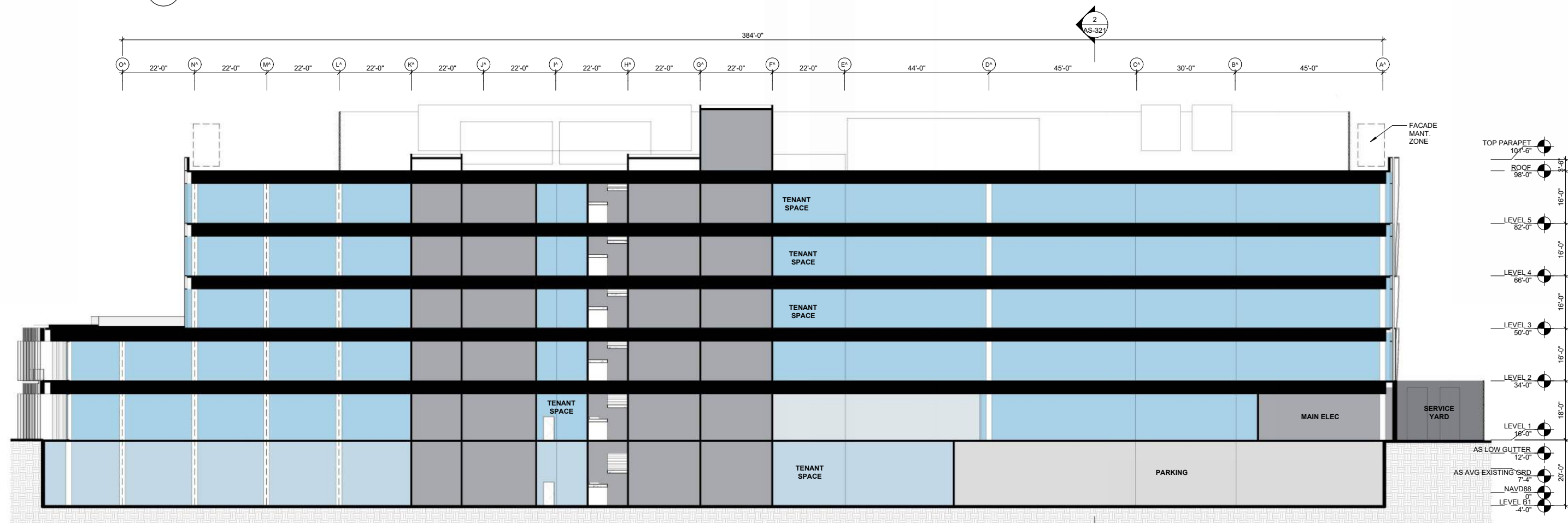
SHEET NO:

AS-302

10/2/2025 9:43:05 AM



2 SOUTH BUILDING TRANSVERSE SECTION
1/16" = 1'-0"



1 SOUTH BUILDING LONGITUDINAL SECTION
1/16" = 1'-0"

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ENTITLEMENT APPLICATION	09/25/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

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KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

SHEET TITLE:

SOUTH BUILDING SECTIONS

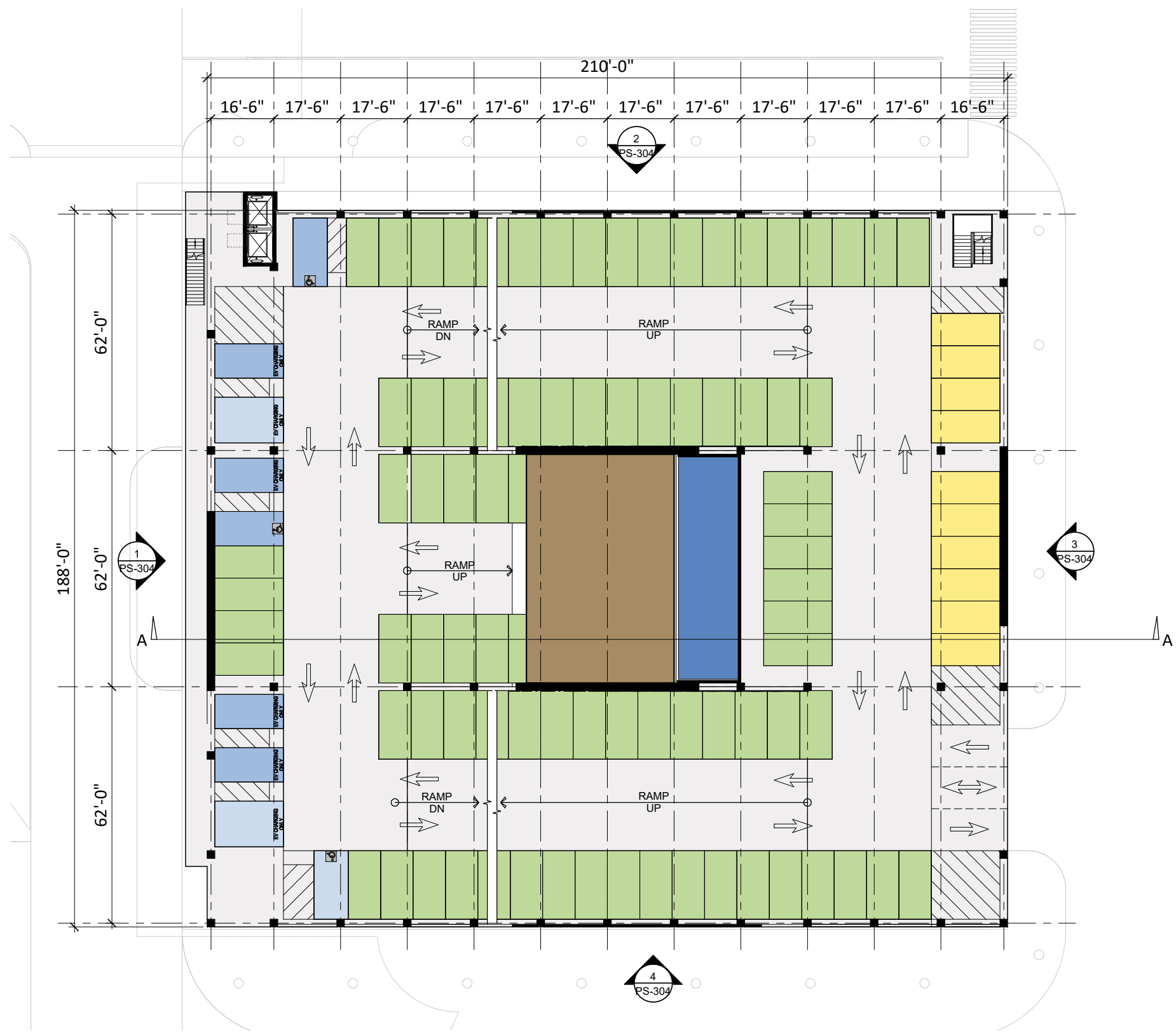
SHEET NO:

AS-321

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If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch _____

9/17/2025 4:08:16 PM



LEVEL	UNISTALL (8'-6"x18'-0")	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	EVCS (8'-6"x18'-0")	EV CAP (8'-6"x18'-0")	EVCS ACCESSIBLE (9'-0"x18'-0")	EVCS VAN ACCESSIBLE (12'-0"x18'-0")	EVCS AMBULATORY (10'-0"x18'-0")	TOTAL
LEVEL 06	109	1	1	0	30	0	0	0	141
LEVEL 05	94	2	0	26	0	0	0	0	122
LEVEL 04	97	2	0	19	4	0	0	0	122
LEVEL 03	90	2	0	30	0	0	0	0	122
LEVEL 02	91	1	1	24	0	0	0	4	121
LEVEL 01	80	2	1	10	0	4	2	0	99
TOTAL	561	10	3	109	34	4	2	4	727

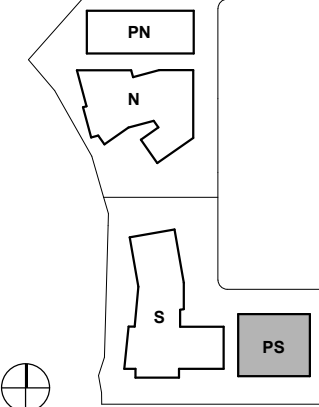
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- UNISTALL
- ACCESSIBLE
- VAN VAN ACCESSIBLE
- EVCS EVCS - DAY ONE
- EV CAP EV CAPABLE - FUTURE INSTALL
- EVCS ACC EVCS ACCESSIBLE
- EVCS VAN EVCS VAN ACCESSIBLE
- EVCS AMB EVCS AMBULATORY

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

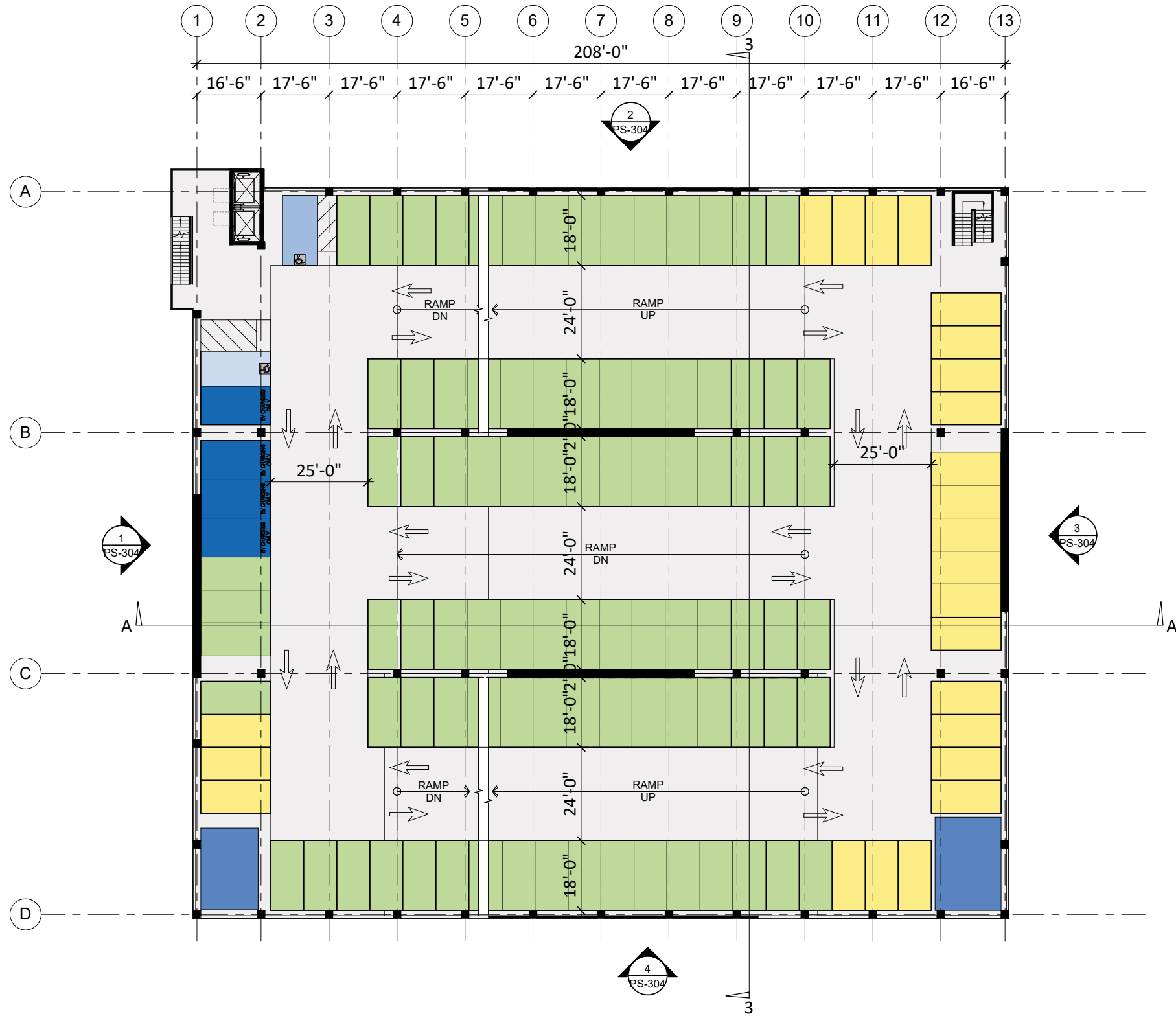
SHEET TITLE:

PARKING SOUTH - LEVEL
01 PARKING PLAN

SHEET NO:

PS-101

9/17/2025 4:08:17 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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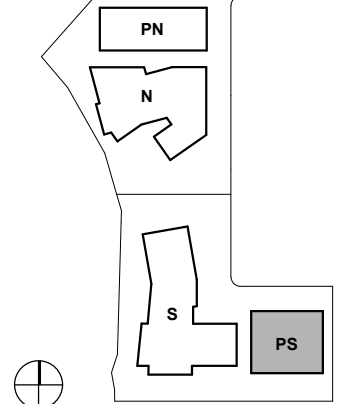
ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

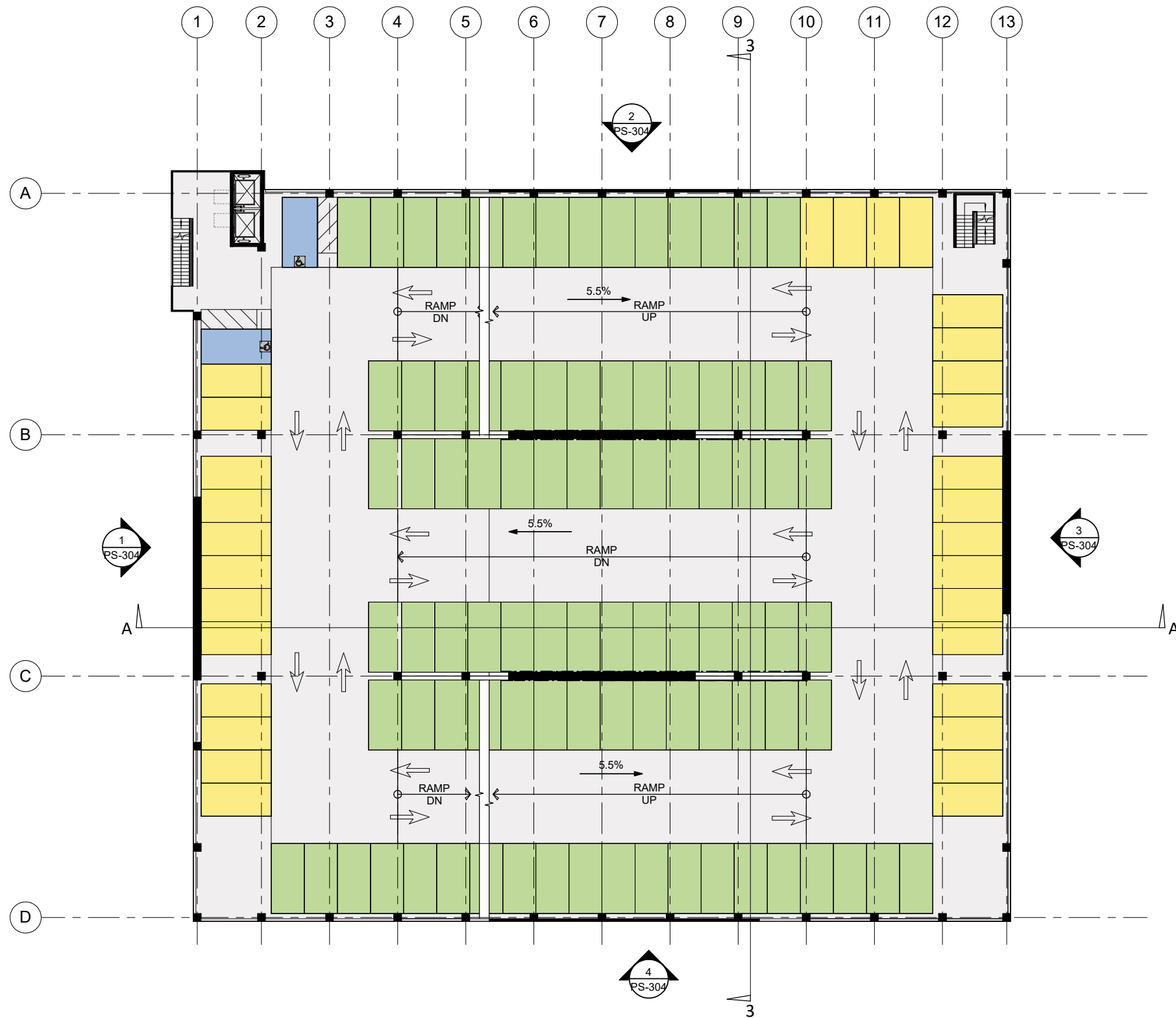
SHEET TITLE:

PARKING SOUTH - LEVEL
02 PARKING PLAN

SHEET NO:

PS-102

9/17/2025 4:08:19 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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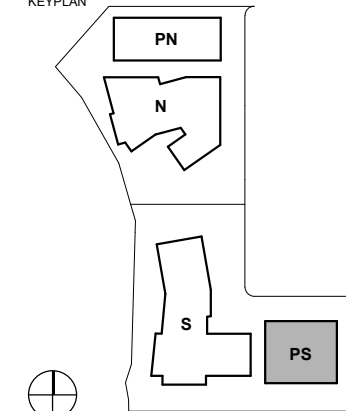
ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

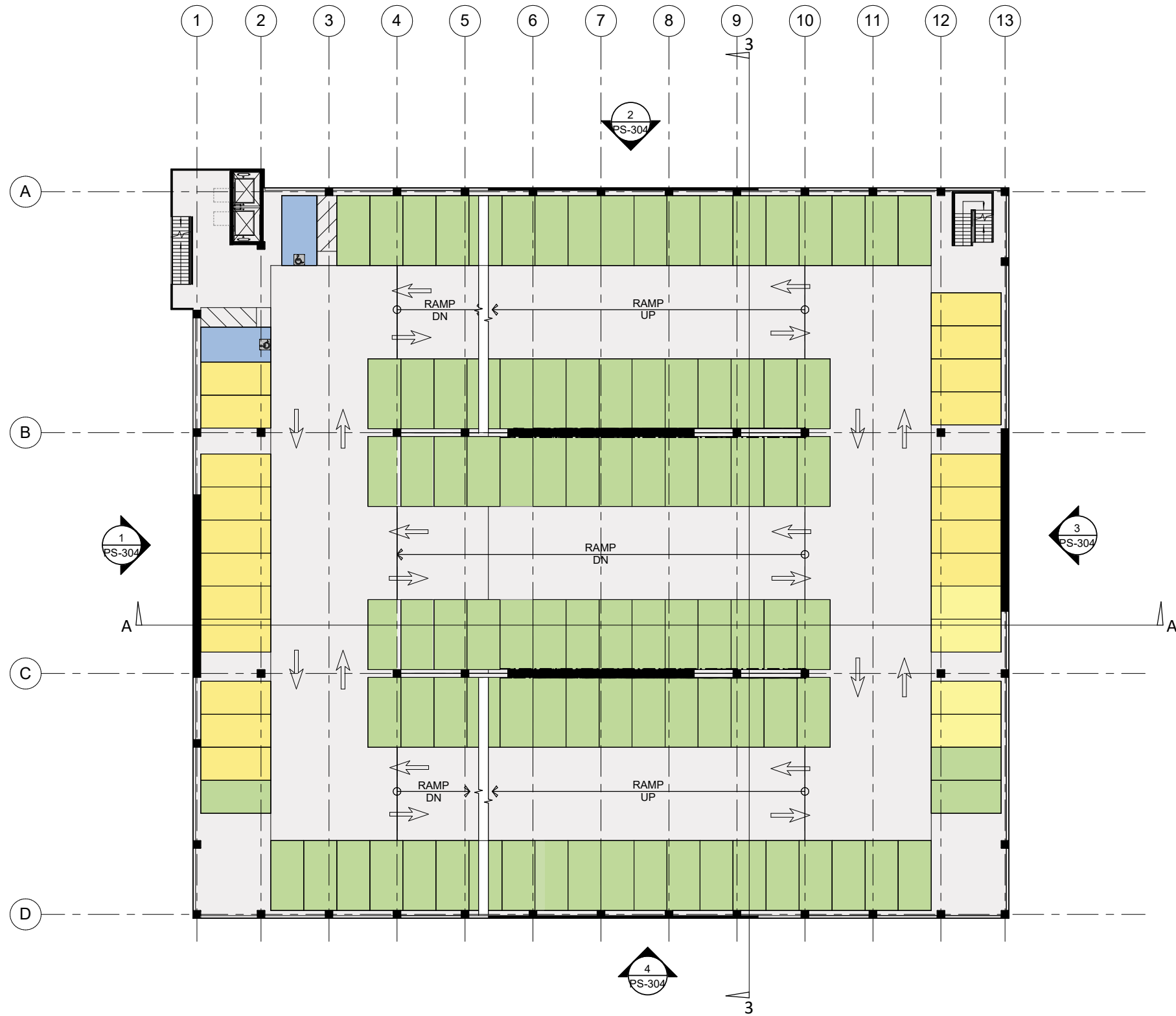
SHEET TITLE:

PARKING SOUTH - LEVEL
03 PARKING PLAN

SHEET NO:

PS-103

9/17/2025 4:08:20 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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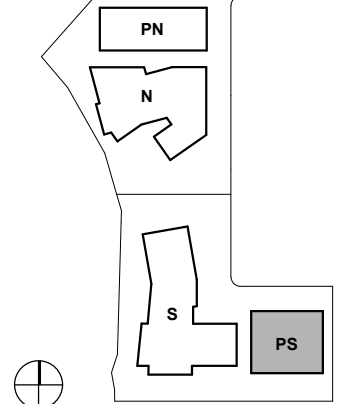
ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

REVISION LIST	DATE
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505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

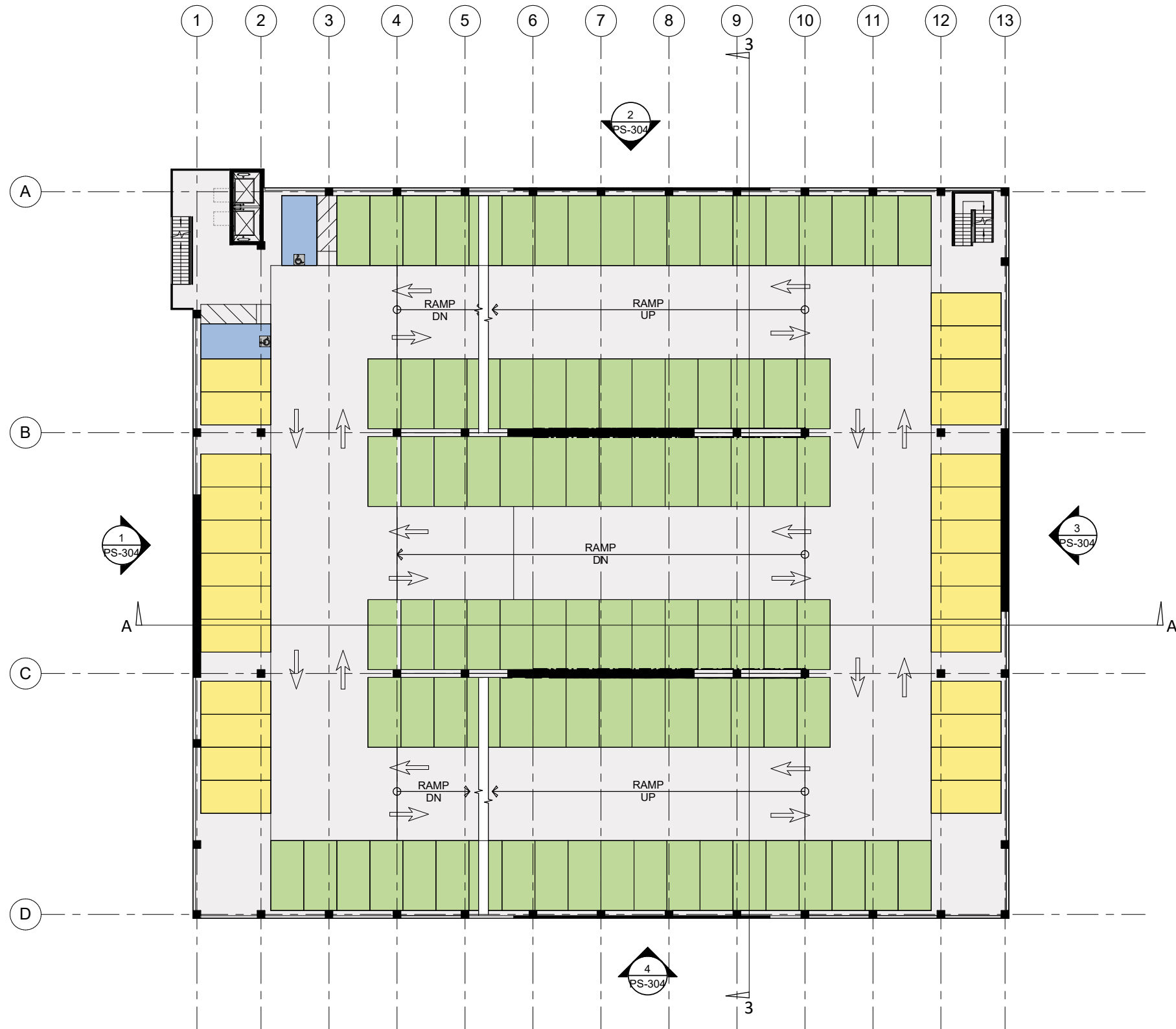
SHEET TITLE:

PARKING SOUTH - LEVEL
04 PARKING PLAN

SHEET NO:

PS-104

9/17/2025 4:08:21 PM



STALL TYPE LEGEND

- UNISTALL
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS - DAY ONE
- EV CAPABLE - FUTURE INSTALL
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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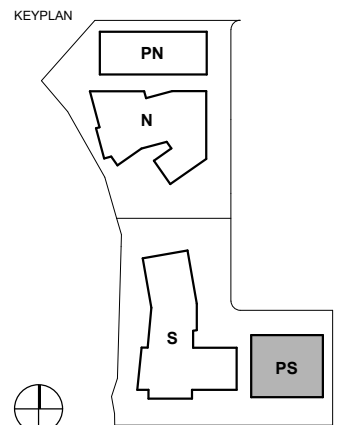


ISSUES DATE
ENTITLEMENT APPLICATION #1 09/15/2025

REVISION LIST DATE

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063



PROJECT NO.: 20-021
DATE: 09/25/2025
SCALE: 1/16" = 1'-0"

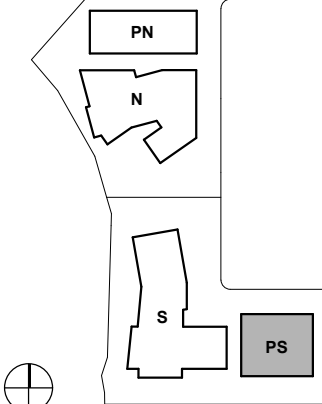
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PARKING SOUTH - LEVEL
05 PARKING PLAN

SHEET NO.: PS-105

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
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KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

SHEET TITLE:

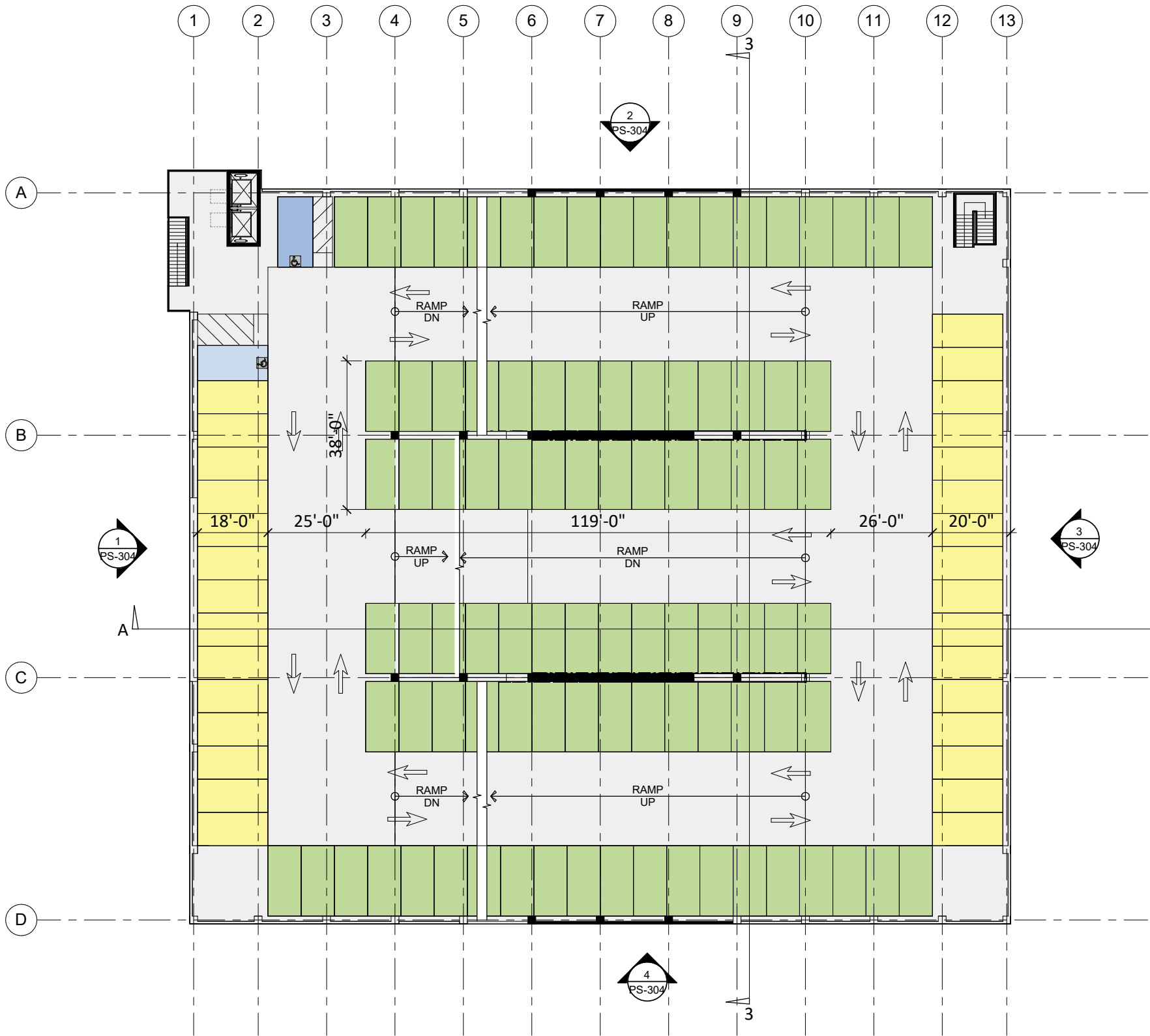
PARKING SOUTH - LEVEL
06 PARKING PLAN

SHEET NO:

PS-106

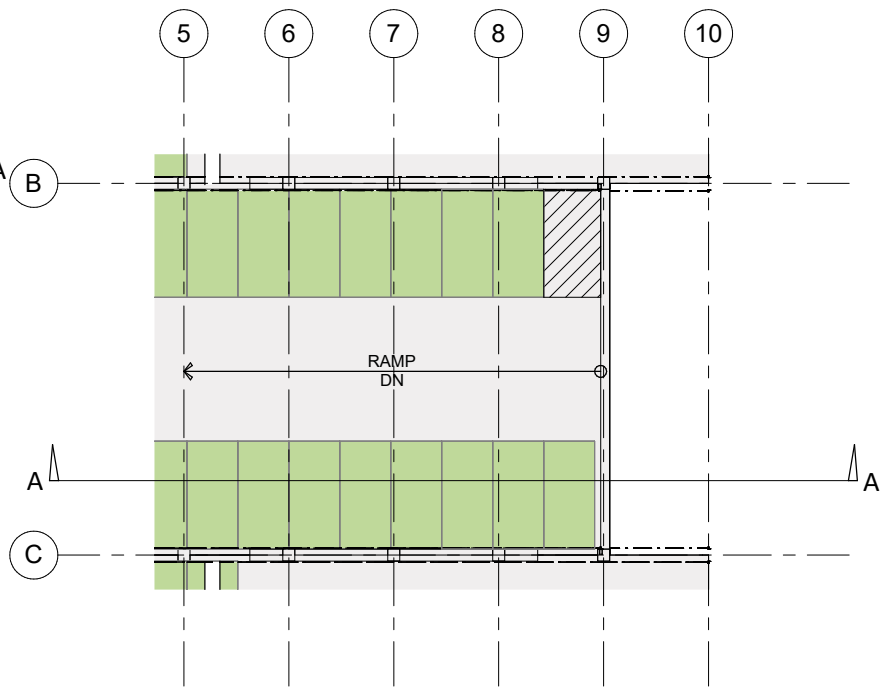
STALL TYPE LEGEND

	UNISTALL
	ACCESSIBLE
	VAN ACCESSIBLE
	EVCS - DAY ONE
	EV CAPABLE - FUTURE INSTALL
	EVCS ACCESSIBLE
	EVCS VAN ACCESSIBLE
	EVCS AMBULATORY



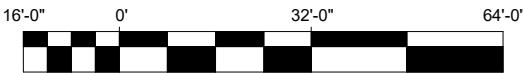
LEVEL 06

1/16" = 1'-0"

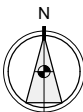


LEVEL 06.5

1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



9/17/2025 4:08:25 PM

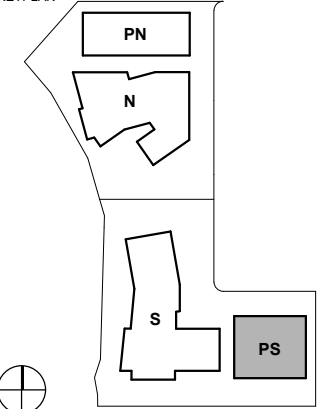
ISSUES	DATE
ENTITLEMENT APPLICATION #1	09/15/2025

#	REVISION LIST	DATE
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505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 20-021

DATE: 09/25/2025

SCALE: 1/16" = 1'-0"

SHEET TITLE:

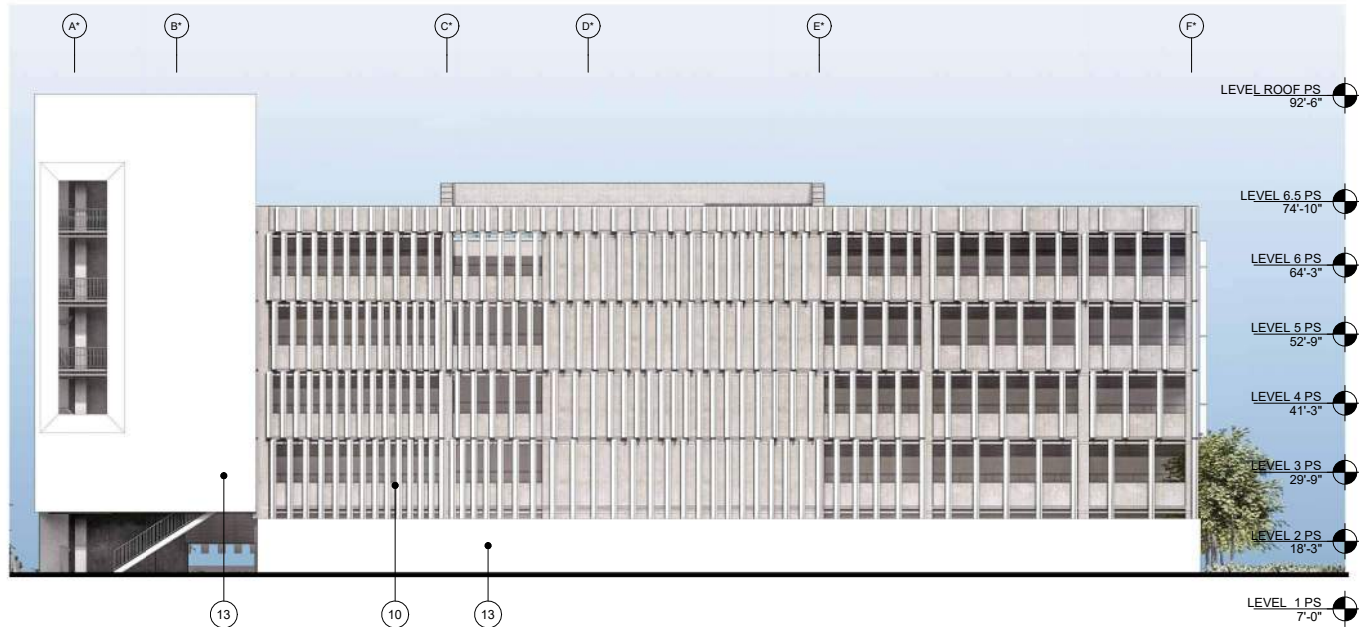
PARKING SOUTH - BUILDING SECTION

SHEET NO

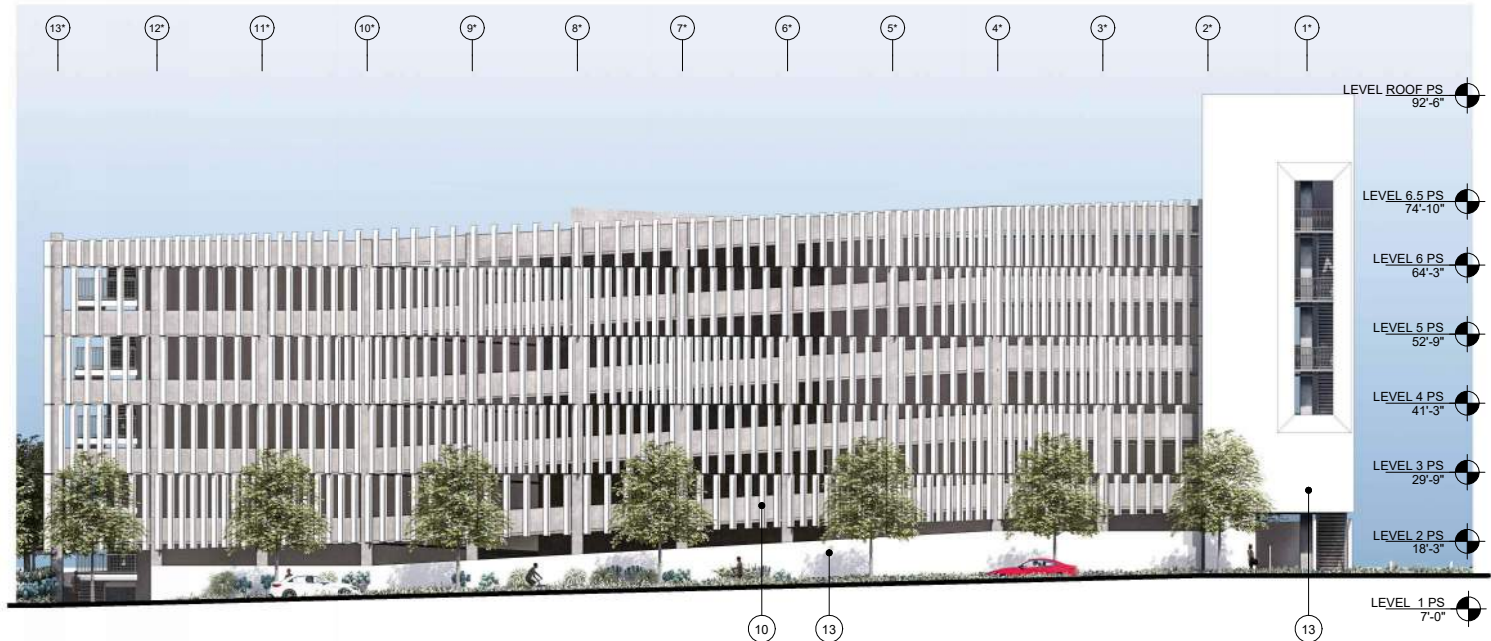
PS-330



A LONGITUDINAL SECTION



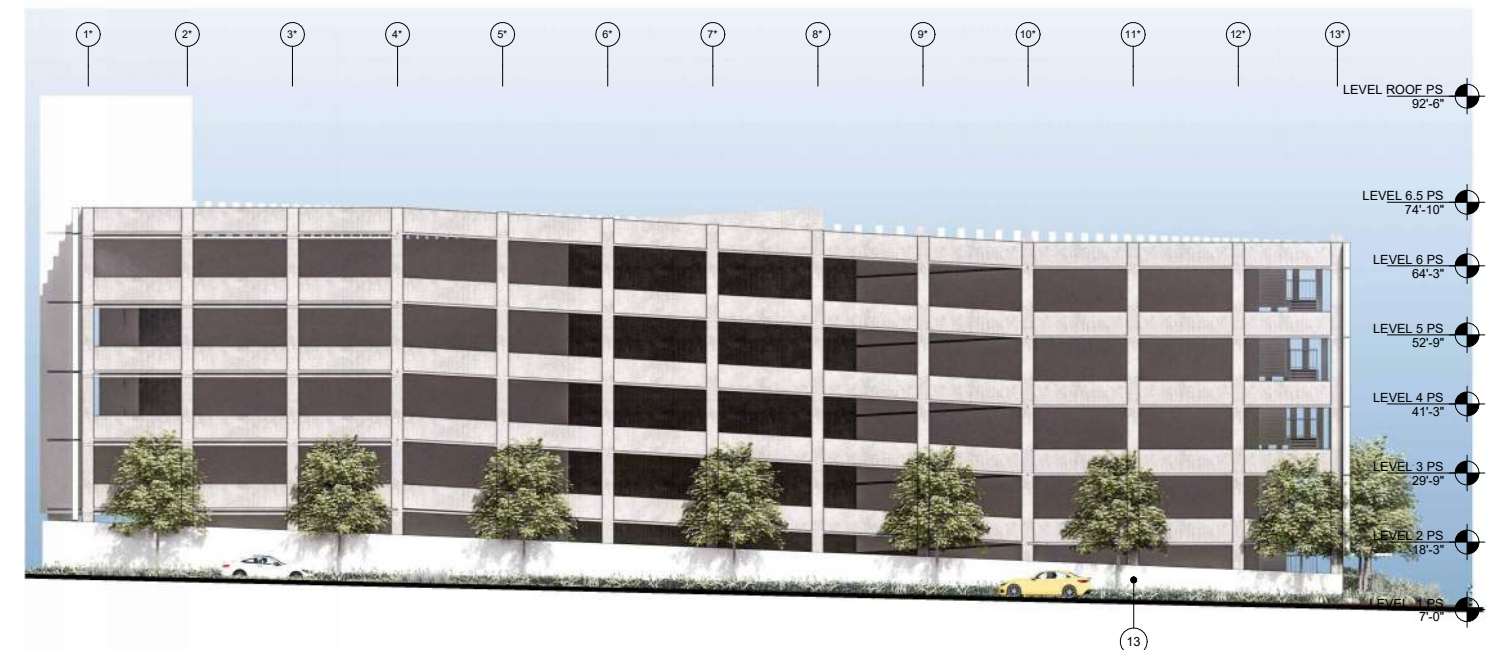
1 PARKING SOUTH - EXTERIOR ELEVATION - WEST
1/16" = 1'-0"



2 PARKING SOUTH - EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"



3 PARKING SOUTH - EXTERIOR ELEVATION - EAST
1/16" = 1'-0"



4 PARKING SOUTH - EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"

505 PENOBSCOT
PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston
Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: As indicated

SHEET TITLE:

SOUTH PARKING -
EXTERIOR ELEVATION

SHEET NO:

PS-304



13 PLASTER



12 GLASS GUARDRAIL



11 PICKET GUARDRAIL



10 METAL FIN



09 PERFORATED METAL
PANEL



08 METAL LOUVER



07 PERFORATED METAL
SCREEN



06 CURTAINWALL WITH METAL
PANEL



05 PERFORATED METAL SHADE



04 ALUMINUM CURTAINWALL 2



03 ALUMINUM CURTAINWALL 1



02 WOOD SIDING



01 BOARD FORM CONCRETE

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN



PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: NOT TO SCALE

SHEET TITLE:

ILLUSTRATIVE SITE
LIGHTING PLAN

SHEET NO: _____

LT-101

9/17/2025 2:29:15 PM

1 ILLUSTRATIVE SITE LIGHTING PLAN

All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

If this drawing is not 24"x36", then the drawing has been revised from its original size.
Noted scales must be adjusted. This line should be equal to one inch _____

9/17/2025 2:29:15 PM

Table 12-1. Pavement Illuminance Criteria for Full Intersection Lighting (Lux / Fc)
(Source: IES-RP8-2021, Recommended Practice: Lighting Roadway and Parking Facilities)

Functional Classification	Pedestrian Activity Level Classification			E_{avg}/E_{min}
	High	Medium	Low	
Major/Major	34/3.2	26/2.4	18/1.7	3.0
Major/Collector	29/2.7	22/2.0	15/1.4	3.0
Major/Local	26/2.4	20/1.9	13/1.2	3.0
Collector/Collector	24/2.2	18/1.7	12/1.1	4.0
Collector/Local	21/2.0	16/1.5	10/0.9	4.0
Local/Local	18/1.7	14/1.3	8/0.7	6.0

PEDESTRIAN CLASSIFICATIONS
(Source: IES-RP8-2021)

HIGH = over 100 pedestrians/hour

MEDIUM = 1 to 100 pedestrians / hour

LOW = 10 or fewer pedestrians / hour

Project will use this IES target light level @ intersections
based on expected pedestrian activity

3 TARGET ILLUMINATION FOR INTERSECTIONS

Lighting Design Criteria for Streets

(Source: City of Redwood City, 2023 Engineering Standards, Volume III Design Criteria, Section C2)

Recommended Illumination Levels
By Illuminating Engineering Society (IES)

Road Classification	Area Classification	Light Level in Average (Footcandles) (See Note a)	Uniformity Ratio (Average to Minimum)
Collector	Commercial	1.2	4 to 1
	Intermediate	0.9	
	Residential	0.6	
Local	Commercial	0.9	6 to 1
	Intermediate	0.7	
	Residential	0.4	
Sidewalks	Intermediate	0.6	6 to 1
	Residential	0.2	
Intersections		0.8	

Notes

- Based upon asphalt road surface with diffuse or slightly specular reflectance.
- Based upon using IES Type III light distribution luminaires.

LOCATION	Target Light Level*
PENOBSCOT DR SIDEWALK	0.7fc Average*
SAGINAW DR SIDEWALK	0.7fc Average*
GALVESTON DR SIDEWALK	0.7fc Average*

* IES recommends that sidewalk illumination (adjacent roadways) be 80% of roadway

3. Provide distribution cut-off, appropriate IES light Distribution luminaires and shielding to prevent over illumination onto adjacent private property.

4. In private, residential streets, the poles shall be designed for a minimum height of 8' and a maximum height of 16'. Design street lighting to maintain an average horizontal illumination of 0.25 foot-candles with a 10:1 ratio of average to minimum illuminance.

5. All luminaires shall be 150 watt minimum High Pressure Sodium Vapor, as indicated on the plans and described in the specifications; all circuits shall be 240 Volts and wired directly to a service pedestal within the public service easement.

6. Poles shall be anodized aluminum or steel with two coats of factory-applied paint, applied per City Specifications. Shop drawings of the pole and fixture shall be submitted to the City Engineer for approval.

7. Poles, mast arms and footings shall be designed to resist the overturning caused by a 100-mph wind load.

ROADWAY CLASSIFICATIONS:
(Source: IES-RP8-2021)

MAJOR = Principal network for through-traffic flow [but not Freeway or Expressway]; often known as "arterials or thoroughfares."

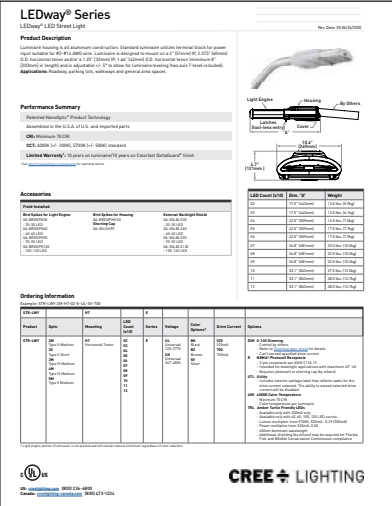
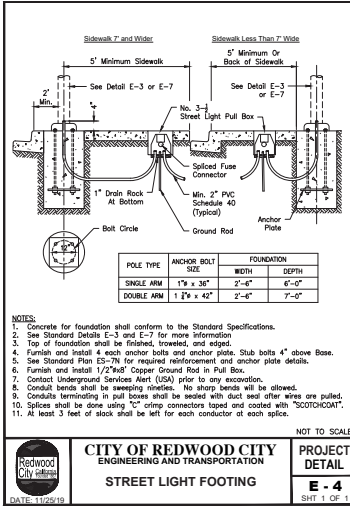
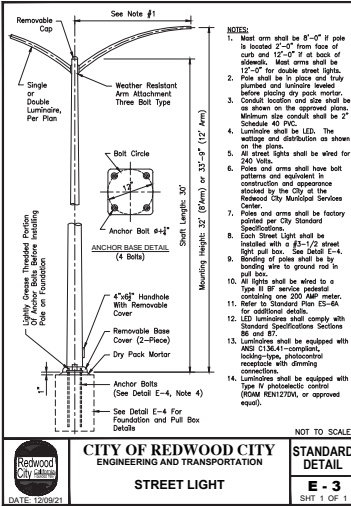
COLLECTOR = Roadways servicing traffic between major and local streets.

LOCAL = Primarily for direct access to residential, commercial, industrial, or other abutting property.

1 ROADWAY CLASSIFICATIONS

Traffic-scale "cobrahead" roadway fixture per City of Redwood City standards

- Type POE01
- LED "cobrahead" fixture, Type III Medium lighting distribution, nominal 15,000 delivered lumens.
- Final manufacturer and catalog number of POE01 fixture head to be coordinated with City of Redwood City.



5 STREET LIGHTING EQUIPMENT (PENOBSCOT DRIVE, SAGINAW DRIVE & GALVESTON DRIVE)

Excerpted from Table A-3, Recommended Illuminance Criteria for People in Outdoor Environments

(Source: IES-RP43-22, Recommended Practice: Lighting Exterior Applications)

LOCATION	Target Light Level*	Uniformity Ratio*
WATERFRONT PATH / BIKEWAY	1-2fc Average	8:1 (Avg / Min)
LANDSCAPE PATHS	0.5fc Average	10:1 (Avg / Min)

* assumes L22 (Urban Cluster) outdoor lighting zone

4 TARGET ILLUMINATION FOR SITE PEDESTRIAN PATHS

WRNSSTUDIO

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4TH FLOOR, STE. 402
SAN FRANCISCO
CALIFORNIA 94107
415.489.2224 TEL
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WWW.WRNSSTUDIO.COM

swa

WATRY DESIGN, INC.



WATT

ISSUES DATE
ENTITLEMENT APPLICATION 09/25/2025

REVISION LIST DATE

505 PENOBSCOT PROJECT

505 Penobscot Dr, 301 Penobscot Dr and 701 Galveston Dr, Redwood City, CA 94063

KEYPLAN

PROJECT NO.: 24040.00

DATE: 09/25/2025

SCALE: NOT TO SCALE

SHEET TITLE:

SITE LIGHTING
CHARACTER

SHEET NO:

LT-102