

REDWOOD SQUARE TOWNHOMES

2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063

PHASE II

Revision:

PC RESPONSE	07.07.202
1 PC RESPONSE	09.08.202
2 PC RESPONSE	11.10.202

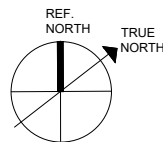
NEW SUBMITTAL	11.30.202
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1 PC RESPONSE	02.12.202
2 PC RESPONSE	03.04.202

sheet title

TITLE SHEET

North Point



scale	NTS
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sheet no.

T1.0

of **PHASE I**

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LINDEN STREET VIEW

REDWOOD SQUARE - TOWNHOMES RESIDENTIAL PROJECT

PRE-PLANNING SUBMITTAL	04/05/2022
PLAN CHECK RESPONSE	07/07/2022
PLAN CHECK RESPONSE	09/08/2022
PLAN CHECK RESPONSE	11/10/2022
NEW SUBMITTAL	11/30/2023
PLAN CHECK RESPONSE-01	02/12/2024
PLAN CHECK RESPONSE-02	03/05/2024

1885 El Camino Real, Palo Alto, CA 9430

TENTATIVE MAP
REDWOOD SQUARE TOWNHOMES

2336 EL CAMINO REAL, REDWOOD CITY, CA

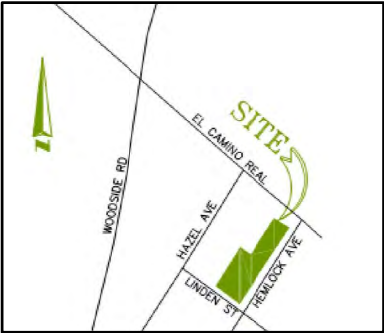
the 4th day of March, 2024

GENERAL PROJECT INFORMATION

- PROJECT NAME: REDWOOD SQUARE TOWNHOMES
- OWNER & SUBDIVIDER: GOLDEN MILLENNIUM ASSETS
405 A CURTNER AVE.
PALO ALTO, CA 94306
TEL: 408-644-5995
- STREET LOCATION: 2336 EL CAMINO REAL
REDWOOD CITY, CA 94063
- EXISTING ZONING: MIXED USE COORIDOR (MUC-ECR)
- EXISTING OCCUPANCY: DAYCARE
- PROPOSED ZONING: MIXED USE COORIDOR (MUC-ECR)
- FLOOD ZONE: ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD DURING 100-YEAR FLOOD)
- STORM DRAIN: REDWOOD CITY
- WATER SUPPLY: REDWOOD CITY
- SEWAGE DISPOSAL: REDWOOD CITY
- GAS: PG&E
- ELECTRICAL: PG&E
- ASSESSOR'S PARCEL #S: APN 053-309-200
- TOTAL SITE AREA: 0.539 ACRES
- THERE IS NO EXISTING WATERCOURSES OR WELLS EXIST ON THIS SITE.
- ALL DIMENSIONS DEPICTED HERE ARE APPROXIMATE AND ARE SUBJECT TO REVISIONS AT FINAL MAP STAGE.
- TOPOGRAPHY AND BOUNDARY SURVEY WAS PREPARED OR UNDER SUPERVISION OF ERIC S CANTRELL, P.L.S. 7163, AEI CONSULTANTS, DATED APRIL 18, 2019.
- BENCHMARK: ELEVATIONS SHOWN HEREON ARE BASED ON REDWOOD CITY BENCH MARK, BRASS DISK MARKED NO. 36, ELEVATION=27.15' NAVD88 DATUM.
- CIVIL ENGINEER: SRM ENGINEERING SOLUTIONS, LLC, C72794
- GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY VIEN VO, C32296, SILICON VALLEY SOIL ENGINEERING, DATED JANUARY 9, 2017.

DRAWING INDEX:

- COVER SHEET
- P1-TM1: PHASE 1 LOT CONFIGURATION
- P2-TM1: PHASE 2 LOT CONFIGURATION
- P1-TM2.1: PHASE 1 EXISTING SITE & DEMOLITION PLAN
- P1-TM2.2: PHASE 1 PROPOSED IMPROVEMENTS
- P1-TM3: PHASE 1 GRADING PLAN
- P2-TM2.1: PHASE 2 EXISTING SITE & DEMOLITION PLAN
- P2-TM2.2: PHASE 2 PROPOSED IMPROVEMENTS
- P2-TM3: PHASE 2 GRADING PLAN
- P2-TM4: PHASE 2 PRELIMINARY UTILITY PLAN
- P2-TM5: PHASE 2 STORM WATER CONTROL
- P2-TM6.1: PHASE 2 STORM WATER CONTROL DETAILS - 1
- P2-TM6.2: PHASE 2 STORM WATER CONTROL DETAILS - 2



KEY MAP
NTS

COVER SHEET
REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA



CLIENT



Golden Millennium Assets
405 A Curtner Ave, Palo Alto, CA 94306
408-644-5995
www.goldenmillenniumadvisory.com



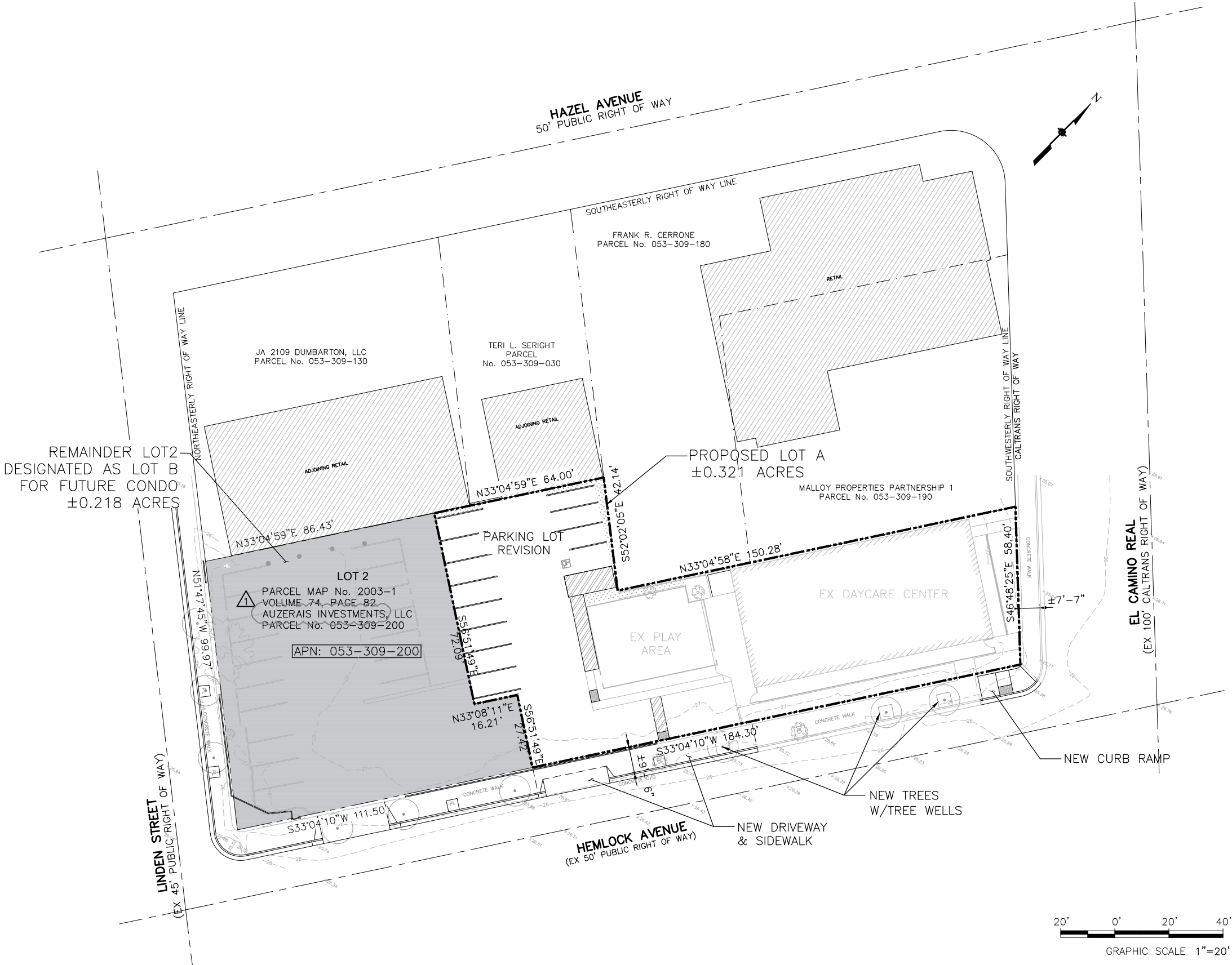
PHASE 1 - LOT SPLIT

PHASE 1 NOTES:

- EXISTING OCCUPANCY: DAYCARE
- PROPOSED OCCUPANCY: DAYCARE (LOT A)
- TOTAL SITE AREA: 0.539 ACRES
- NET NEW BUILDING AREA: 0 SQFT
- PROPOSED PHASE 1: THE EXISTING LOT2 IS SPLIT INTO 2 LOTS. PHASE 1 PROPOSED LOT A, ±0.321 ACRES, IS FOR DAYCARE PARKING LOT REVISION. THE REMAINDER LOT2, ±0.218 ACRES, IS DESIGNATED AS LOT B FOR FUTURE CONDO. THE LOT LINE IS PROPOSED TO BE ADDED WITH THIS TENTATIVE MAP.
- THIS LOT SPLIT WILL CONFORM TO THE STREET TREE PLAN OF REDWOOD CITY.

LEGEND & ABBREVIATION:

- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING BUILDING TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NEW TREE W/NEW TREE WELL
- REMAINDER LOT



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PHASE 1
LOT CONFIGURATION

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

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△	02.12.24	PC COMMENTS
△	11.28.23	NEW SUBMITTAL
△	11.10.22	PC COMMENTS
△	08.09.22	PC COMMENTS
△	06.30.22	PC COMMENTS
NO	DATE	DESCRIPTION
DESIGNED: J. WU		
CHECKED: J. JI		
DATE: February 12, 2024		
SCALE: AS SHOWN		
JOB No.:		
SHEET No.:		

P1-TM1

PHASE 2

FOR CONDOMINIUM PURPOSES
6-UNIT TOWNHOUSE



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PHASE 2
LOT CONFIGURATION

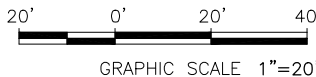
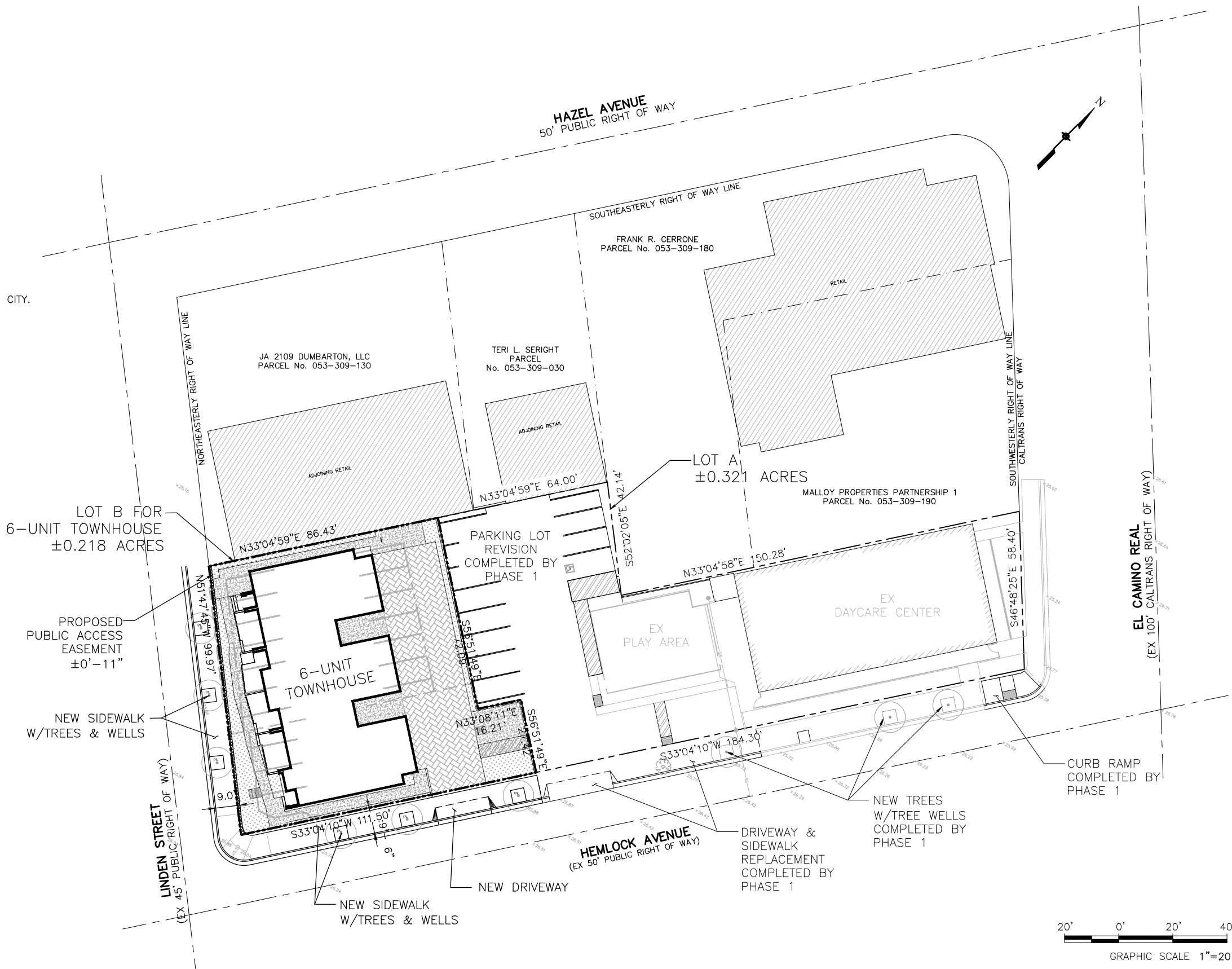
REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

PHASE 2 NOTES

- EXISTING OCCUPANCY: DAYCARE
- PROPOSED OCCUPANCY: R3 (LOT B)
- TOTAL SITE AREA: 0.539 ACRES
- NET NEW BUILDING AREA: 13570 SQFT
- PROPOSED PHASE 2: LOT B (±0.218 ACRES) IS FOR RESIDENTIAL DEVELOPMENT OF 6-UNIT OF TOWNHOUSE.
- PHASE 2 WILL CONFORM TO THE STREET TREE PLAN OF REDWOOD CITY.

LEGEND & ABBREVIATION:

- LOT LINE
- PROPOSED LOT LINE
- EXISTING BUILDING TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NEW TREE W/NEW TREE WELL
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PUBLIC ACCESS EASEMENT



NO	DATE	DESCRIPTION
1	02.12.24	PC COMMENTS
2	11.28.23	NEW SUBMITTAL
3	11.10.22	PC COMMENTS
4	08.09.22	PC COMMENTS
5	06.30.22	PC COMMENTS
DESIGNED:		J. WU
CHECKED:		J. JI
DATE:		February 12, 2024
SCALE:		AS SHOWN
JOB No.:		
SHEET No.:		

P2-TM1



LIENT



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PHASE 1 EXISTING SITE & DEMOLITION PLAN

2336 EL CAMINO REAL
REDWOOD CITY, CA

2.	03.04.24	PC COMMENTS
1.	02.12.24	PC COMMENTS
	11.28.23	NEW SUBMITTAL
3.	11.10.22	PC COMMENTS
2.	08.09.22	PC COMMENTS
	06.30.22	PC COMMENTS

NO	DATE	DESCRIPTION
DESIGNED: J. WU		

CHECKED: J. JI

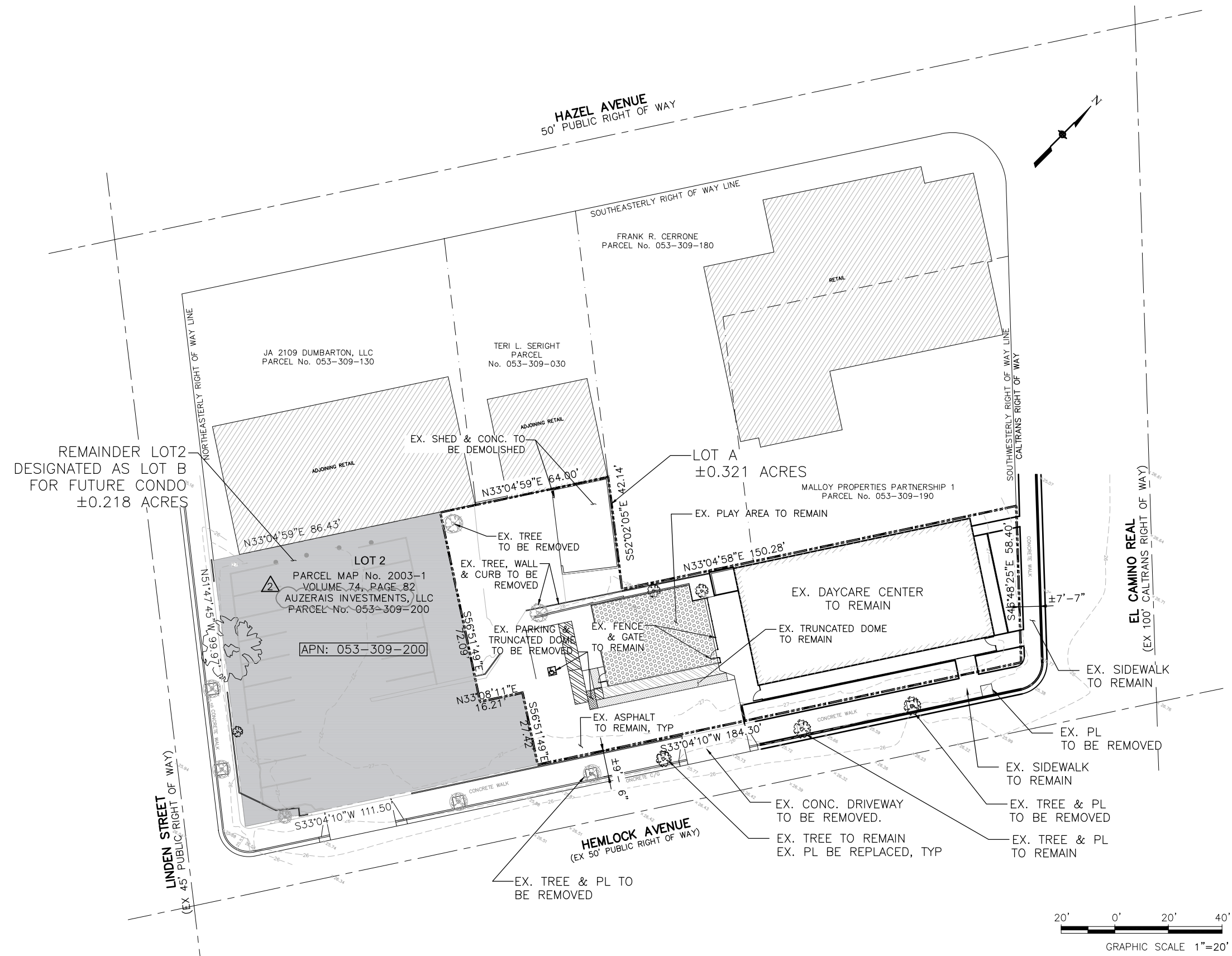
DATE: March 4, 2024

SCALE: AS SHOWN

JOB No.:

SHEET No.:

P1-TM2.1










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1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS, REFERENCE MARKERS, AND OTHER INFORMATION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
2. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
3. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
4. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET & DECIMALS THEREOF.
5. SEE CO.1 FOR SITE EXISTING CONDITION, INCLUDING EXISTING TREE & FEATURES TO BE DEMOLISHED.
6. SEE ARCHITECTURAL DRAWINGS FOR REMODEL DETAILS OF THE EXISTING BUILDING.
7. ALL ELEVATIONS USED FOR THIS PROJECT ARE APPROXIMATE. CONTRACTOR NEED TO VERIFY ON SITE.

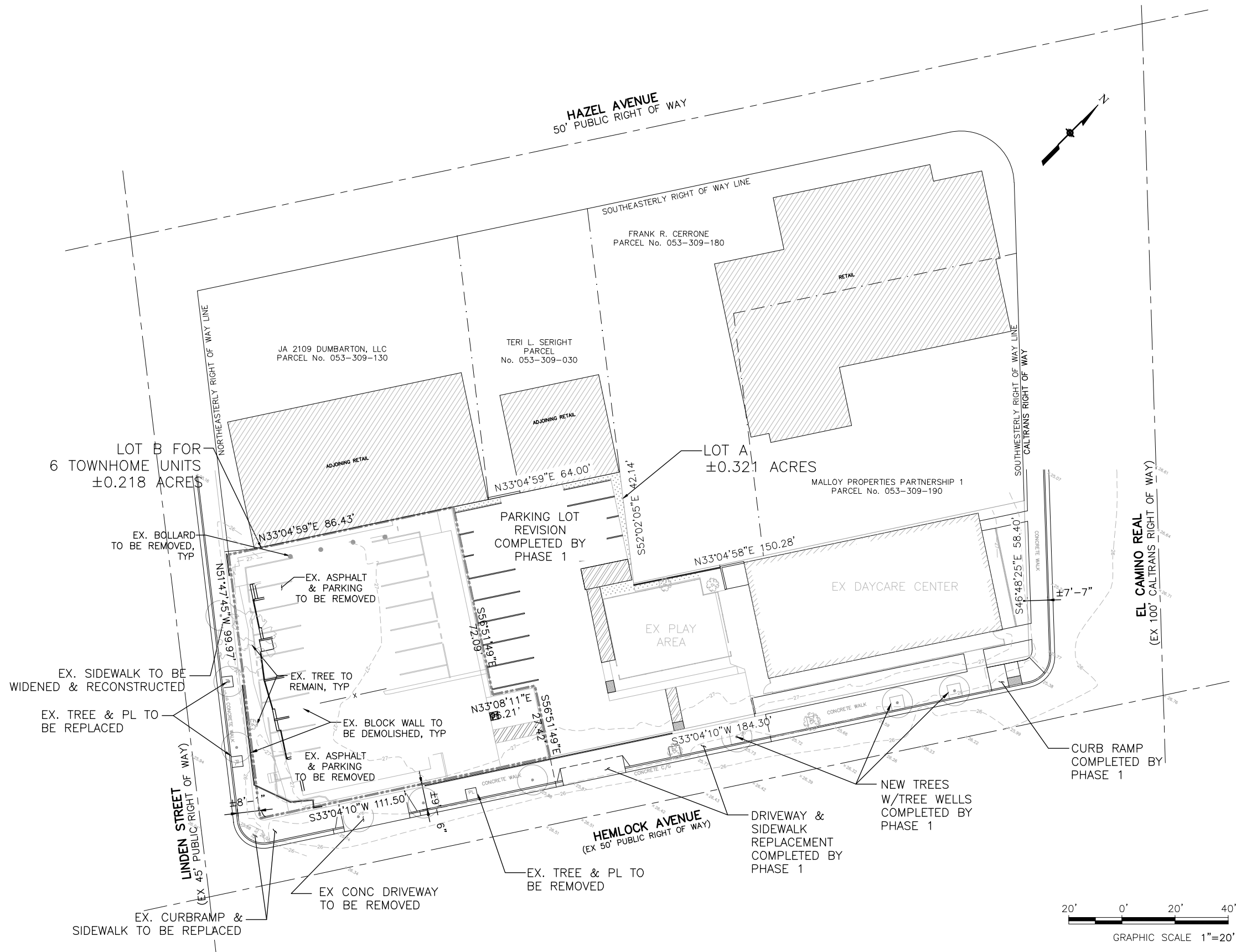
LEGENDS:

- | | FUTURE PHASE 2 IMPROVEMENT | LOT 1 |
|---|--------------------------------------|-------|
| ----- | PROPERTY LINE | |
|  | EX. FIRE HYDRANT | |
|  | EX. FIRE DEPARTMENT CONNECTION (FDC) | |
|  | EX. WATER VALVE | |
|  | EX. SEWER CLEAN OUT | |
|  | EX. SEWER MANHOLE | |

UTILITY LINE LEGENDS

- | EXISTING | PROPOSED | |
|---|---|--------------------------|
|  |  | STORM DRAIN LINE |
|  |  | SANITARY SEWER LINE |
|  |  | WATER LINE |
|  |  | OVERHEAD ELECTRICAL LINE |
|  |  | GAS LINE |
|  |  | FIRE SERVICE LINE |
| |  | PERFORATED UNDERDRAIN |

P1-TM3



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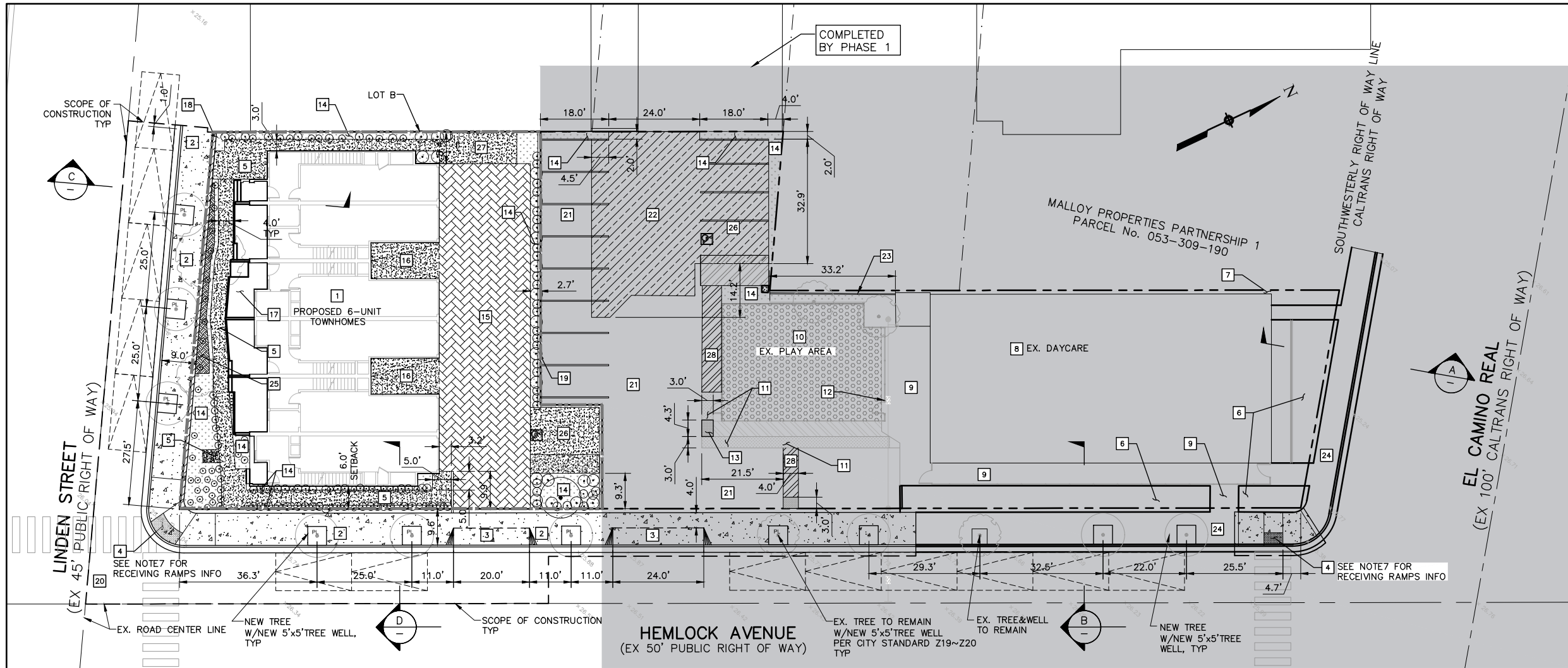


PHASE 2 EXISTING SITE & DEMOLITION PLAN

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

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△	02.12.24	PC COMMENTS
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	CHECKED:	J. JI
	DATE:	February 12, 2024
	SCALE:	AS SHOWN
	JOB No.:	
	SHEET No.:	

P2-TM2.1



PHASE 2 IMPROVEMENT

SCALE 1"=16'-0"



LEGENDS:

- MASKED FOR PHASE 1 IMPROVEMENT
- PROPERTY LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- EX CONC. TO REMAIN
- EX CONC. SURFACE TO BE OVERLAYED
- EX. RUBBER TURF AREA
- NEW CONC. PATH & SIDEWALK
- NEW BIORETENTION AREA
- NEW TREE & TREE WELL
- EX. TREE TO REMAIN W/NEW TREE WELL
- EX. LANDSCAPING TO REMAIN
- NEW PLANTING AREA
- PERMEABLE PAVING
- WIDENED CONC. SIDEWALK

NOTES:

- THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS, REFERENCE MARKERS, AND OTHER INFORMATION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
- ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET & DECIMALS THEREOF.
- SEE TM1 FOR LOT & TOPOGRAPHIC INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PROPOSED TREES AND GREEN AREAS.
- SEE ARCHITECTURAL DRAWINGS FOR DESIGN DETAILS OF THE PROPOSED TOWNHOMES.
- THE THREE RECEIVING RAMP, ONE ACROSS LINDEN ST. AND TWO ACROSS HEMLOCK AVE., WILL BE BUILT DURING CONSTRUCTION. SURVEY WILL BE DONE PRIOR TO BUILDING PERMIT APPLICATION AND RECEIVING RAMP WILL BE INCLUDED FOR REVIEW PRIOR TO ISSUANCE OF BUILDING PERMIT.

SYM.	DESCRIPTION
1	PROPOSED 6-UNIT TOWNHOMES SEE ARCHITECTURAL DWG FOR DETAILS
2	RECONSTRUCTED CURB/GUTTER & SIDEWALK
3	NEW CONC. DRIVEWAY, PER CITY STANDARD
4	NEW CURB RAMPS PER CALTRANS STANDARD a88a CASE C. SEE NOTE 7 FOR RECEIVING RAMPS INFO.
5	NEW CONC. PATHWAY
6	EX. LANDSCAPING AREAS TO REMAIN
7	EX. DIRT AREAS TO REMAIN
8	EX. DAYCARE TO REMAIN
9	EX. CONC. PATH/STEPS
10	EX. RUBBER TURF PLAY AREA TO REMAIN
11	EX. TRUNCATED DOME TO REMAIN
12	EX. FENCE W/POST & DOORS TO REMAIN
13	NEW TRUNCATED DOME
14	NEW LANDSCAPING AREAS SEE LANDSCAPE DWGS FOR DETAILS
15	NEW PERMEABLE PAVING DRIVEWAY
16	NEW CONC. VISITOR'S PARKING
17	NEW PAVED DECK AREAS
18	WIDENED CONC. SIDEWALK, ±0'-11" PUBLIC ACCESS EASEMENT
19	NEW 6-FT HIGH BLOCK WALL SEE ARCHITECTURAL DWG FOR DETAILED
20	EXISTING ROADWAY TO BE RESURFACED
21	EX. AC PAVING TO REMAIN
22	NEW AC OVERLAY ON EX CONC. SURFACE
23	EX. BLOCK WALL TO REMAIN PARTIALLY
24	EX. CONC. SIDEWALK TO REMAIN
25	NEW BIORETENTION
26	ACCESSIBLE PARKING SPACE
27	NEW CONC. PAD FOR GENERATOR
28	ACCESSIBLE PATH



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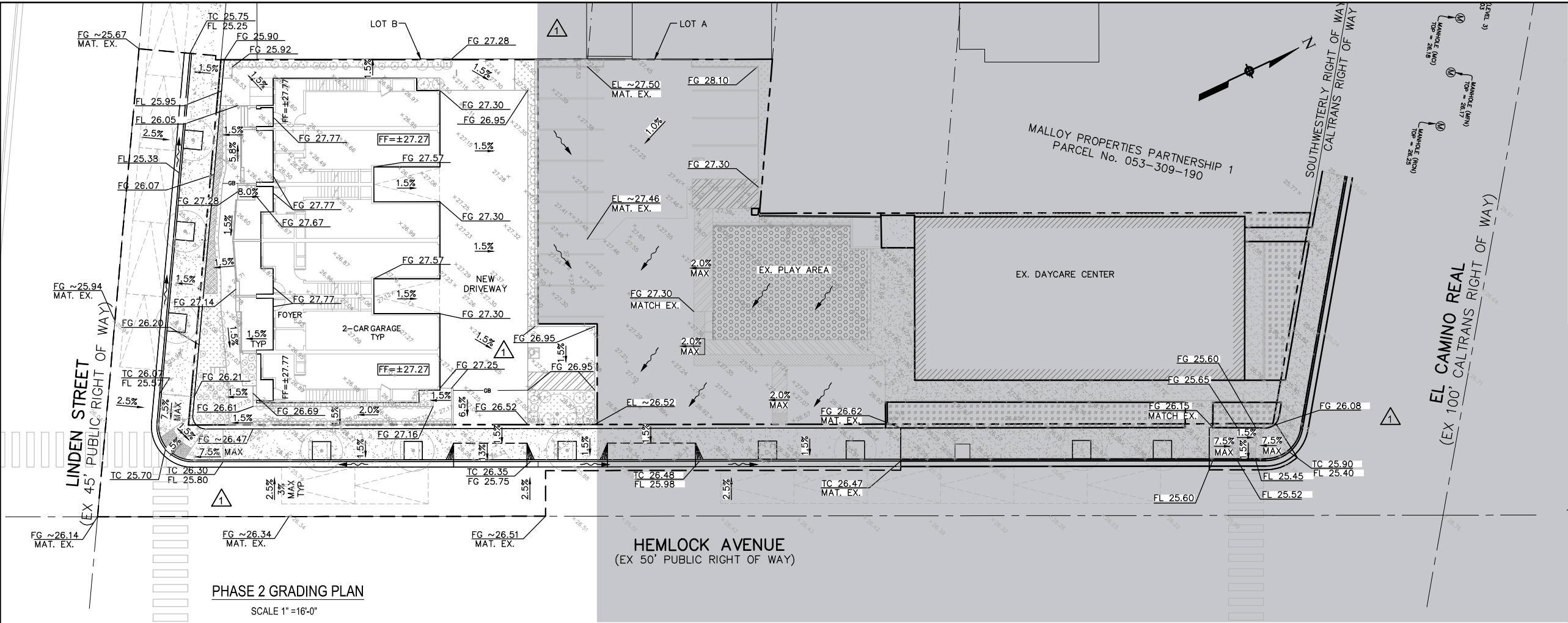


PHASE 2
PROPOSED IMPROVEMENTS

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

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Δ	02.12.24	PC COMMENTS
Δ	11.28.23	NEW SUBMITTAL
Δ	11.10.22	PC COMMENTS
Δ	08.09.22	PC COMMENTS
Δ	06.30.22	PC COMMENTS
NO	DATE	DESCRIPTION
DESIGNED:	J. WU	
CHECKED:	J. JI	
DATE:	February 12, 2024	
SCALE:	AS SHOWN	
JOB No.:		
SHEET No.:		

P2-TM2.2



PHASE 2 GRADING PLAN
SCALE 1"=16'-0"

NOTES:

1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS, REFERENCE MARKERS, AND OTHER INFORMATION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
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3. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
4. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET & DECIMALS THEREOF.
5. SEE CO.1 FOR SITE EXISTING CONDITION, INCLUDING EXISTING TREE & FEATURES TO BE DEMOLISHED.
6. SEE ARCHITECTURAL DRAWINGS FOR REMODEL DETAILS OF THE EXISTING BUILDING.
7. ALL ELEVATIONS USED FOR THIS PROJECT ARE APPROXIMATE. CONTRACTOR NEED TO VERIFY ON SITE.

LEGENDS:

- COMPLETED BY PHASE 1
- PROPERTY LINE
- EX. FIRE HYDRANT
- EX. FIRE DEPARTMENT CONNECTION (FDC)
- EX. WATER VALVE
- EX. SEWER CLEAN OUT
- EX. SEWER MANHOLE

UTILITY LINE LEGENDS

- | EXISTING | PROPOSED | |
|----------|-----------------------|--------------------------|
| SD | SD | STORM DRAIN LINE |
| SS | SS | SANITARY SEWER LINE |
| W | W | WATER LINE |
| OHU | OHU | OVERHEAD ELECTRICAL LINE |
| GAS | GAS | GAS LINE |
| FS | FS | FIRE SERVICE LINE |
| | PERFORATED UNDERDRAIN | PERFORATED UNDERDRAIN |

ABBREVIATIONS

- | | |
|---------|-------------------|
| AC | ASPHALT CONCRETE |
| CONC | CONCRETE |
| C/G | CURB & GUTTER |
| DI | DRAIN INLET |
| EB | ELECTRIC BOX |
| EL | ELEVATION |
| EX | EXISTING |
| FF | FINISH FLOOR |
| FG | FINISH GROUND |
| GB | GRADE BREAK |
| GE | GROUND ELEVATION |
| INV | INVERT |
| MAT. EX | MATCH EXISTING |
| SD | STORM DRAINAGE |
| SDCO | STORM CLEANOUT |
| SDMH | STORM MANHOLE |
| SS | SANITARY SEWER |
| TC | TOP OF CURB |
| TYP | TYPICAL |
| TW | TOP OF WALL |
| W | WATER |
| OHU | OVER HEAD UTILITY |

COMPLETED
BY PHASE 1



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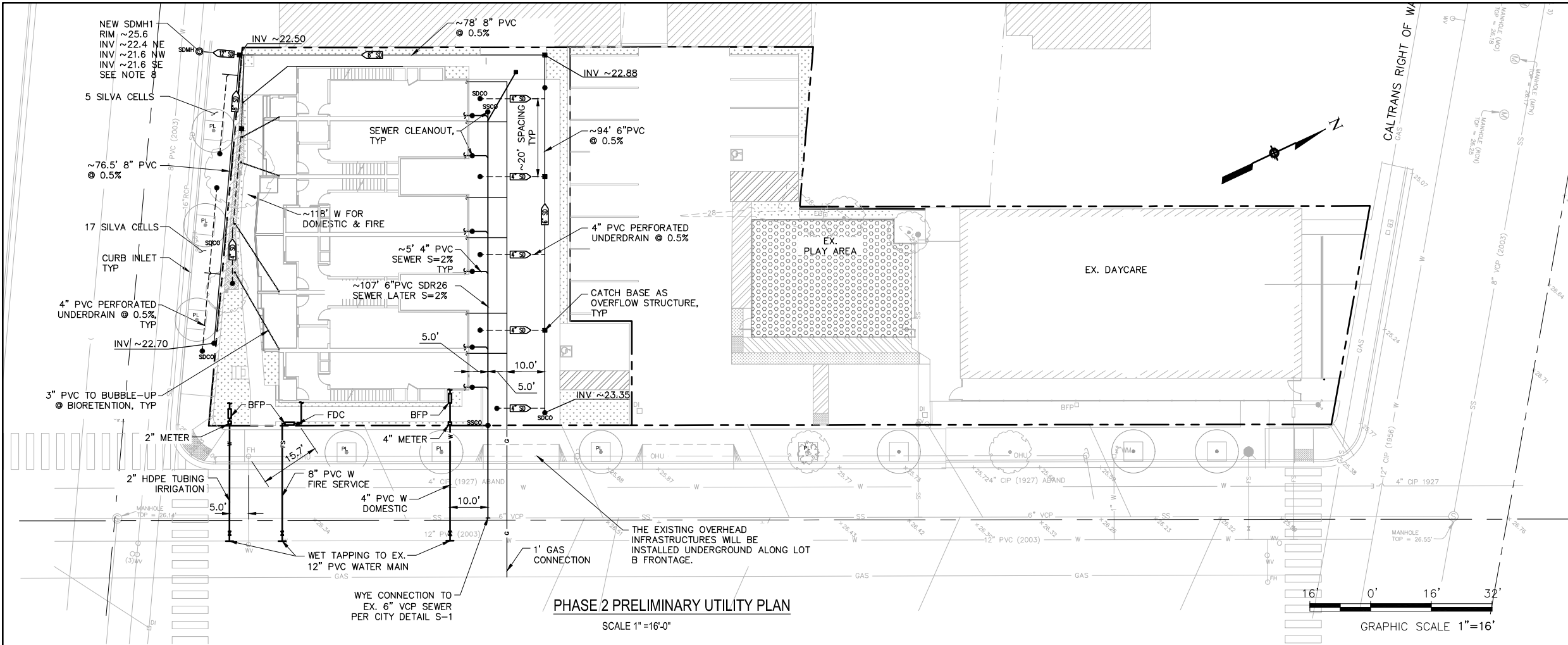


PHASE 2
GRADING PLAN

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

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	JOB No.:	
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P2-TM3



NOTES:

1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS, REFERENCE MARKERS, AND OTHER INFORMATION NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
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4. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET & DECIMALS THEREOF.
4. SEE TM1 FOR LOT & TOPOGRAPHIC INFORMATION.
5. SEE LANDSCAPE DRAWINGS FOR PROPOSED TREES AND GREEN AREAS.
6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN DETAILS OF THE PROPOSED CONDOMINIUM.
7. SEE TABLE-1 ON TM5 FOR DETAILS OF HOW RUNOFF IS DIVERTED AND DRAINED.
8. EXISTING PIPE LOCATION AND INVERT AT NEW SDHM NEED TO BE VERIFIED SITE BY CONTRACTORS BEFORE CONSTRUCTION.

LEGENDS:

- PROPERTY LINE
- | | |
|--------------------------------------|---------------------------------------|
| EX. FIRE HYDRANT | NEW OVERFLOW/JOIN BOX STRUCTURE |
| EX. FIRE DEPARTMENT CONNECTION (FDC) | SDMH NEW STORM MANHOLE |
| EX. WATER VALVE | SDCO NEW STORM CLEAN OUT |
| EX. SEWER CLEAN OUT | SSCO NEW SEWER CLEAN OUT |
| EX. SEWER MANHOLE | NEW SILVA CELL |
| | NEW CURB INLET |
| | NEW CATCH BASIN AS OVERFLOW STRUCTURE |

UTILITY LINE LEGENDS

- | | |
|----------|------------------------------|
| EXISTING | PROPOSED |
| SD | SD STORM DRAIN LINE |
| SS | SS SANITARY SEWER LINE |
| W | W WATER LINE |
| OHU | OHU OVERHEAD ELECTRICAL LINE |
| G | G GAS LINE |
| FS | FS FIRE SERVICE LINE |
| | PERFORATED UNDERDRAIN |

ABBREVIATIONS

- | | |
|---------|-------------------|
| AC | ASPHALT CONCRETE |
| CONC | CONCRETE |
| C# | CURVE NUMBER |
| DI | DRAIN INLET |
| EB | ELECTRIC BOX |
| EL | ELEVATION |
| EX | EXISTING |
| FF | FINISH FLOOR |
| FG | FINISH GROUND |
| GB | GRADE BREAK |
| GE | GROUND ELEVATION |
| INV | INVERT |
| L# | LINE NUMBER |
| MAT. EX | MATCH EXISTING |
| SD | STORM DRAINAGE |
| SDCO | STORM CLEANOUT |
| SDMH | STORM MANHOLE |
| SS | SANITARY SEWER |
| TC | TOP OF CURB |
| TYP | TYPICAL |
| TW | TOP OF WALL |
| WV | WATER |
| OHU | OVER HEAD UTILITY |



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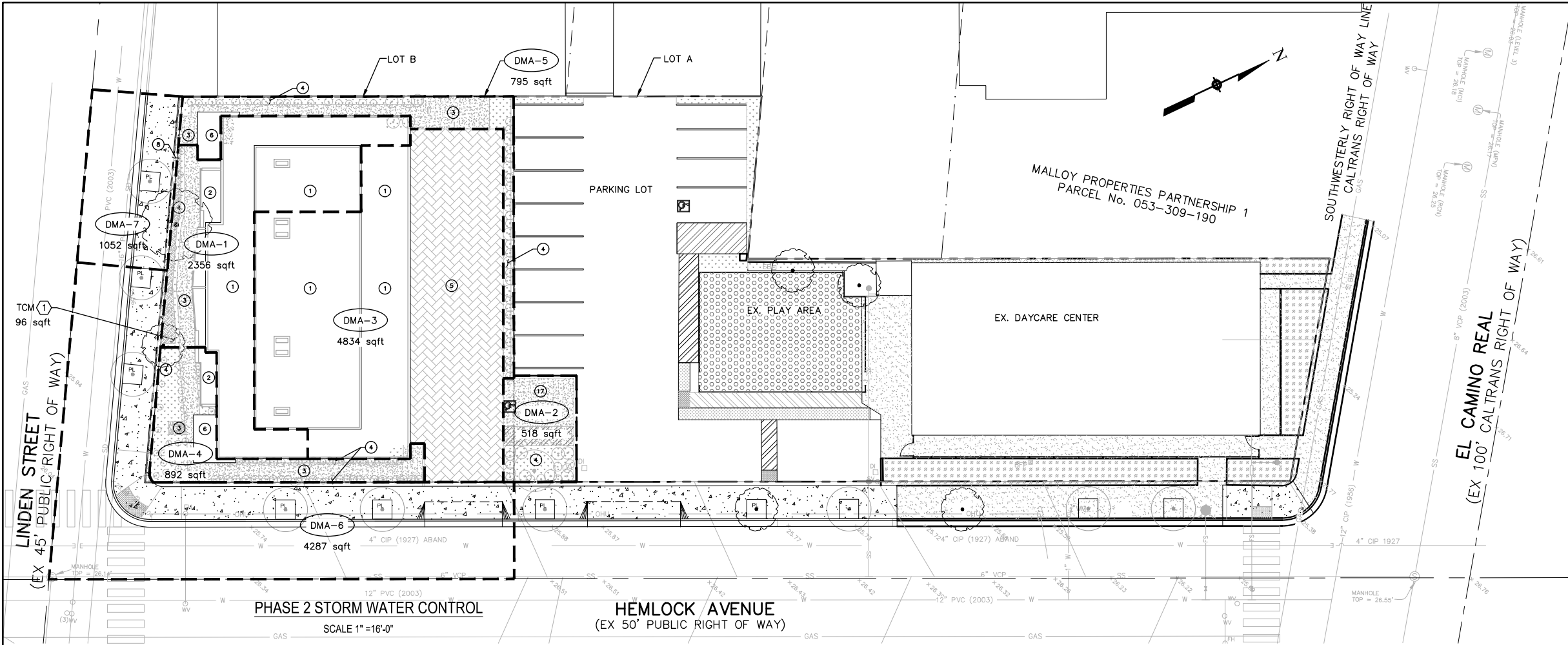


PHASE 2
PRELIMINARY UTILITY PLAN

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

	02.12.24	PC COMMENTS
	11.28.23	NEW SUBMITTAL
	11.10.22	PC COMMENTS
	08.09.22	PC COMMENTS
	06.30.22	PC COMMENTS
NO	DATE	DESCRIPTION
DESIGNED:	J. WU	
CHECKED:	J. JI	
DATE:	February 12, 2024	
SCALE:	AS SHOWN	
JOB No.:		
SHEET No.:		

P2-TM4



SYM.	DESCRIPTION
①	PROPOSED ROOF – IMPERVIOUS
②	PROPOSED DECK – IMPERVIOUS
③	PROPOSED CONC. WALKWAY/STEPS – IMPERVIOUS
④	PROPOSED LANDSCAPING AREA – PERVIOUS
⑤	PROPOSED PERMEABLE PAVING – PERVIOUS, SEE DETAIL 5/6.1
⑥	PROPOSED LOWER ROOF – IMPERVIOUS
⑦	PROPOSED AC OVERLAY OVER EX. PCC – IMPERVIOUS
⑧	PROPOSED WIDENED CONC. SIDEWALK – IMPERBIOUS
⑰	PROPOSED CONC. PARKING – IMPERVIOUS

SRM ENGINEERING SOLUTIONS LLC

CLIENT

Golden Millennium Assets

405 A Curtner Ave, Palo Alto, CA 94306
408-644-5995
www.goldenmillenniumadvisory.com

STORM WATER CONTROL NOTES:

1. STORM WATER CONTROL IS DESIGNED IN COMPLIANCE WITH PROVISION C.3 OF MRP (BAY AREA MUNICIPAL REGIONAL STORM PERMIT).
2. THE PROJECT IS C.3 REGULATED PROJECT. SEE "C.3 AND C.6 DEVELOPMENT REVIEW CHECKLIST" FOR DETAILS.
3. THE TOTAL EXISTING IMPERVIOUS SURFACES TO BE REPLACED IS LESS THAN 50% OF PRE-PROJECT IMPERVIOUS SURFACES, SITE DESIGN, SOURCE CONTROL AND STORM WATER TREATMENT ARE REQUIRED FOR IMPERVIOUS SURFACES REPLACED AND/OR CREATED.
4. SEE TABLE-1 FOR WATER TREATMENT CONTROL MEASURE SUMMARY.
5. SEE TABLE-2 FOR STORMWATER SOURCE CONTROL MEASURES.
6. SEE WORKSHEET A ON THIS SHEET FOR CONSTRUCTION STORM WATER BMPs.

LEGENDS:

- PROPERTY LINE
- EXISTING BUILDING
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- EX. PATH TO REMAIN
- EX CURB/GUTTER SIDEWALK BE REPAIRED
- EX. LANDSCAPING AREA
- EX. RUBBER TURF AREA
- NEW CEMENT CONCRETE
- NEW PLANTING AREA
- PERMEABLE PAVING
- NEW BIORETENTION AREA
- EX. TREE TO REMAIN W/NEW TREE WELL
- NEW TREE & TREE WELL

PROJECT SITE INFORMATION

1. THERE IS NO SIGNIFICANT NATURAL HYDROLOGIC FEATURES (DEPRESSIONS OR WATERCOURSES, ETC) AND NATURAL RESOURCES ON SITE.
2. SOILS TYPE IS SILTY CLAY.
3. GROUND WATER DEPTH IS 12 FEET BELOW SURFACE.
4. NAME OF THE RECEIVING BODY: REDWOOD CREEK.
5. DRAINAGE FROM NEW DEVELOPMENT WILL BE TIED AND DISCHARGE TO EXISTING 16"RCP ALONE LINDEN ST.
6. SEE TM1 FOR SITE EXISTING CONDITION, INCLUDING IMPERVIOUS/PERVIOUS, TREE LOCATION & SIZE AND EXISTING BUILDING TO REMAIN.
7. SEE 1/- FOR PROPOSED IMPERVIOUS/PERVIOUS DETAILS. THERE IS NO SENSITIVE NATURAL AREAS TO BE PRESERVED AND PROTECTED FROM DEVELOPMENT.
8. THERE IS NO OTHER POLLUTANT SOURCES.

LOW IMPACT – SITE DESIGN MEASURES

1. MINIMIZE IMPERVIOUS SURFACES BY ADOPTING PERVIOUS PAVING AND LANDSCAPE AREAS.

TABLE-1: TREATMENT CONTROL MEASURE SUMMARY TABLE

TREATMENT CONTROL MEASURE SUMMARY TABLE							
DMA	TCM #	Treatment Type	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (s.f.)	Bioretention/ Treatment Area Required (s.f.)	Bioretention/ treatment/Silva Cell Provided (s.f./eq)
1	1	Bioretention	2,356	2,203	153	80	96
2	n/a	Self-retaining (landscape)	518	345	178	178	See note 3
3	n/a	Self-retaining (permeable paving)	4,834	2,084	2,150	2,242	See note 4
4	n/a	Self-retaining (landscape)	892	515	377	258	See note 5
5	n/a	Self-retaining (landscape)	795	521	273	281	See note 5
6	n/a	Silva Cell	4,287	4,206	81	169	See note 6
7	n/a	Silva Cell	1052	1,032	20	41	See note 6

Notes:

1. Simplified flow-based 4% Method is used for sizing Bioretention Area. [(Impervious Area * pervious Area 0.1) x 0.04].

2. For DMA-1 roof drain, through downspouts and sloped drain pipes, the roof drain is connected to bubble-up drains at the bioretention. For DMA-1 lower roof drain, it will be collected and drain to the ground. For DMA-1 deck drain, it will be collected a

3. For DMA 2, drain from accessible parking sheetflow to the landscape areas.

4. For DMA-3 roof drain, the collected roof drain goes down downspouts and discharge to permeable paving area.

5. For DMA-4&5, drain from concrete patios, pads etc. sheetflow to the landscape area.

6. For DMA 6&7, drain from sidewalks and roadways sheetflow to gutters, and divert to the curb inlets, from where it is distributed to and treated at the Silva cells.

TABLE-2: STORMWATER SOURCE CONTROL MEASURE

POTENTIAL SOURCE OF POLLUTANTS	STRUCTURAL SOURCE CONTROLS	OPERATIONAL SOURCE CONTROLS
ON-SITE STORM DRAIN	ON-SITE STORM DRAINS SHALL BE MARKED WITH THE WORDS "NO DUMPING! FLOWS TO BAY" (OR APPLICABLE WATER BODY) APPLIED WITH THERMOPLASTIC OR A MEDALLION.	ALL ON-SITE STORM DRAIN INLETS SHALL BE CLEANED AT LEAST ONCE A YEAR IMMEDIATELY PRIOR TO THE RAINY SEASON.
LANDSCAPING	<ul style="list-style-type: none">• RETAIN EXISTING VEGETATION AS PRACTICABLE.• SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.• USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.	MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. DO NOT OVER WATER.

NOTE:

1. PLEASE SEE THE BEST MANAGEMENT PRACTICES PLAN SHEET IN TM8.
2. RESPONSIBLE PARTY FOR OPERATION & MAINTENANCE:

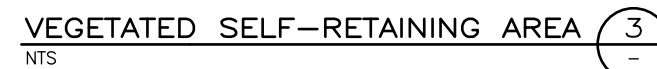
GOLDEN MILLENNIUM ASSETS
CONTACT: MS ZHEN ZHEN LI
PHONE: 1-408-644-5995
EMAIL: zhenzli@gmail.com
ADDRESS: 405 A CURTNER AVE, PALO ALTO CA, 94306

PHASE 2
STORM WATER CONTROL

REDWOOD SQUARE
2336 EL CAMINO REAL
REDWOOD CITY, CA

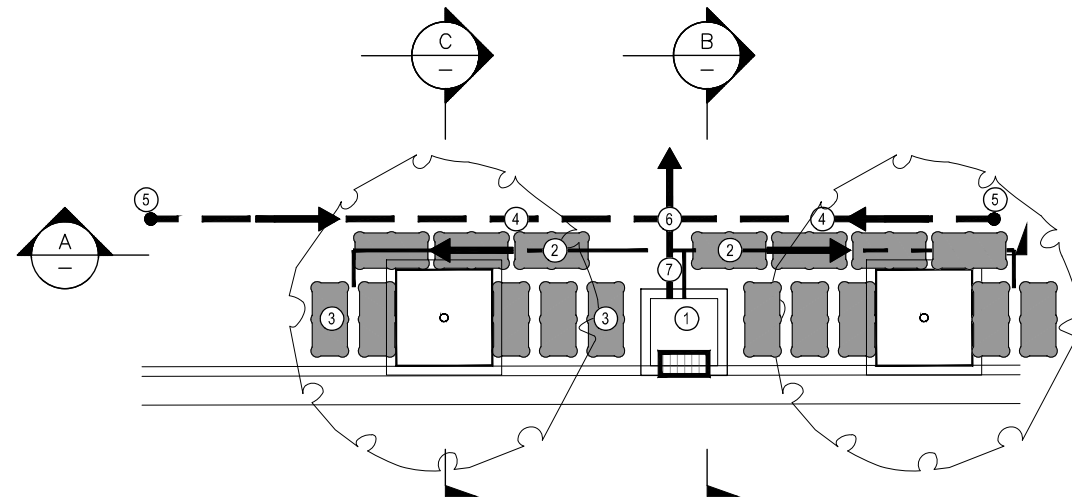
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11.28.23	NEW SUBMITTAL
11.10.22	PC COMMENTS
08.09.22	PC COMMENTS
06.30.22	PC COMMENTS
NO	DATE
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CHECKED:	J. JI
DATE:	February 12, 2024
SCALE:	AS SHOWN
JOB NO.:	
SHEET NO.:	

P2-TM5



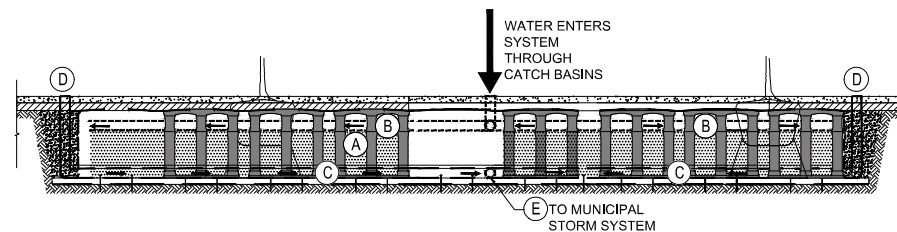
PHASE 2
STORM WATER CONTROL DETAILS-1
REDWOOD SQUARE

P2-TM6.1



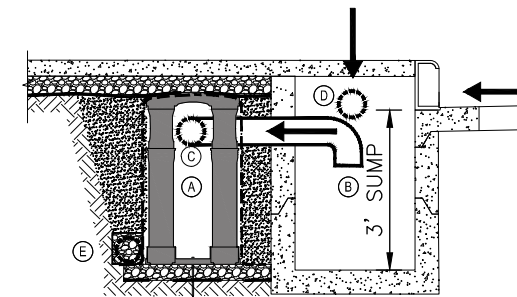
SILVA CELL SUBDRAIN LAYOUT
NTS W/CATCH BASIN

- | | |
|--|--|
| ① STORMWATER ENTERS THE SILVA CELL SYSTEM THROUGH A CATCH BASIN | ⑤ CLEANOUT |
| ② WATER IS DISTRIBUTED THROUGH THE SILVA CELL SYSTEM THROUGH PERFORATED PIPES | ⑥ WATER COLLECTED IN THE COLLECTION PIPE IS DIRECTED TO STORM SYSTEM |
| ③ WATER THEN MOVES THROUGH THE PLANTING SOIL HOUSED WITHIN THE SILVA CELL SYSTEM | ⑦ 6" PVC OVERFLOW PIPE |
| ④ EXCESS WATER IS COLLECTED IN A PERFORATED COLLECTION DRAIN PIPE | |



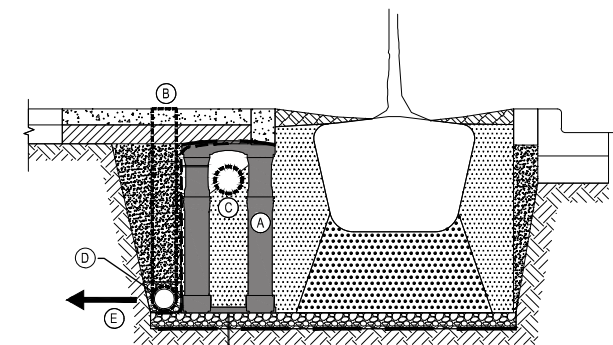
- | | |
|--|----------------------------------|
| ① SILVA CELL SYSTEM (DECK, BASE, AND POSTS) | ④ CLEANOUT |
| ② DISTRIBUTION PIPE | ⑤ CONVEY TO OFFSITE STORM SYSTEM |
| ③ COLLECTION PIPE | → DIRECTION OF WATERFLOW |

LONGITUDINAL SECTION
NTS



- | |
|--|
| ① SILVA CELL SYSTEM (DECK, BASE, AND POSTS) |
| ② CURB INLET |
| ③ DISTRIBUTING PIPE |
| ④ OVERFLOW |
| ⑤ COLLECTING PIPE |
| → DIRECTION OF WATERFLOW |

SECTION AT CATCH BASIN
NTS



- | |
|--|
| ① SILVA CELL SYSTEM (DECK, BASE, AND POSTS) |
| ② CLEANOUT |
| ③ DISTRIBUTING PIPE |
| ④ COLLECTING PIPE |
| ⑤ CONVEY TO STORM MAIN |
| → DIRECTION OF WATERFLOW |

SECTION AT TREE WELL
NTS

Δ		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ	02.12.24	PC COMMENTS
Δ	11.28.23	NEW SUBMITAL
Δ	11.10.22	PC COMMENTS
Δ	08.09.22	PC COMMENTS
Δ	06.30.22	PC COMMENTS
NO	DATE	DESCRIPTION
DESIGNED: J. WU		
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DATE: February 12, 2024		
SCALE: AS SHOWN		
JOB No.:		
SHEET No.:		



VIEW 1 - EL CAMINO REAL



VIEW 2 - 26 HEMLOCK AVE



VIEW 3 - 26 HEMLOCK AVE



VIEW 4 - 65 HEMLOCK AVE



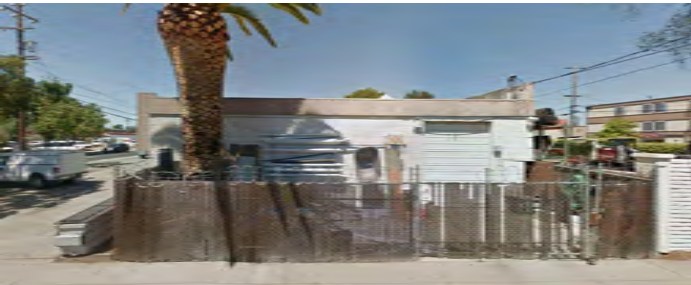
VIEW 5 - 47 HEMLOCK AVE



VIEW 6 - 202 LINDEN STREET



VIEW 7 - CORNER OF HEMLOCK AVE & LINDEN STREET



VIEW 8 - 102 LINDEN STREET



VIEW 9 - 134 HEMLOCK AVE



PROPOSED SITE, VICINITY MAP & ADJACENT ZONING



LOT SPLIT
FOR 2336 EL CAMINO REAL

2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063

PHASE I

date APRIL 5, 2022

Revision:

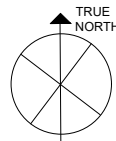
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PC RESPONSE	09.08.2022
PC RESPONSE	11.10.2022

NEW SUBMITTAL 11.30.2023

sheet title

NEIGHBORHOOD
CONTEXT &
ZONING
ANALYSIS

North Point



scale

sheet no.

A0.1-1

of

PHASE I

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PROJECT DATA

ZONING ANALYSIS

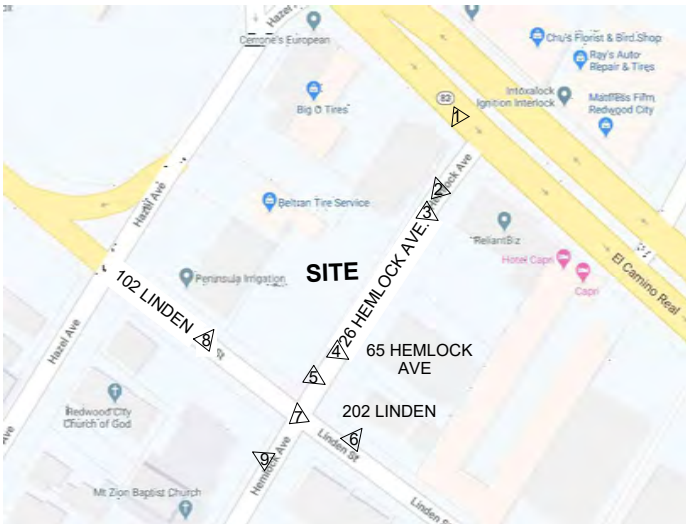
PARKING & OPEN SPACE ANALYSIS

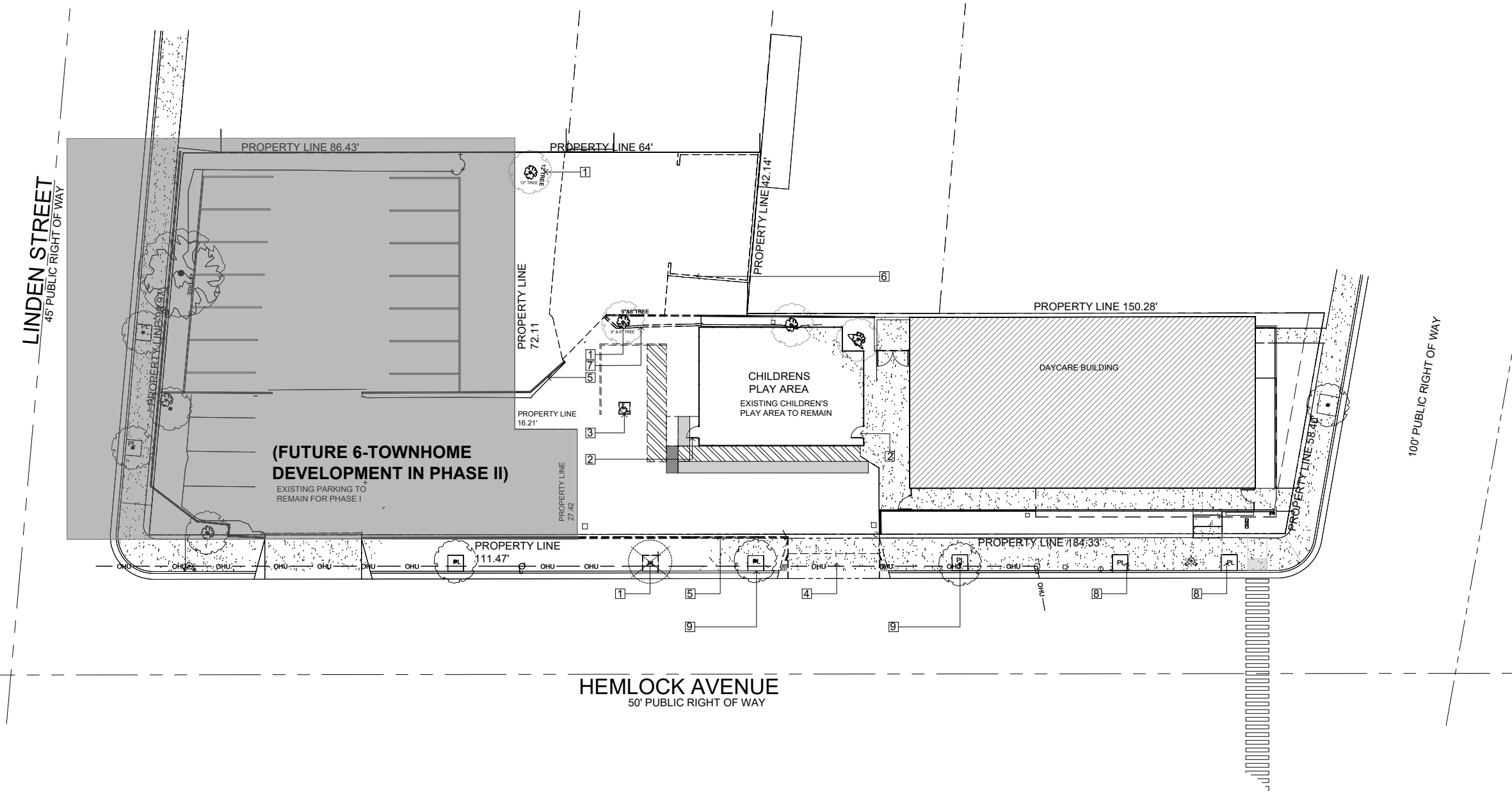
KEY PLAN

PROJECT ADDRESS: 2336 EL CAMINO REAL, REDWOOD CITY, CA 94063
APN NO: 053-309-200
EXISTING LOT AREA: 23,482 SQ.FT./ 0.539 ACRES
LOT AREA A: 13,996 SQ.FT/ 0.321 ACRES
LOT AREA B: 9,487 SQ.FT/0.218 ACRES

ZONING: MIXED USE CORRIDOR (MUC-ECR)
EXISTING OCCUPANCY: E
PHASE I
LOT "A" EXISTING OCCUPANCY TO REMAIN

PRE-SCHOOL PARKING		REQUIREMENT	PROVIDED
5 TEACHERS*	1 PER TEACHER	5	5
1 DIRECTOR	1 PER DIRECTOR	1	1
60 KIDS	1 PER 10 KIDS	6	6
ACCESSIBLE+EVSE PARKING**		12	13
*ONLY TWO CLASSROOMS WITH 5 TEACHERS			
**ACCESSIBLE AISLE WITH PROVISION FOR EVSE ALLOWS FOR THE SPACE TO BE COUNTED TWICE PER AB1100-22511.2 STATE LAW			
BIKE PARKING PROVIDED AT PRE-SCHOOL: 6 (NO CHANGE)			
STREET PARKING SPACES:		AVAILABLE	PROPOSED
ALONG HEMLOCK :		7 SPACES	8 SPACES
TIMED CURBSIDE PARKING ALONG HEMLOCK TO BE ASSIGNED FOR DAYCARE DROP OFF PER CITY TRANSPORTATION DEPARTMENT.			





EXISTING & DEMOLITION PLAN

- SHEET NOTES:**
1. REMOVE EXISTING TREE & PL TO BE REMOVED WHERE OCCURS.
 2. EXISTING DOOR TO REMAIN..
 3. REMOVE EXISTING HC PARKING.
 4. REMOVE EXISTING EXIT RAMP.
 5. REMOVE EXISTING BLOCK WALL PARTIALLY AS INDICATED.
 6. (E) CONCRETE WALL & SHED TO BE DEMOLISHED.
 7. (E) CURB & WALL TO BE DEMOLISHED.
 8. REMOVE (E) PLATE/TREE GRATE.
 9. (E) TREES TO REMAIN. REPLACE (E) TREE GRATE/PLATE. SEE CIVIL & LANDSCAPE SHEETS FOR ADDITIONAL DETAILS.

- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - CENTER LINE OF STREET
 - (E) TREE GRATE
 - (E) TREES
 - (E) RUBBER SURFACE
 - EXISTING STRUCTURE
 - (E) METAL FENCE



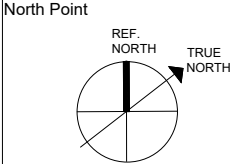
**LOT SPLIT
FOR 2336 EL CAMINO REAL**
2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063
PHASE I

date APRIL 5, 2022

Revision:	
PC RESPONSE	07.07.2022
PC RESPONSE	09.08.2022
PC RESPONSE	11.10.2022

NEW SUBMITTAL 11.10.2023

sheet title
**EXISTING &
DEMOLITION
PLAN**



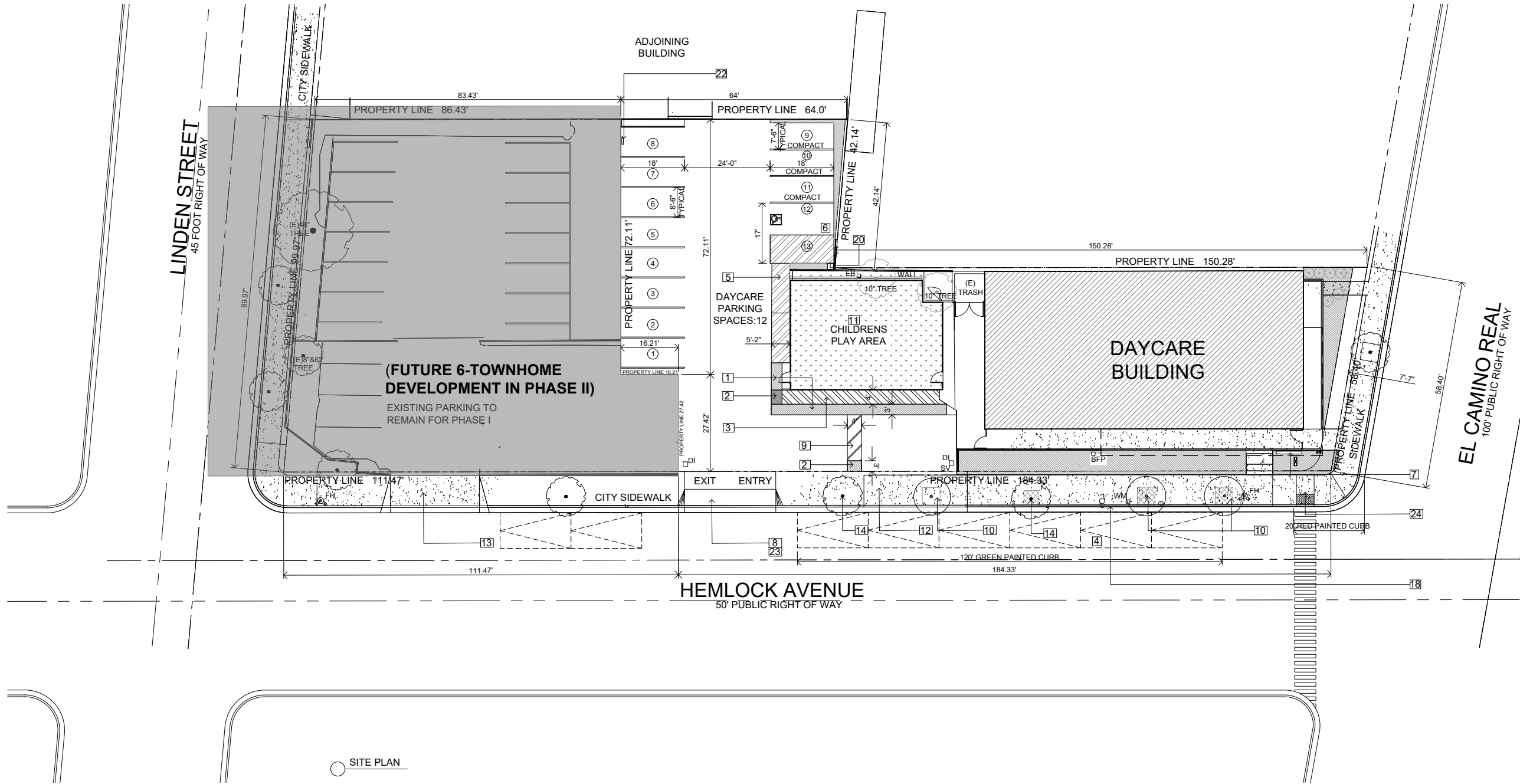
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A0.4-1

of **PHASE I**

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SITE PLAN

STREET PARKING:		
STREET PARKING SPACES:	AVAILABLE	PROPOSED
ALONG HEMLOCK:	7 SPACES	8 SPACES

TIMED CURBSIDE PARKING ALONG HEMLOCK TO BE ASSIGNED FOR DAYCARE PICK-UP/ DROP-OFF PER CITY TRANSPORTATION DEPARTMENT.
TIMED DAYCARE PICK-UP/ DROP-OFF PARKING SPACES FOR 20 MINUTES ONLY DURING SCHOOL HOURS.
NO PARKING ALLOWED BETWEEN 7PM-7AM.

SEE ADDITIONAL PARKING DETAILS ON SHEET A0.1

- SHEET NOTES:
- (E) TRUNCATED DOMES TO REMAIN
 - (N) TRUNCATED DOME
 - (E) ACCESSIBLE PATH TO DAYCARE TO REMAIN.
 - STREET CAR PARKING SPACES
 - (N) ACCESSIBLE WALKWAY TO VAN ACCESSIBLE PARKING.
 - (N) VAN ACCESSIBLE PARKING
 - (E) BACKFLOW PREVENTION ASSEMBLY
 - NEW DRIVEWAY ENTRY TO EXISTING DAYCARE.
 - (N) ACCESSIBLE WALKWAY TO DAYCARE
 - NEW STREET TREE, SEE LANDSCAPE PLAN SHEET L1.0.
 - (E) CHILDREN'S PLAY AREA TO REMAIN.
 - NEW SIDE WALK AS PER REDWOOD CITY STANDARDS, SEE CIVIL PLANS FOR DETAILS.
 - (E) DRIVEWAY ACCESS TO REMAIN IN PHASE I.
 - (E) TREE WITH NEW TREE GRATE/PLATE
 -
 -
 -
 - GREEN PAINTED CURB, WITH SIGNS FOR 20 MINUTE PARKING FOR PICKUP & DROP-OFF FOR DAYCARE SIGN TO STATE THAT PARKING FOR DAYCARE PICK-UP/DROP-OFF AVAILABLE ONLY DURING SCHOOL HOURS. NO PARKING ALLOWED FROM 7PM-7AM.
 -
 - EVSE PROVISION AT ACCESSIBLE AISLE.
 -
 - PARKING SPACE MARKED AS NUMBER 8 WILL BE ASSIGNED FOR U-TURN DURING PICK-UP AND DROP-OFF TIMES. SIGN AT THE PARKING TO STATE THAT "NO PARKING ALLOWED DURING DROP-OFF & PICK-UP TIMES".
 - SEE CIVIL SHEETS & CIVIL NOTES FOR ADDITIONAL DETAILS.
 - NEW SIDEWALK CURB RAMP AT ECR+HEMLOCK INTERSECTION, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.

- LEGEND
- PROPERTY LINE
 - SETBACK LINE
 - CENTER LINE OF STREET
 - WALKWAY
 - (E) RUBBER SURFACE
 - (E) LANDSCAPE AREA
 - EXISTING STRUCTURE
 - METAL FENCE
 - (N) TREE GRATE & TREE
 - (E) TREES
 - TRANSFORMER & SWITCHGEAR
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER METER
 - DRAINAGE INLET
 - ELECTRIC BOX
 - BACKFLOW PREVENTER
 - PEDESTRIAN ENTRY
 - VEHICULAR ENTRY/ EXIT



LOT SPLIT
FOR 2336 EL CAMINO REAL

2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063

PHASE I

date APRIL 5, 2022

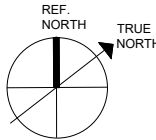
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PC RESPONSE	07.07.2022
PC RESPONSE	09.08.2022
PC RESPONSE	11.10.2022

NEW SUBMITTAL 11.10.2023

sheet title

PROPOSED
SITE PLAN

North Point



scale 1/32" = 1'-0"

sheet no.

A1.0-1

of PHASE I

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PLANT LEGEND:

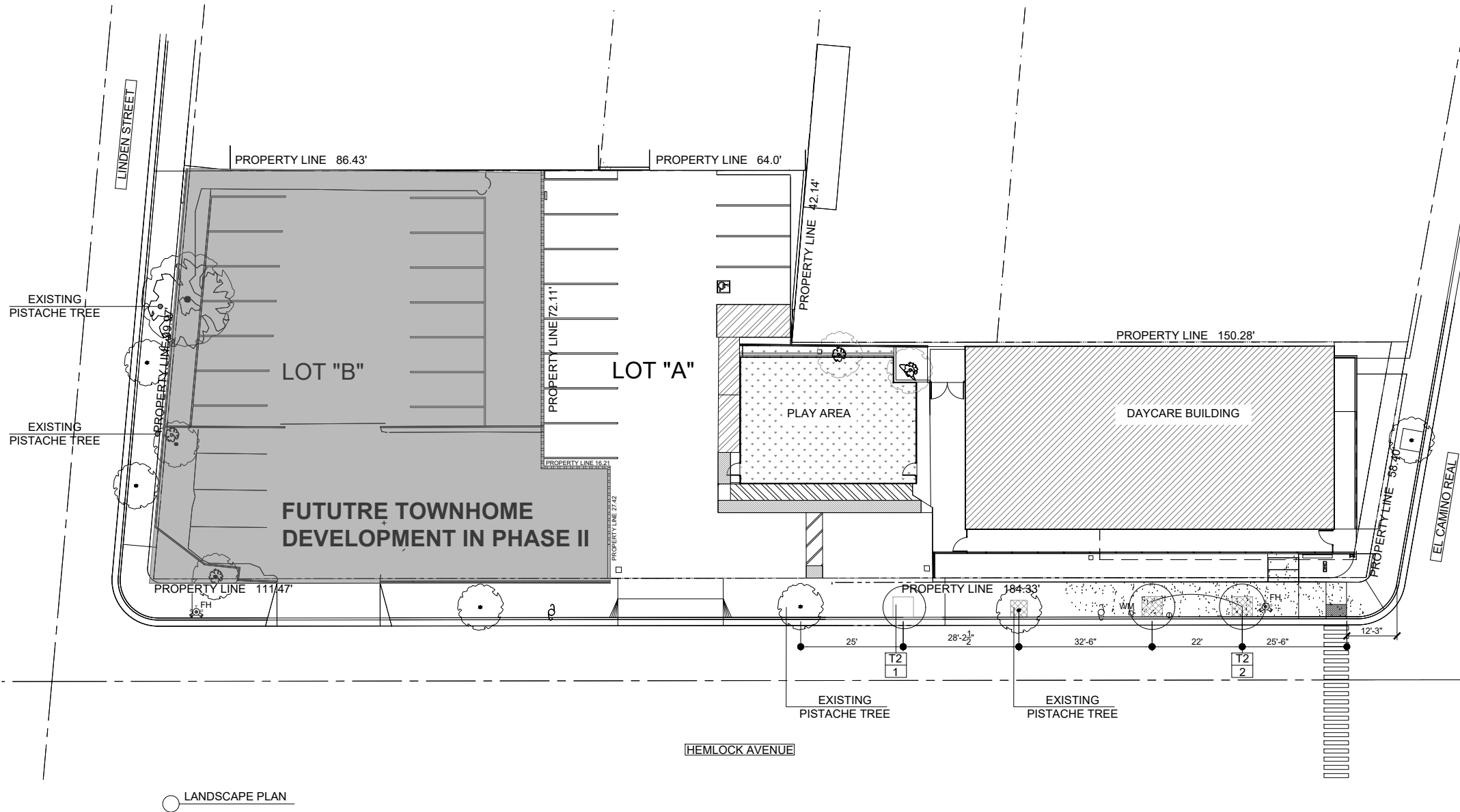
KEY BOTANICAL & COMMON NAMES	QTY	SIZE	WATER REQ'T	COMMENTS
TREES:				
T2 Pistacia c. "Keith Davies" / Chinese Pistache	3	24" box	L	Standard

NOTES:

- Quantities in the Plant Legend are for general reference only (Verify count per Plan).
- T2 indicates plant key
3 indicates plant count
- Location of trees and shrubs are schematic and shall be adjusted in the filed.
TO avoid conflicts with utilities, tree roots, irrigation equipments, etc.
- Refer to Details and Specifications for further information.



T2 - CHINESE PISTACHE



LOT SPLIT
FOR 2336 EL CAMINO REAL

2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063

PHASE I

date APRIL 5, 2022

Revision:

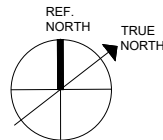
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PC RESPONSE	11.10.2022

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sheet title

LANDSCAPE
PLAN

North Point



scale 1/32" = 1'-0"

sheet no.

L1.0

of PHASE I

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VIEW 1 - EL CAMINO REAL



VIEW 2 - 26 HEMLOCK AVE



VIEW 3 - 26 HEMLOCK AVE



VIEW 4 - 65 HEMLOCK AVE



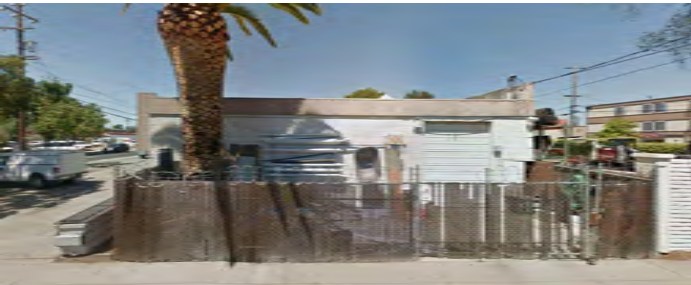
VIEW 5 - 47 HEMLOCK AVE



VIEW 6 - 202 LINDEN STREET



VIEW 7 - CORNER OF HEMLOCK AVE & LINDEN STREET



VIEW 8 - 102 LINDEN STREET



VIEW 9 - 134 HEMLOCK AVE



PROPOSED SITE, VICINITY MAP & ADJACENT ZONING



date APRIL 5, 2022

Revision:

PC RESPONSE	07.07.2022
PC RESPONSE	09.08.2022
PC RESPONSE	11.10.2022

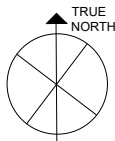
NEW SUBMITTAL 11.30.2023

PC RESPONSE	02.12.2024
PC RESPONSE	03.04.2024

sheet title

NEIGHBORHOOD
CONTEXT &
ZONING
ANALYSIS

North Point



scale

sheet no.

A0.1

of PHASE II

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PROJECT DATA

PROJECT ADDRESS: 2336 EL CAMINO REAL, REDWOOD CITY, CA 94063
APN NO: 053-309-200
LOT AREA A: 13,995 SQ.FT/ 0.32 ACRES (PHASE I)
LOT AREA B: 9,487 SQ.FT/0.217 ACRES (PHASE II)

ZONING ANALYSIS

ZONING: MIXED USE CORRIDOR-EL CAMINO REAL (MUC-ECR)
PROPOSED OCCUPANCY ON LOT B: R3
TYPE OF CONSTRUCTION PROPOSED: TYPE IIIA
RESIDENTIAL USE: PERMITTED (FAR APPLICABLE TO COMMERCIAL USE ONLY)
PROPOSED UNITS: 6-TOWNHOMES (3 BR UNITS)

HEIGHT & DENSITY STANDARDS:	ALLOWED	PROPOSED
MAXIMUM HEIGHT & STORY:	85 FEET	34'-10" & THREE STORIES
ALLOWABLE DENSITY (80 DU/AC)	17 DU	6 UNITS

SETBACKS & SIDEWALK:	MINIMUM REQ'D	PROPOSED
SECONDARY STREET SIDEWALK WIDTH:	CASE BY BASE BASIS	9'-7" & 9'-0" (HEMLOCK & LINDEN)
FRONT SETBACK:	6'-0"	6'-0"
SIDE SETBACK:	5'-0"	5'-0" MIN (VARIES)
STREET SIDE SETBACK:	5'-0"	5'-0" MIN
REAR SETBACK:	0'-0"	5'-0"

PARKING & OPEN SPACE ANALYSIS

OPEN SPACES:	REQUIRED	PROPOSED
PRIVATE RESIDENTIAL OPEN SPACE REQUIREMENT:		
MINIMUM AREA:	125 SQ.FT/PER UNIT	127 SQ.FT.MIN - 133 SQ.FT. (VARIES), SEE IN SHEET A0.3
MINIMUM DIMENSION:	6 FT MIN. L/W	6 FT MIN (VARIES)
PRIVATE STORAGE AREA (IN GARAGE)	80 CU.FT MIN.	82 CU.FT.MIN - 383 CU.FT VARIES, SEE SHEET A0.3

PARKING: Per Article 30.4B of Redwood City Municipal Code

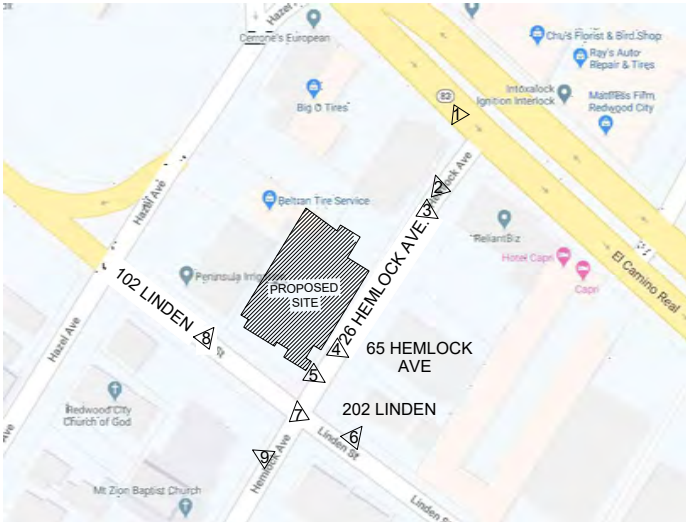
RESIDENTIAL PARKING	REQUIREMENT	UNITS	REQUIRED PARKING	PROVIDED
PARKING SPACES REQUIRED PER RESIDENTIAL UNIT:				
2 BR UNITS OR LARGER:	1 SPACES/UNIT	6	1 PER UNIT	2 PER UNIT (TANDEM)
TOTAL PARKING			6	12

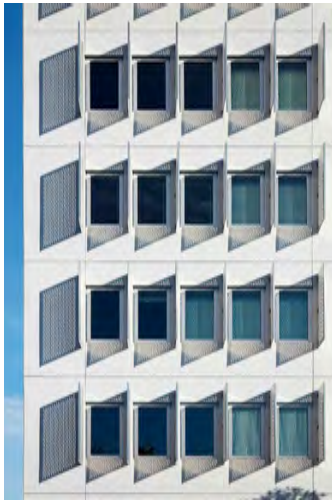
BIKES PARKING:	REQUIREMENT	UNITS	REQUIRED PARKING	PROVIDED
1 CLASS				
GUEST BIKES PARKING	1 PER 3 UNITS	6	2 CLASS I BIKES	3 BIKE LOCKERS
	5% OF 6		0.3	2 CIRCULAR BIKE RACKS

STREET PARKING SPACES:	AVAILABLE	PROPOSED
ALONG HEMLOCK :	7 SPACES	8 SPACES
ALONG LINDEN:	4 SPACES	4 SPACES
TOTAL STREET PARKING:		12 SPACES

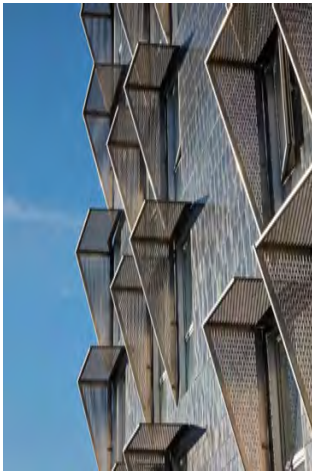
TIMED CURBSIDE PARKING ALONG HEMLOCK TO BE ASSIGNED FOR DAYCARE DROP OFF PER CITY TRANSPORTATION DEPARTMENT.

KEY PLAN

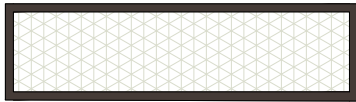




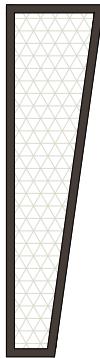
WINDOW SHADING PATTERN CREATES INTERESTS IN FACADE



WINDOW SHADING USING PERFORATED METAL PANELS



HORIZONTAL WINDOW AWNING



VERTICAL WINDOW AWNING



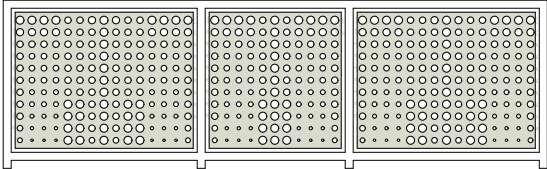
WINDOW CLOSE UP VIEW



PROPOSED RENDERING OF PROJECT (STREET TREES NOT SHOWN FOR CLARITY)



FROSTED GLASS GARAGE DOORS



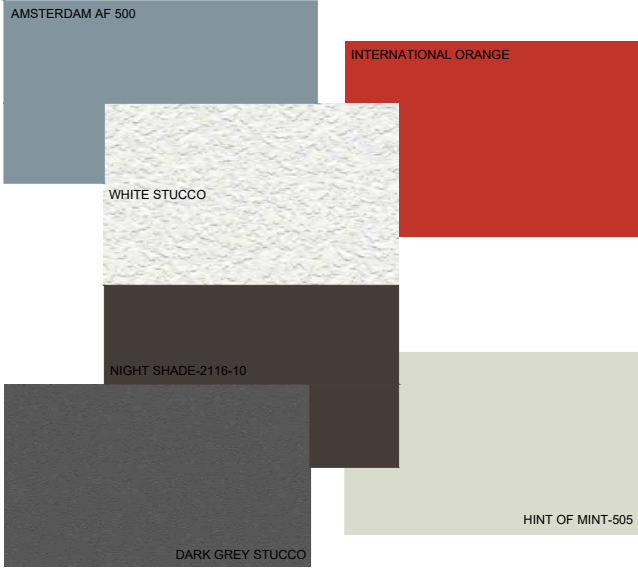
COLOR TREATMENT OF GUARD RAIL - PERFORATED STEEL INFILL - HINT OF MINT-505



COLOR TREATMENT OF WINDOW PROJECTIONS NIGHT SHADE-2116-10 AT FRAME WITH HINT OF MINT-505 (PERFORATED STEEL AWNING)



PANEL SIDING CREATING VERTICAL FACADE PATTERN WITH 6" AND 11" EXPOSURE



COLOR PALETTE



SELECTED COLOR MIX OF GREY, WHITE & BLUE WITH SIDING

- NOTES:
1. TRELLIS - INTERNATIONAL ORANGE (ENGINEERING)
 2. VERTICAL SIDING - AMSTERDAM AF 500
 3. WOOD TRIM - DARK GREY STUCCO
 4. WINDOW FRAME - NIGHT SHADE-2116-10
 5. GARAGE DOOR FRAME - NIGHT SHADE-2116-10
 6. PERFORATED STEEL AWNING - HINT OF MINT-505
 7. GUARD RAIL-PERFORATED STEEL INFILL-HINT OF MINT-505
 8. BIKE LOCKERS - HINT OF MINT-505
 9. WALKWAY - DARK GREY
 10. MECHANICAL SCREENING - DARK GREY



REDWOOD SQUARE TOWNHOMES

2336 EL CAMINO REAL
REDWOOD CITY, CA 94063

PHASE II

date APRIL 5, 2022

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sheet title
CONCEPT SHEET-
EXTERIOR
MATERIAL &
COLORS

North Point

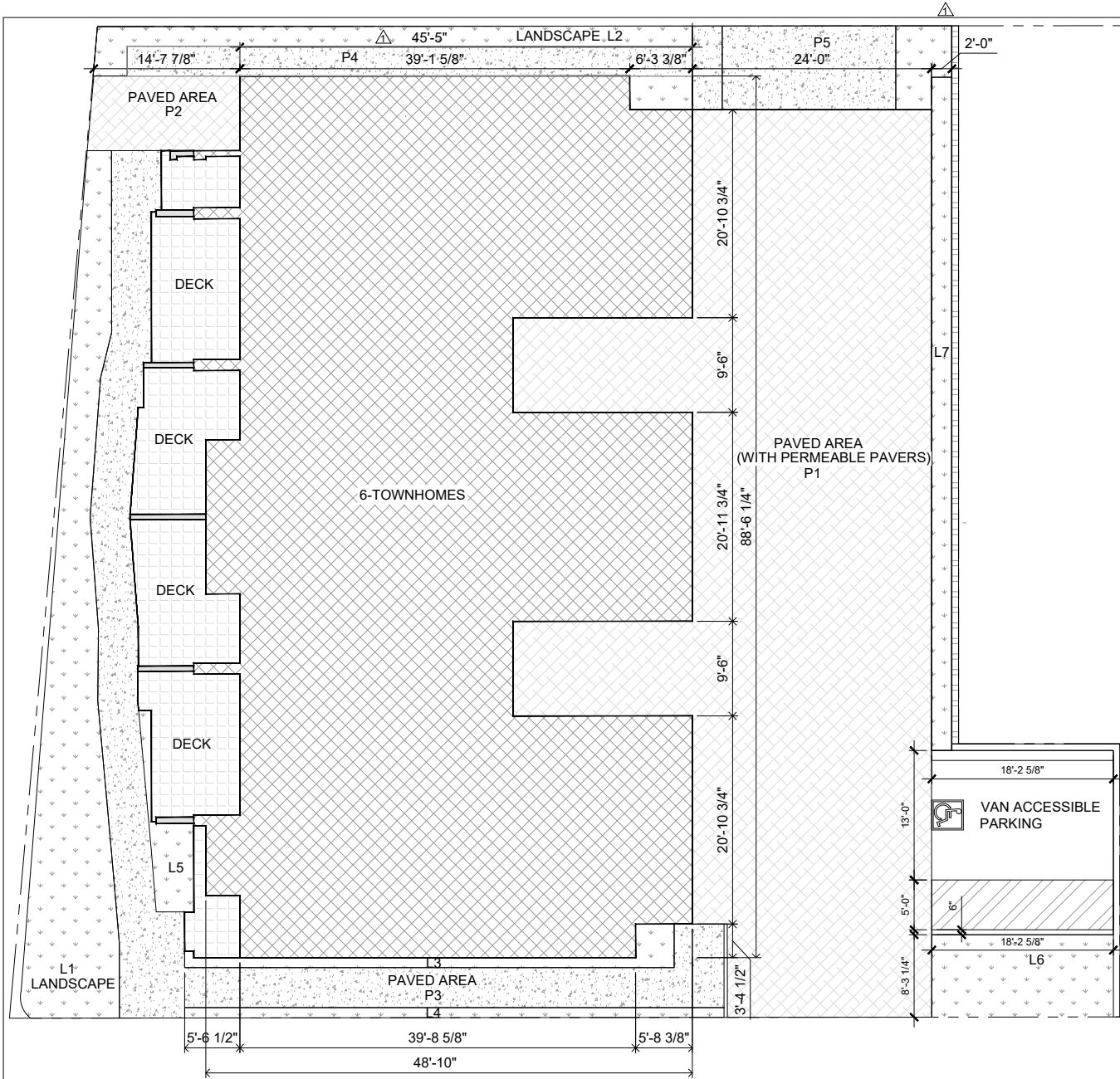
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sheet no.

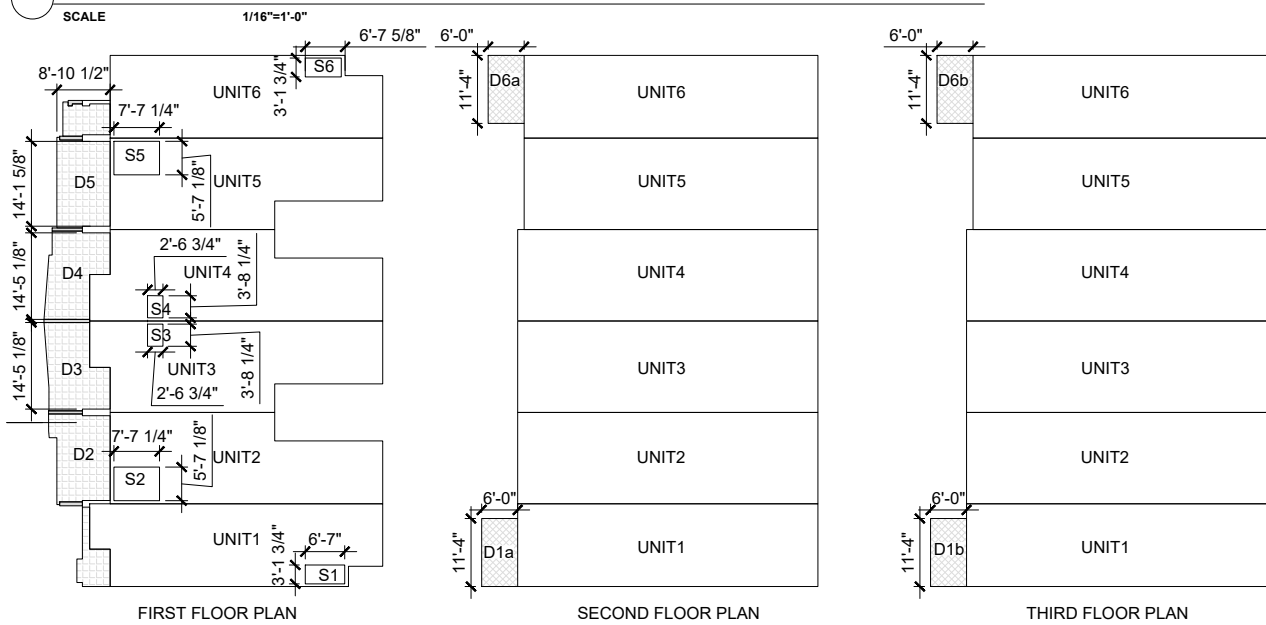
A0.2

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PROPOSED PAVED, LANDSCAPING, DRIVEWAY, RESIDENCE BLOCK, DECK & GARAGE OUTLINE DIAGRAMS



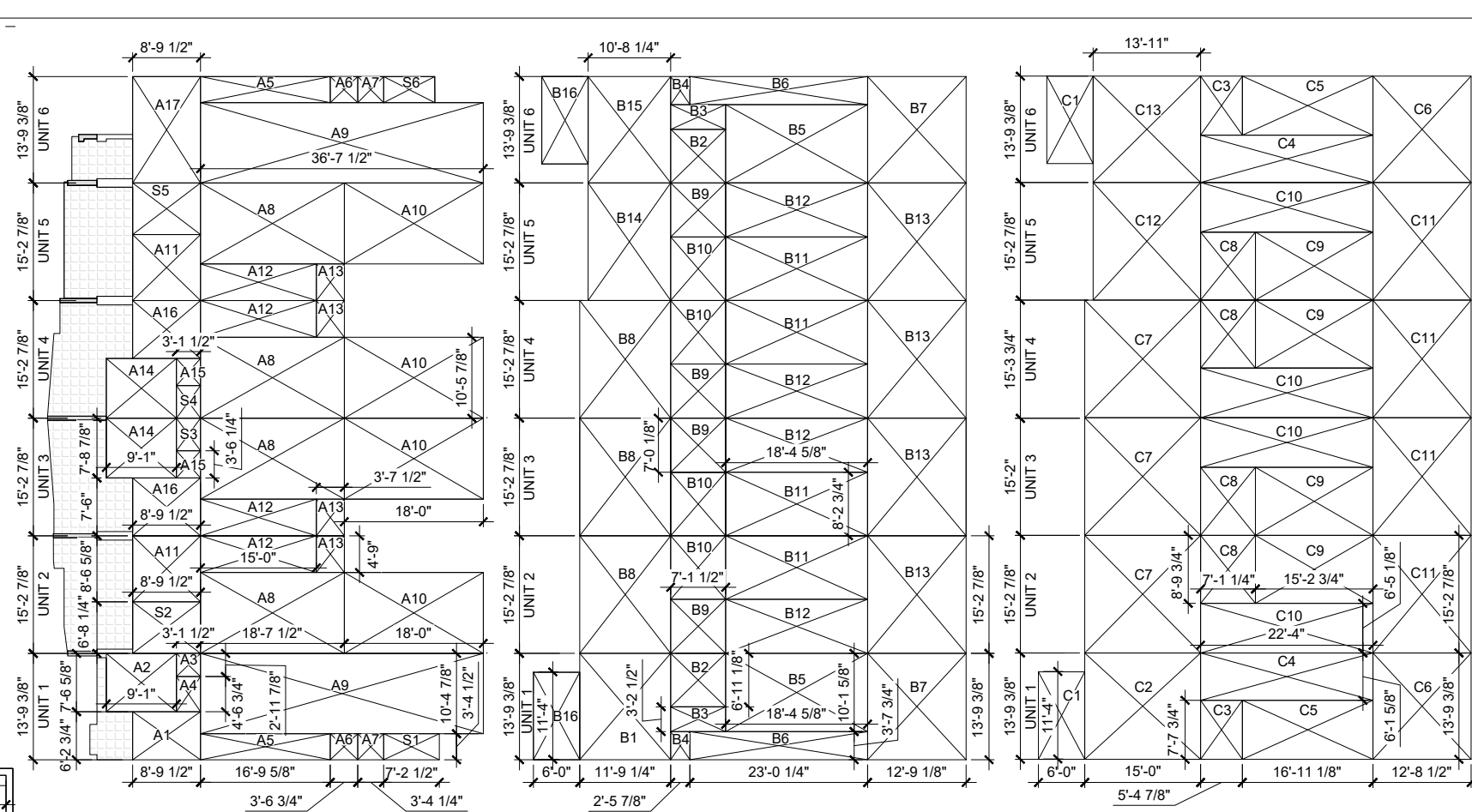
PROPOSED UNITS & DECK / PATIO OUTLINE DIAGRAMS

SCALE 1/32"=1'-0"

PROPOSED DECK AREA:
D1a+D1b= 68 SQ.FT.+68 SQ.FT= 136 SQ.FT
D2 =127.91 SQ.FT
D3 =133.32 SQ.FT
D4 =125.49 SQ.FT
D5 =127.92 SQ.FT
D6a+D6b= 68 SQ.FT.+68 SQ.FT=136 SQ.FT
TOTAL PROPOSED DECK AREA: **786.64 SQ.FT**

STORAGE AREA ANALYSIS:

TOWNHOUSE	STORAGE	STORAGE VOLUME IN CU.FT.
UNIT 1	S1	186.39
UNIT 2	S2	382.95
UNIT 3	S3	82.35
UNIT 4	S4	82.35
UNIT 5	S5	382.95
UNIT 6	S6	169.83



PROPOSED FLOOR AREA DIAGRAMS

SCALE 3/64"=1'-0"

TOTAL PROPOSED AREA:

FIRST FLOOR	AREA (L x B)	AREA (SQ.FT)
A1	8'-9 1/2" x 6'-2 3/4"	54.76
A2	9'-1" x 7'-6 5/8"	68.58
A3	3'-1 1/2" x 2'-11 7/8"	9.43
A4	3'-1 1/2" x 4'-6 3/4"	14.25
A5	16'-9 5/8" x 3'-4 1/2"	56.70
A6	3'-6 3/4" x 3'-4 1/2"	12.02
A7	3'-4 1/4" x 3'-4 1/2"	11.32
A8	18'-7 1/2" x 10'-5 7/8"	195.36
A9	36'-7 1/2" x 10'-4 7/8"	381.12
A10	18'-0" x 10'-5 7/8"	188.81
A11	8'-9 1/2" x 8'-6 5/8"	75.16
A12	15'-0" x 4'-9"	71.25
A13	3'-7 1/2" x 4'-9"	17.21
A14	9'-1" x 7'-7 7/8"	70.30
A15	3'-1 1/2" x 3'-6 1/4"	11
A16	8'-9 1/2" x 7'-6"	65.93
A17	8'-9 1/2" x 13'-9 3/8"	121.16

SECOND FLOOR	AREA (L x B)	AREA (SQ.FT)
B1	11'-9 1/4" x 13'-9 3/8"	162.21
B2	7'-1 1/2" x 6'-11 1/8"	49.35
B3	7'-1 1/2" x 3'-2 1/2"	22.85
B4	2'-5 7/8" x 3'-7 3/4"	9.07
B5	18'-4 5/8" x 10'-1 5/8"	186.34
B6	23'-0 1/4" x 3'-7 3/4"	83.93
B7	12'-9 1/8" x 13'-9 3/8"	175.85
B8	11'-9 1/4" x 15'-2 7/8"	179.38
B9	7'-1 1/2" x 7'-0 1/8"	49.94
B10	7'-1 1/2" x 8'-2 3/4"	58.63
B11	18'-4 5/8" x 8'-2 3/4"	151.29
B12	18'-4 5/8" x 7'-0 1/8"	128.88
B13	12'-9 1/8" x 15'-2 7/8"	194.46
B14	11'-9 1/4" x 15'-2 7/8"	162.83
B15	10'-8 1/4" x 13'-9 3/8"	147.28
B16	6'-0" x 11'-4"	68

THIRD FLOOR	AREA (L x B)	AREA (SQ.FT)
C1	6'-0" x 11'-4"	68
C2	15'-0" x 13'-9 3/8"	206.71
C3	5'-4 7/8" x 7'-7 3/4"	41.36
C4	22'-4" x 6'-1 5/8"	137.02
C5	16'-11 1/8" x 7'-7 3/4"	129.38
C6	12'-8 1/2" x 13'-9 3/8"	175.13
C7	15'-0" x 15'-2 7/8"	228.59
C8	7'-1 1/4" x 8'-9 3/4"	62.60
C9	15'-2 3/4" x 8'-9 3/4"	134.20
C10	22'-4" x 6'-5 1/8"	143.53
C11	12'-8 1/2" x 15'-2 7/8"	193.67
C12	14'-11 3/8" x 15'-2 7/8"	212.03
C13	13'-11" x 15'-2 7/8"	191.78

UNIT ANALYSIS:

TOWNHOUSE	FIRST FLOOR AREA (SQ.FT)	SECOND FLOOR AREA (SQ.FT)	THIRD FLOOR AREA (SQ.FT)	PRIVATE OPEN SPACE (DECK & PAITO) AREA (SQ.FT)	TOTAL AREA (SQ.FT)	ACCESSIBLE FIRST FLOOR & POWDER ROOM	ADAPTABLE
UNIT 1	632.45	757.62	757.62	136	2283.69	NO	NO
UNIT 2	606.65	762.62	762.62	133.32	2265.21	NO	NO
UNIT 3	633.07	762.61	762.61	127.68	2285.97	NO	NO
UNIT 4	633.07	762.61	762.61	124.48	2282.77	YES	YES
UNIT 5	606.65	746.10	746.10	127.98	2226.83	NO	NO
UNIT 6	604.69	742.70	742.70	136	2226.09	NO	NO
AGGREGATE AREA	3716.58	4534.26	4534.26	786.64	13570.56	NO	NO

LANDSCAPED AREA:

L1: 454.42 SQ.FT
L2: 150.34 SQ.FT
L3: 62.80 SQ.FT
L4: 54.97 SQ.FT
L5: 45.49 SQ.FT
L6: 150.60 SQ.FT
L7: 175.10 SQ.FT
TOTAL LANDSCAPE AREA
= **1,093.72 SQ.FT**
(L1+L2+L3+L4+L5+L6+L7)

HARDSCAPE AREA:

P1: 2834.17 SQ.FT. (WITH PERMEABLE PAVERS)
P2: 112.40 SQ.FT. (WITH CONCRETE PAVING)
P3: 624.46 SQ.FT. (WITH CONCRETE PAVING)
P4: 178.66 SQ.FT. (WITH CONCRETE PAD)
P5: 146.28 SQ.FT. (WITH CONCRETE PAD)
TOTAL HARDSCAPE AREA
= **3,895.97 SQ.FT**
(P1+P2+P3+P4+P5)

ACCESSIBILITY:

TOTAL PROPOSED UNITS : 6
REQUIRED NO. OF UNITS TO MEET CBC 1102A. 3.1 = 1 UNIT
10% OF UNITS TO HAVE THE FOLLOWING
1. PRIMARY ENTRY ON ACCESSIBLE ROUTE
2. AT LEAST ONE POWDER ROOM/BATHROOM AT THE PRIMARY LEVEL.
3. NO LIVING SPACES PROVIDED AT FIRST FLOOR.
4. NO COMMON AREAS PROPOSED.

LEGEND

- PROPERTY LINE
- SETBACK LINE
- CMU WALL
- PAVED AREA
- (N) PROPOSED BUILDING
- LANDSCAPE
- DECK
- CONC. PAVED



REDWOOD SQUARE TOWNHOMES

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PHASE II

date APRIL 5, 2022

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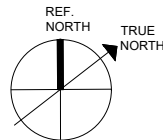
PC RESPONSE	07.07.2022
PC RESPONSE	09.08.2022
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sheet title

AREA CALCULATIONS

North Point



scale AS SHOWN

sheet no.

A0.3

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VIEW -1
LOOKING WEST ON LINDEN STREET



VIEW -2
LOOKING SOUTH ON HEMLOCK AVENUE



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sheet title

3D VIEWS

North Point

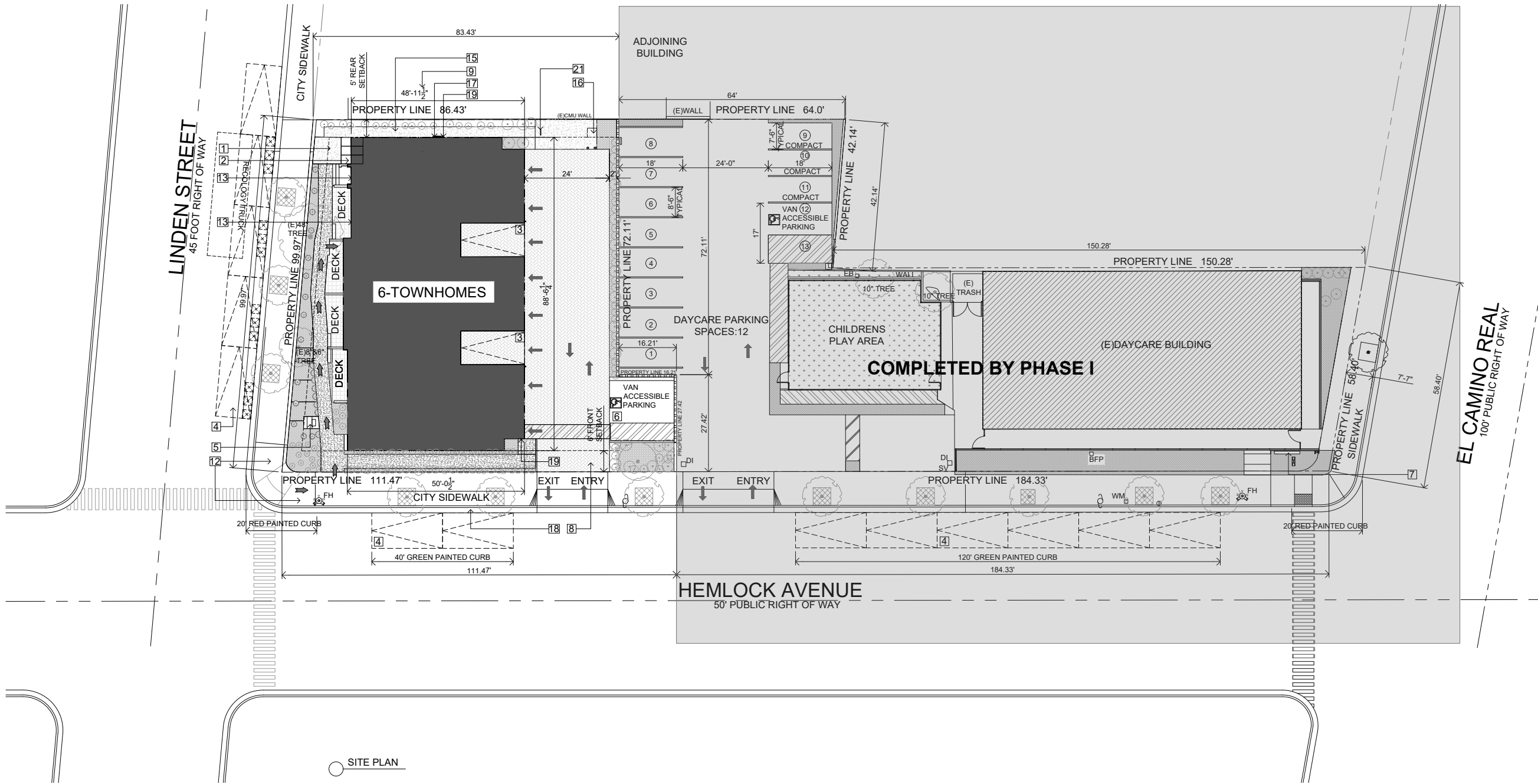
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SITE PLAN

STREET PARKING:		
STREET PARKING SPACES:	AVAILABLE	PROPOSED
ALONG HEMLOCK:	7 SPACES	8 SPACES
ALONG LINDEN:	4 SPACES	4 SPACES
TOTAL STREET PARKING	11 SPACES	12 SPACES

TIMED CURBSIDE PARKING ALONG HEMLOCK TO BE ASSIGNED FOR DAYCARE PICK-UP/ DROP-OFF PER CITY TRANSPORTATION DEPARTMENT.
TIMED DAYCARE PICK-UP/ DROP-OFF PARKING SPACES FOR 20 MINUTES ONLY DURING SCHOOL HOURS.
NO PARKING ALLOWED BETWEEN 7PM-7AM.

SEE ADDITIONAL PARKING DETAILS ON SHEET A0.1

- SHEET NOTES:**
- (N) CONCRETE PAVING TO SIDEWALK EDGE.
 - 3 COVERED BIKE PARKING SPACES
 - GUEST PARKING - 10'X18'
 -
 - TRANSFORMER & SWITCHGEAR
 - (N) VAN ACCESSIBLE PARKING SPACE
 - (E) BACKFLOW PREVENTION ASSEMBLY
 - DRIVEWAY ENTRY TO PROPOSED DEVELOPMENT.
 - SEE AREA CALCULATION SHEET FOR DETAILED BUILDING DIMENSIONS
 - SEE LANDSCAPE PLAN SHEET L1.0
 - SEE CIVIL PLANS FOR FDC & BFP CONNECTIONS & DETAILS
 - NEW SIDE WALK AS PER REDWOOD CITY STANDARDS, SEE CIVIL PLANS FOR DETAILS.
 - BUILDING ADDRESS AT FIRST FLOOR AT EACH UNIT, SEE SHEET A5.1 .
 -
 - 3 FEET WIDE ACCESS PATH FOR FIRE FIGHTERS.
 - PROVISIONAL LOCATION FOR BACK-UP GENERATOR, W/REMOVABLE BOLLARD IN FRONT.
 - ROOF ACCESS HATCH
 - GREEN PAINTED CURB, WITH SIGNS FOR 20 MINUTE PARKING FOR PICKUP & DROP-OFF FOR DAYCARE SIGN TO STATE THAT PARKING FOR DAYCARE PICK-UP/DROP-OFF AVAILABLE ONLY DURING SCHOOL HOURS. NO PARKING ALLOWED FROM 7PM-7AM.
 - KNOX BOX FOR FIRE DEPARTMENT ACCESS, SEE NOTE #14 ON SHEET A2.1.
 -
 - CIRCULAR DUAL BIKE STAND
 -
 - SEE CIVIL SHEETS & CIVIL NOTES FOR ADDITIONAL DETAILS.

- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - CENTER LINE OF STREET
 - CMU FENCE
 - PERMEABLE PAVERS
 - WALKWAY
 - RUBBER SURFACE
 - LANDSCAPE AREA
 - EXISTING STRUCTURE
 - PROPOSED RESIDENTIAL BLDG
 - DECK AREA
 - METAL FENCE
 - (N) TREE GRATE & TREE
 - (E) TREES
 - TRANSFORMER & SWITCHGEAR
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER METER
 - DRAINAGE INLET
 - ELECTRIC BOX
 - BACKFLOW PREVENTER
 - PEDESTRIAN ENTRY
 - VEHICULAR ENTRY/ EXIT
 - RECOLOGY BIN PATH



REDWOOD SQUARE TOWNHOMES

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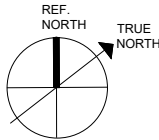
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SITE PLAN

North Point



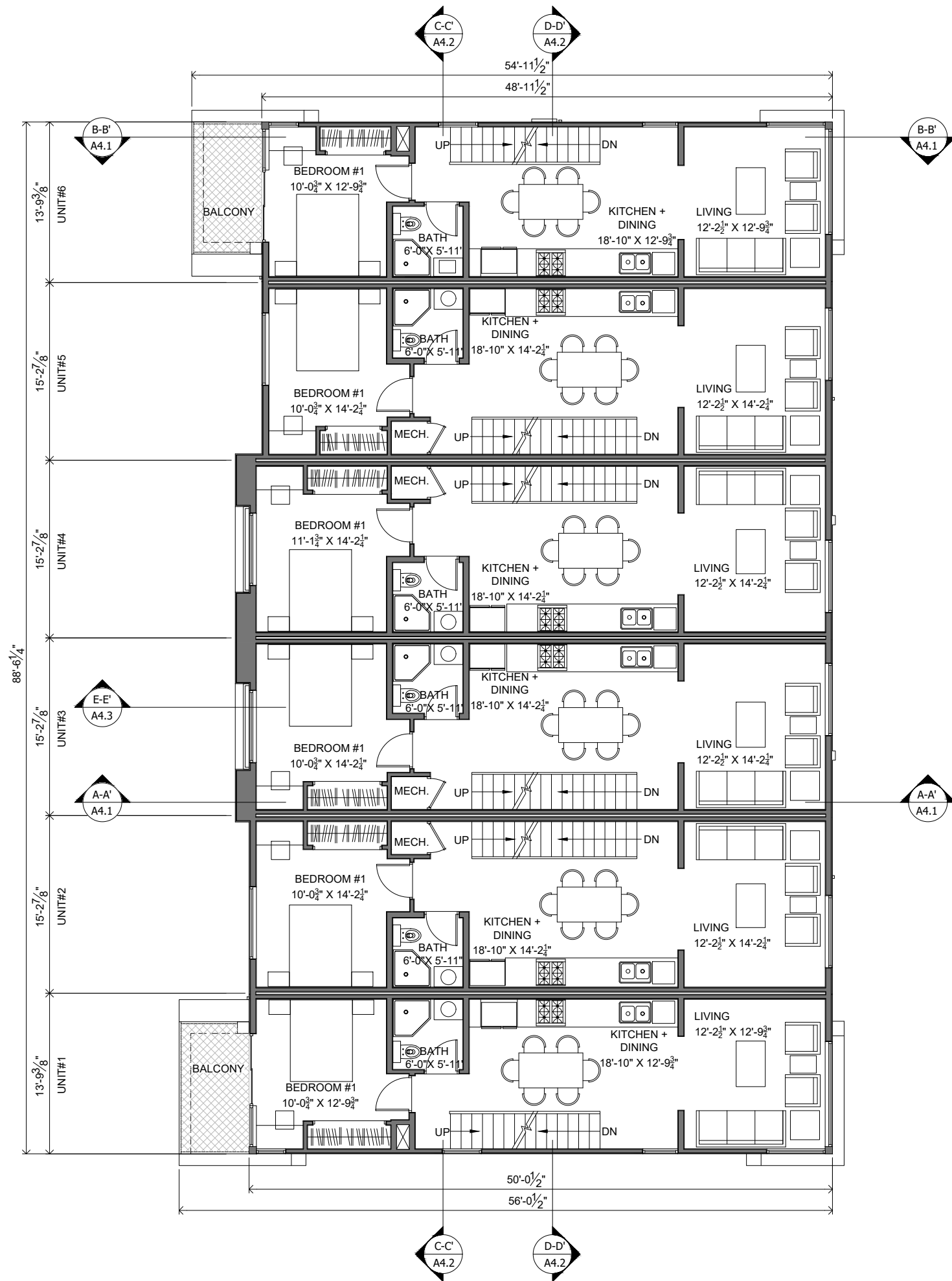
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sheet no.

A1.0

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SECOND FLOOR PLAN

- SHEET NOTES:**
- SEE AREA CALCULATION SHEET FOR FLOOR AREA DETAILS
 - STORAGE FOR ALL UNITS SHOWN IN THE GARAGE..

- LEGEND**
- 2X EXTERIOR WALL
 - 2-2X DEMISING WALL (RATED)
 - 2X INTERIOR WALL

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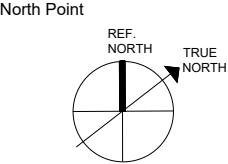
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sheet title
SECOND FLOOR PLAN



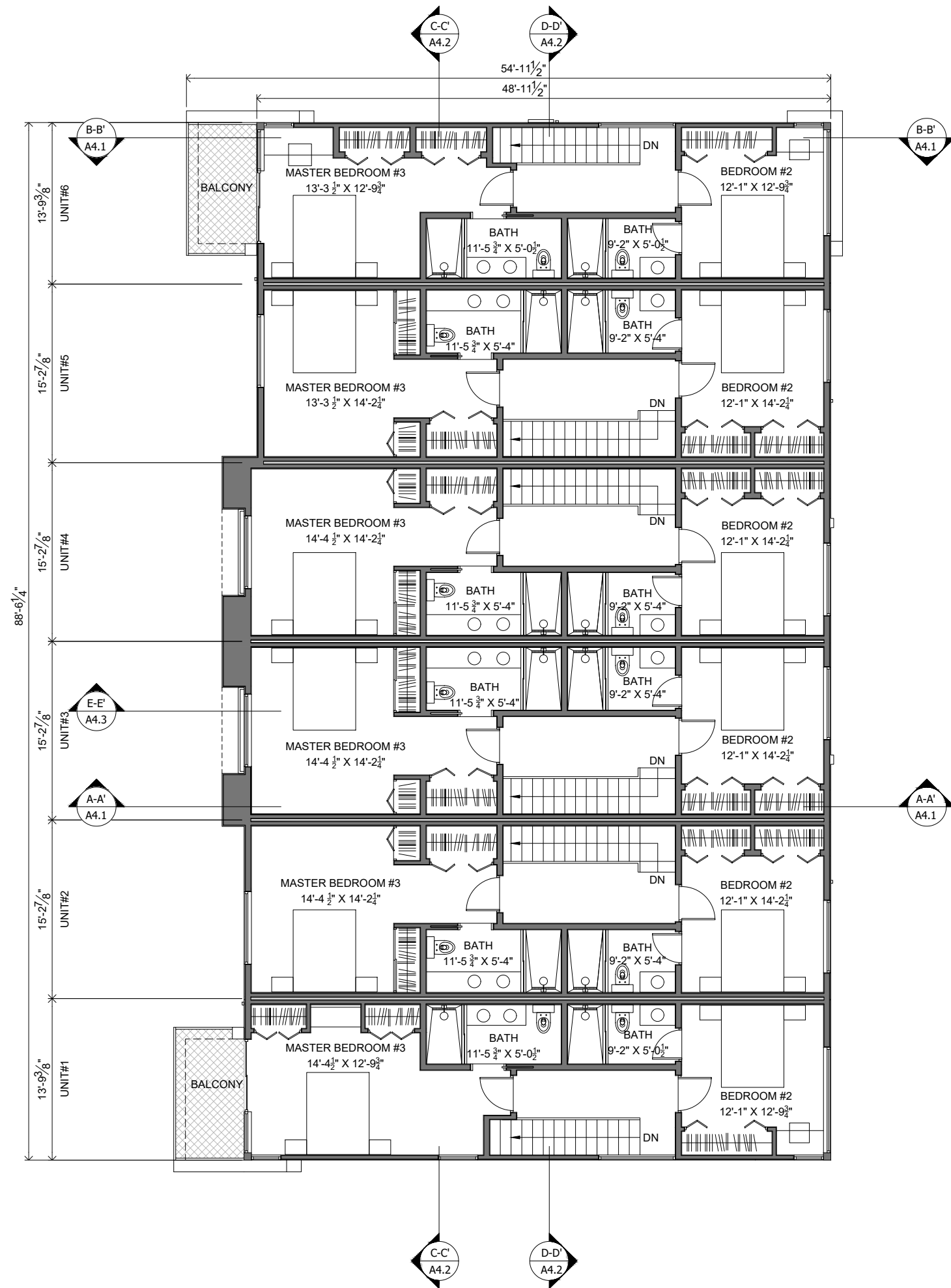
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○ THIRD FLOOR PLAN

- SHEET NOTES:**
1. SEE AREA CALCULATION SHEET FOR FLOOR AREA DETAILS
 2. STORAGE FOR ALL UNITS SHOWN IN THE GARAGE..

- LEGEND**
- 2X EXTERIOR WALL
 - 2-2X DEMISING WALL (RATED)
 - 2X INTERIOR WALL

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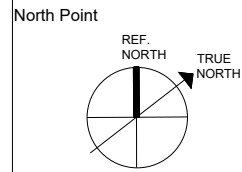
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sheet title

THIRD FLOOR PLAN



scale 3/32" = 1'-0"

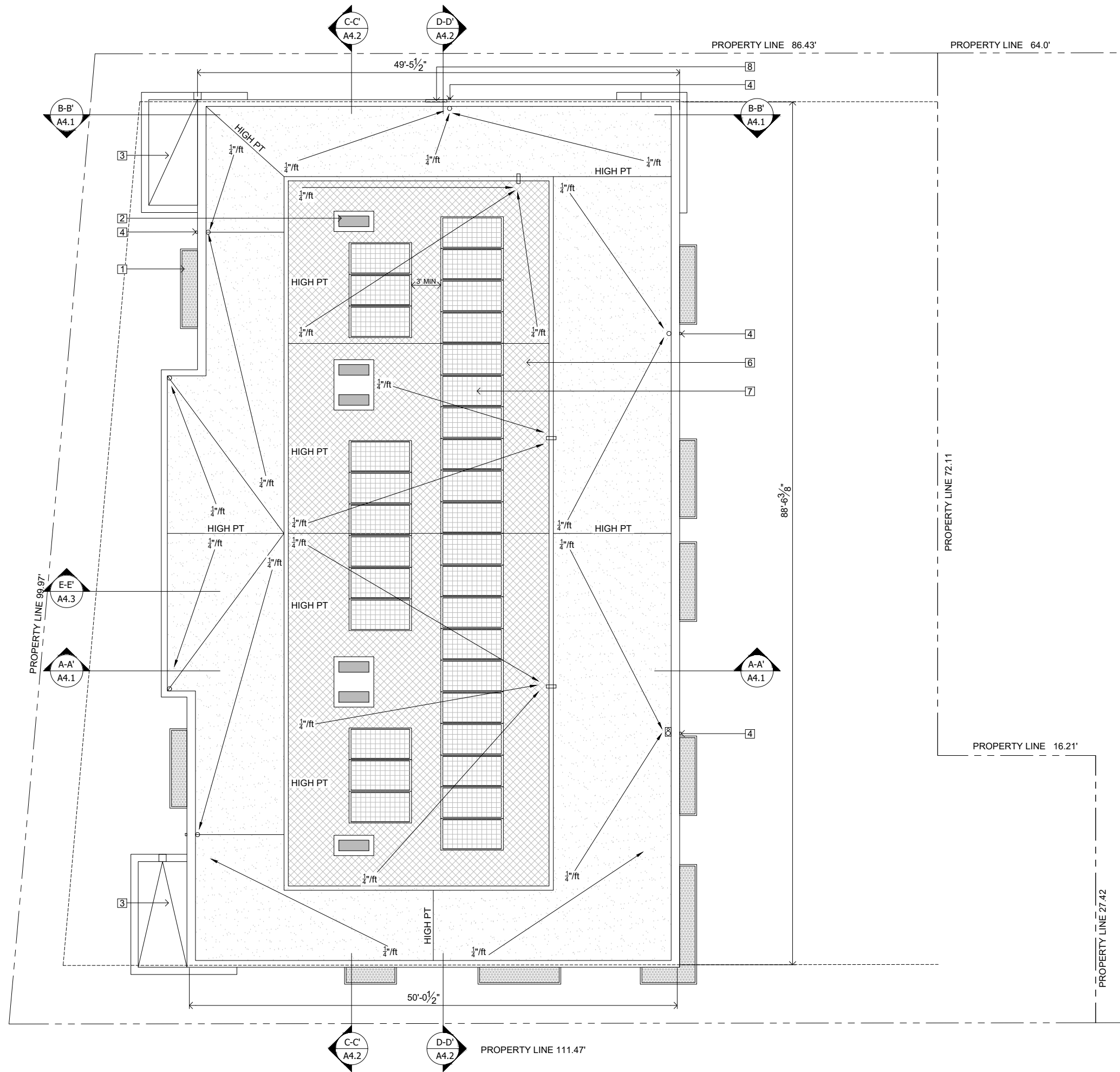
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A2.3

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ROOF PLAN

- SHEET NOTES:**
1. METAL AWNING BELOW MECHANICAL EQUIPMENT.
 2. BALCONY OVERHANG.
 3. RAIN WATER LEADER
 4. ROOFING TO BE CLASS B MINIMUM.
 5. PROPOSED SINGLE PLY PVC ROOFING WILL MEET CLASS A CLASSIFICATION
 6. SOLAR PV SYSTEM MOUNTED ON ALUMINUM STANDS, WILL BE DEFERRED SUBMITTAL
 7. ROOF ACCESS LADDER
 - 8.

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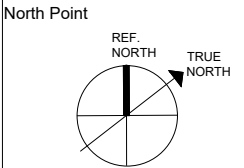
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sheet title
ROOF PLAN



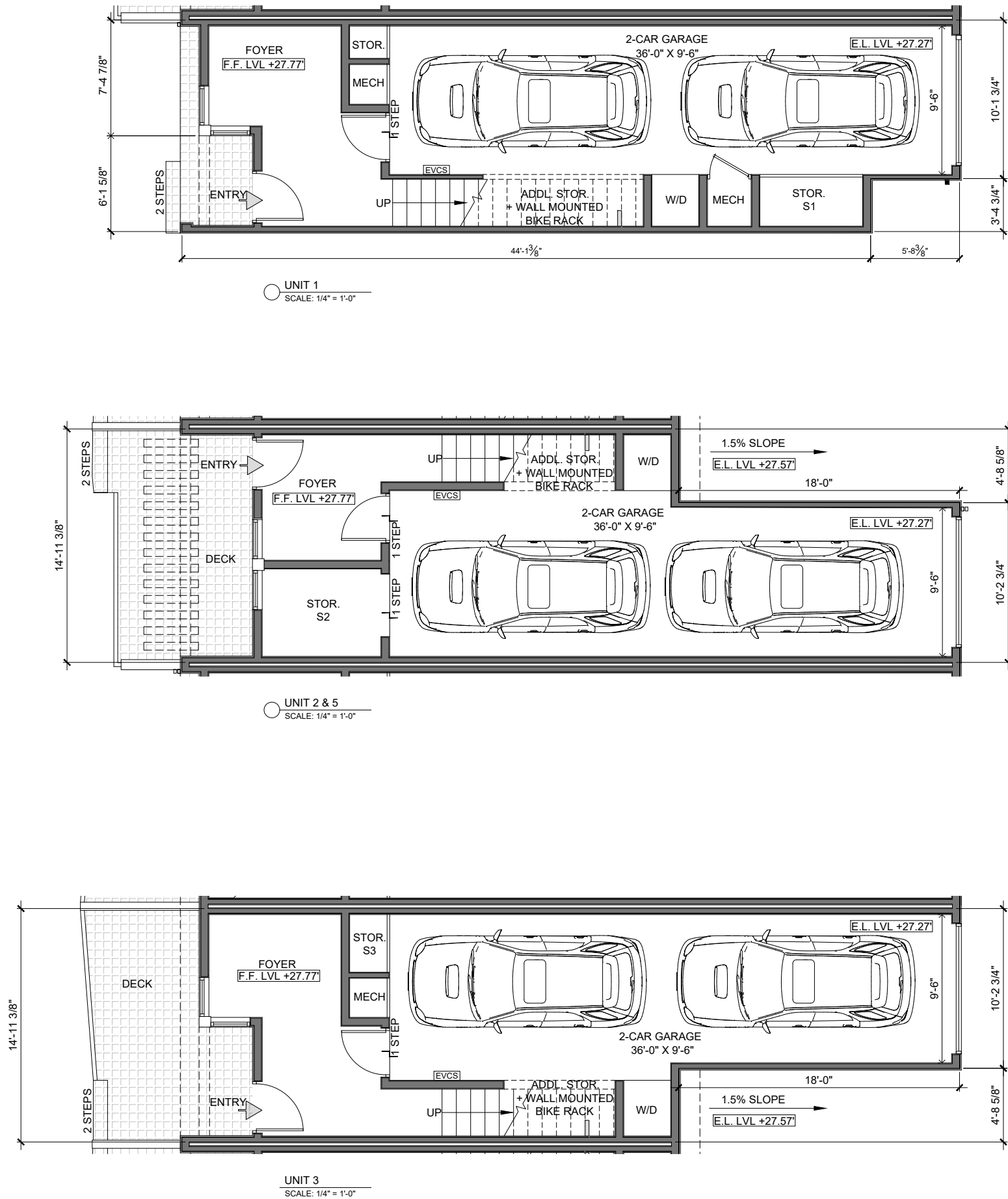
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SHEET NOTES:

1.

ALL PROPOSED PRIVATE GARAGES TO HAVE A LEVEL 2 EV READY CIRCUIT AND LEVEL 1 EV READY CIRCUIT , PER GBSC 4.106.4.1 AMENDED BY RWC

LEGEND

APPROACH

EVCS

ELECTRIC VEHICLE CHARGING STATION. SEE NOTE #1 UNDER SHEET NOTES.

WALL MOUNTED BIKE RACK

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SEAL

ABHINAV NEHRU

ABHINAV NEHRU

PC29346

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2336 EL CAMINO REAL, REDWOOD CITY, CA 94063

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PC RESPONSE

11.10.2022

NEW SUBMITTAL

11.30.2023

sheet title

ENLARGED UNITS
FIRST FLOOR PLAN
#1,2,3 & 5

North Point

REF. NORTH

TRUE NORTH

scale

1/8" = 1'-0"

sheet no.

A2.5

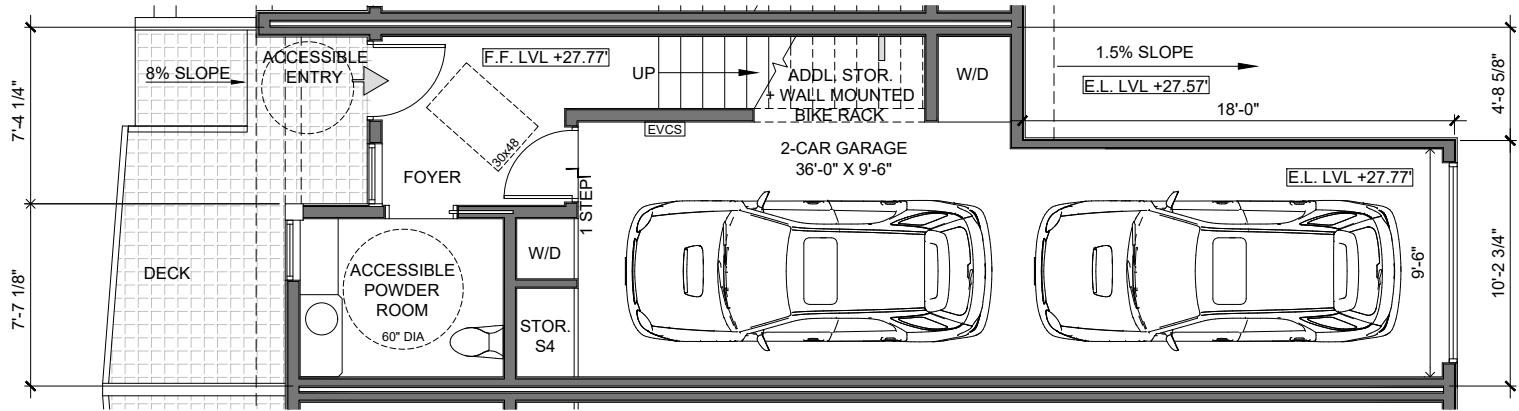
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PHASE II

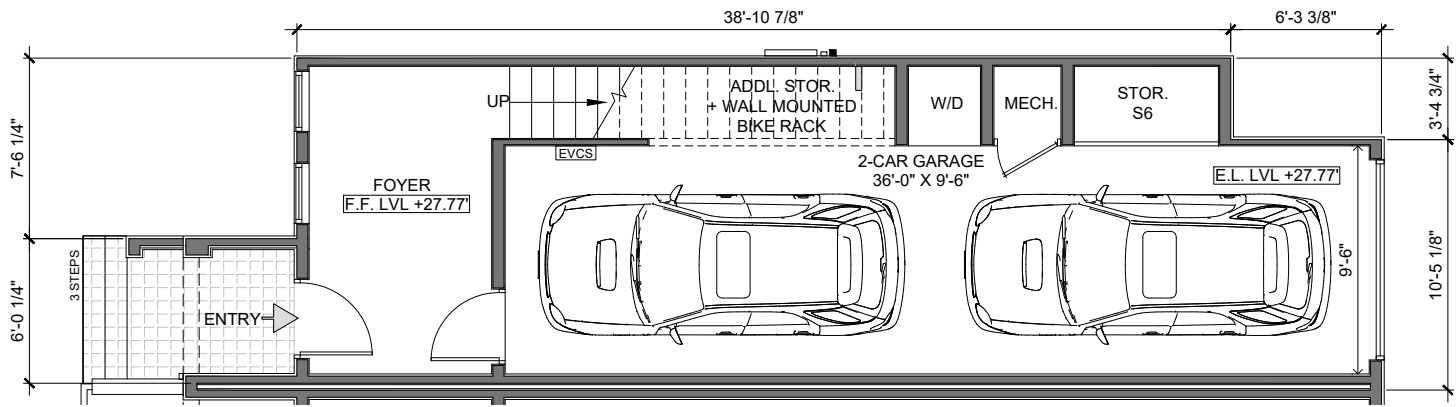
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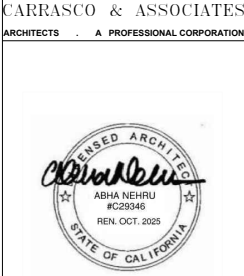
UNIT 4
SCALE: 1/4" = 1'-0"



UNIT 6
SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. ALL PROPOSED PRIVATE GARAGES TO HAVE A LEVEL 2 EV READY CIRCUIT AND LEVEL 1 EV READY CIRCUIT , PER GBSC 4.106.4.1 AMENDED BY RWC



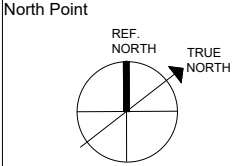
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PC RESPONSE	09.08.2022
PC RESPONSE	11.10.2022

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ENLARGED UNITS
FIRST FLOOR PLAN
#4 & 6



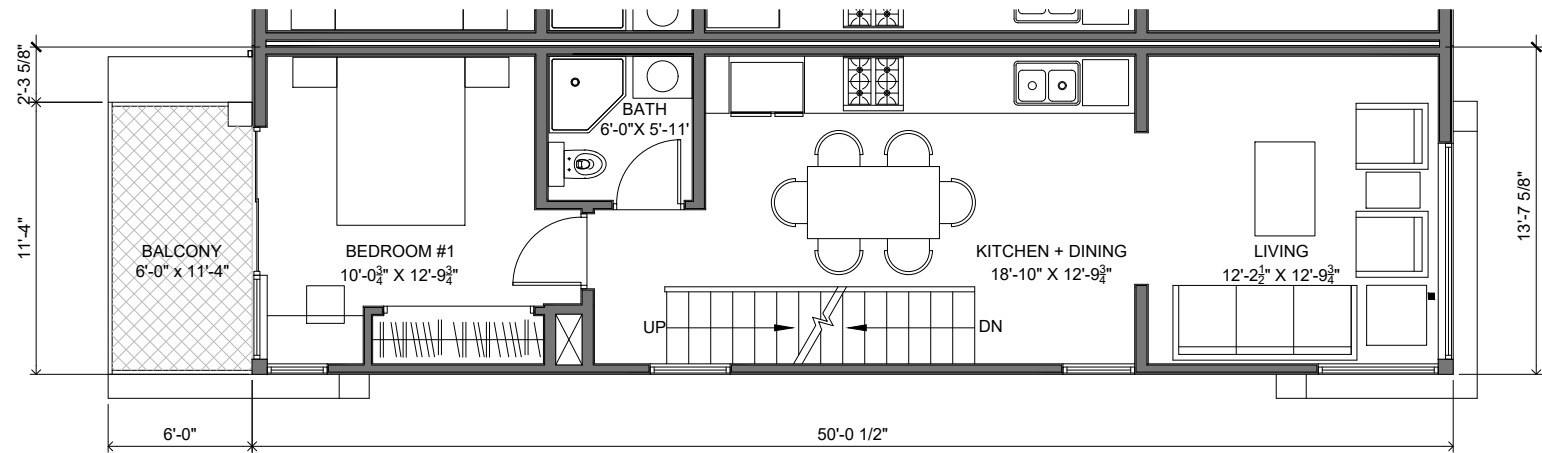
LEGEND	
	APPROACH
	ELECTRIC VEHICLE CHARGING STATION. SEE NOTE #1 UNDER SHEET NOTES.
	WALL MOUNTED BIKE RACK

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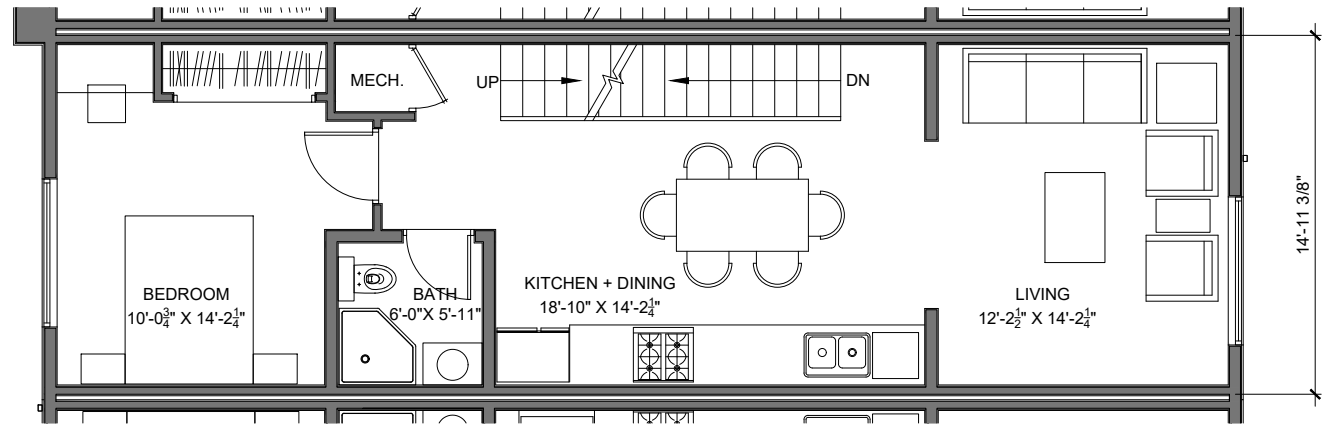
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A2.6
of PHASE II

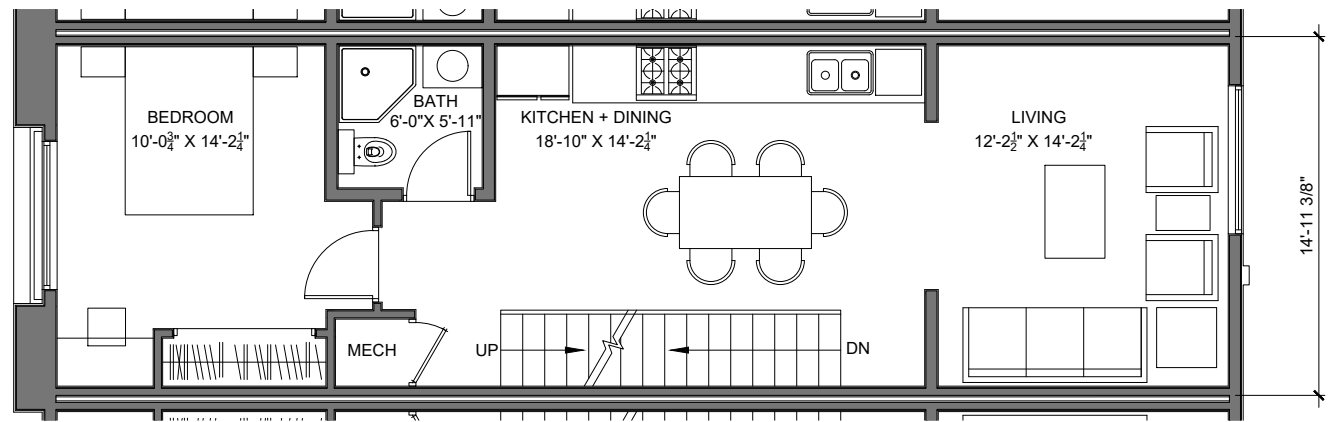
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UNIT 1
SCALE: 1/4" = 1'-0"



UNIT 2
SCALE: 1/4" = 1'-0"



UNIT 3 & 4
SCALE: 1/4" = 1'-0"



REDWOOD SQUARE TOWNHOMES

2336 EL CAMINO REAL,
REDWOOD CITY, CA 94063

PHASE II

date APRIL 5, 2022

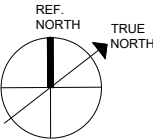
Revision:	
PC RESPONSE	07.07.2022
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sheet title

ENLARGED UNITS
SECOND FLOOR
PLAN #1,2,3 & 4

North Point



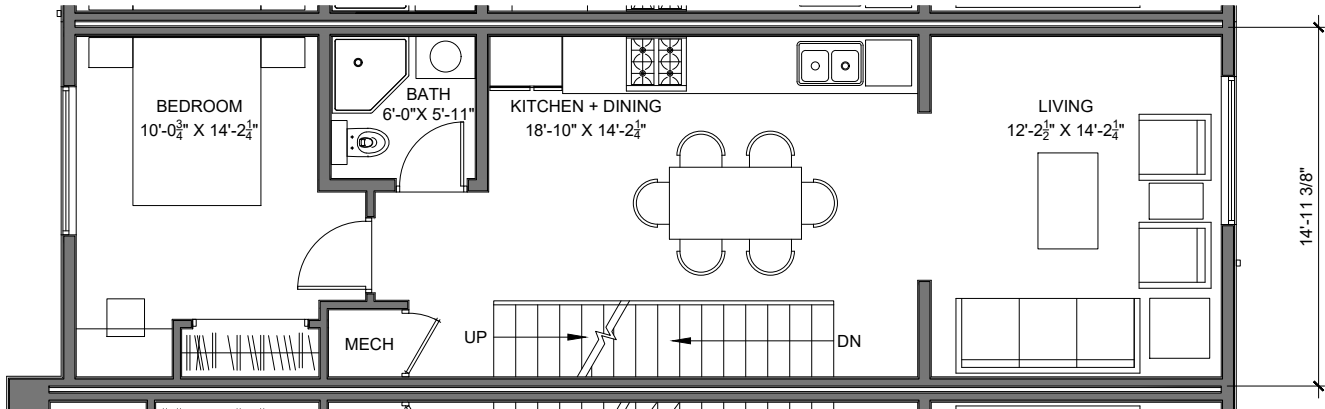
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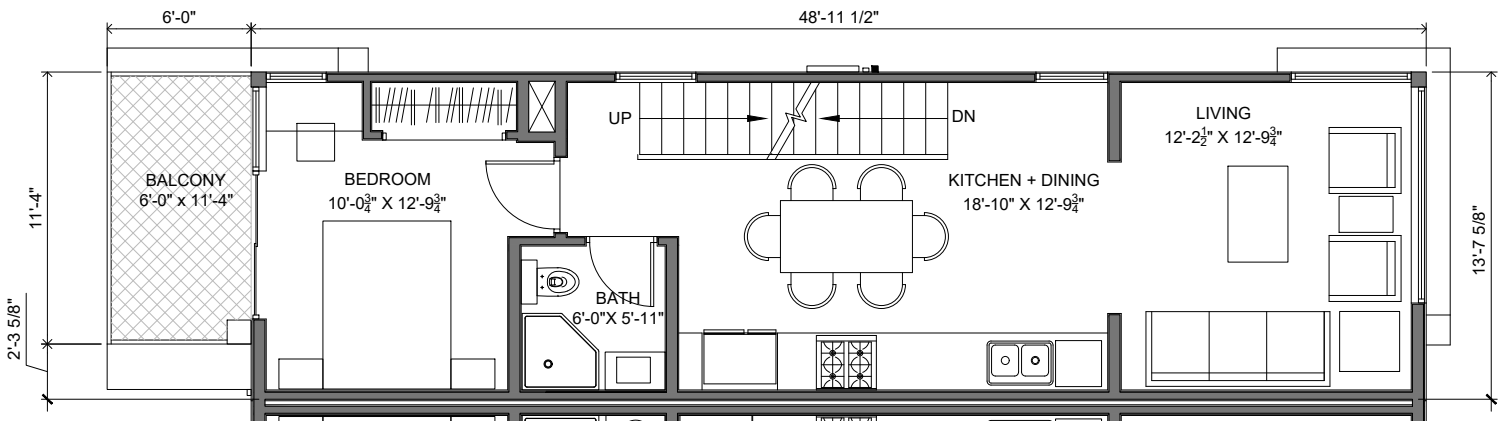
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UNIT 5
SCALE: 1/4" = 1'-0"



UNIT 6
SCALE: 1/4" = 1'-0"



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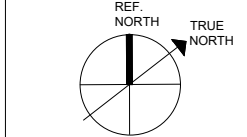
Revision:	
PC RESPONSE	07.07.2022
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sheet title

**ENLARGED UNITS
SECOND FLOOR
PLAN #5 & 6**

North Point



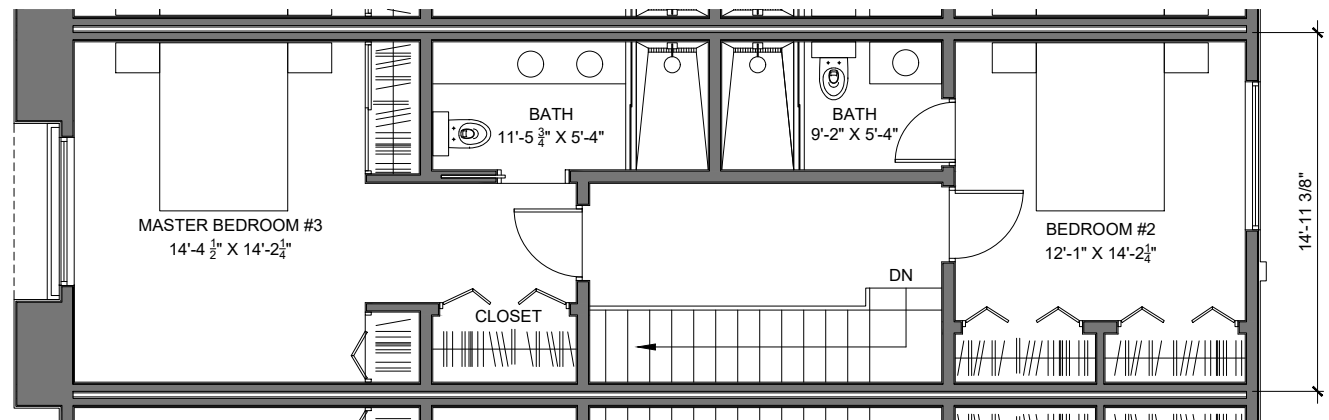
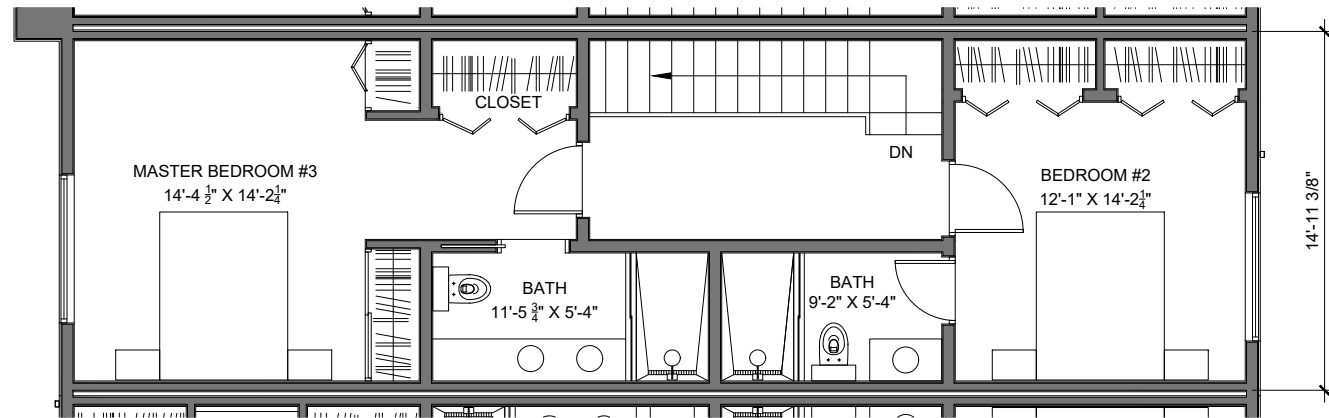
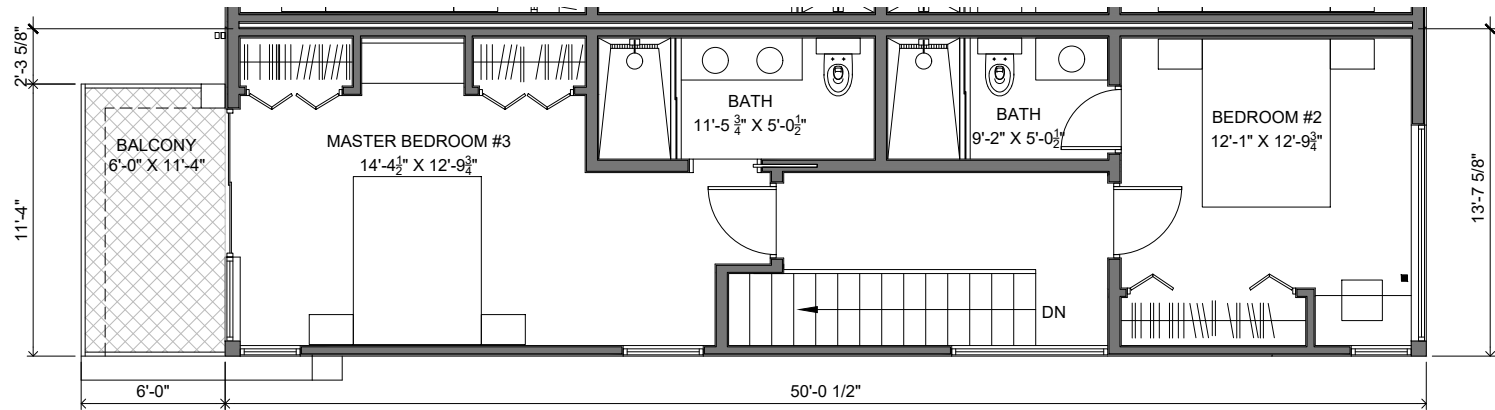
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sheet no.

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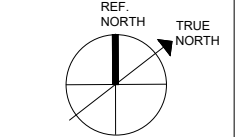
Revision:	
PC RESPONSE	07.07.2022
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sheet title

ENLARGED UNITS
THIRD FLOOR PLAN
#1,2,3 & 4

North Point



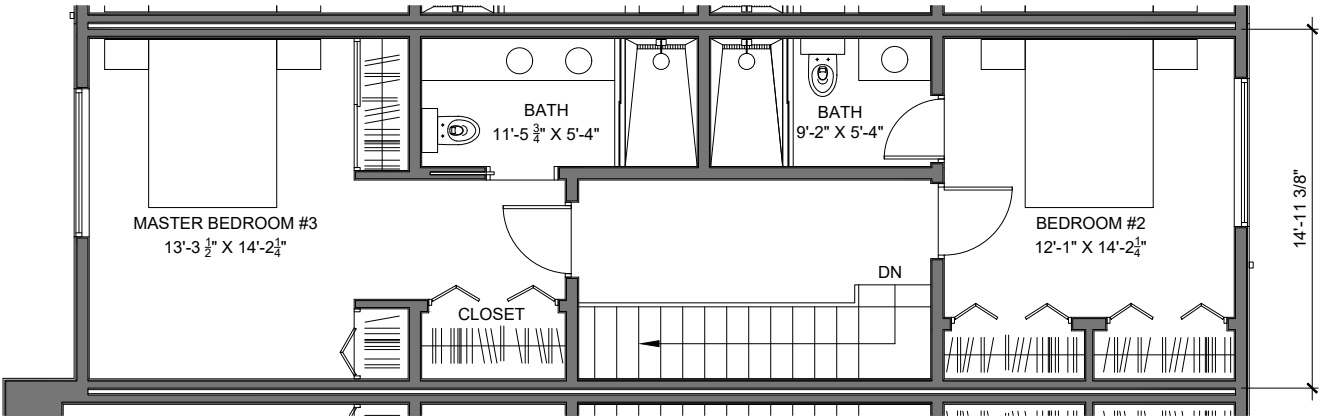
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sheet no.

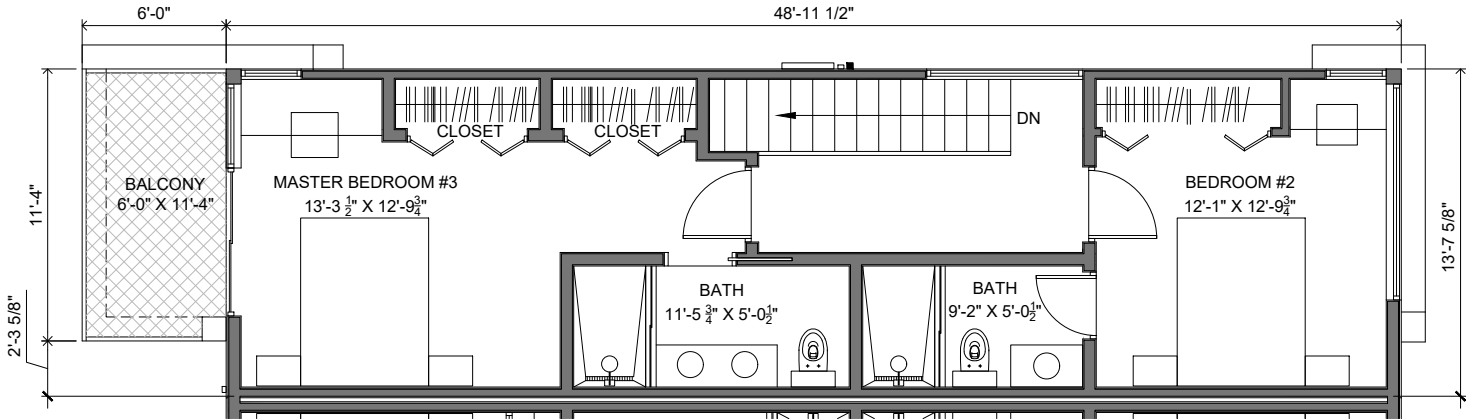
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UNIT 5
SCALE: 1/4" = 1'-0"



UNIT 6
SCALE: 1/4" = 1'-0"



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date APRIL 5, 2022

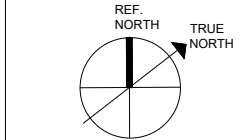
Revision:	
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sheet title

ENLARGED UNITS
THIRD FLOOR PLAN
#5 & 6

North Point



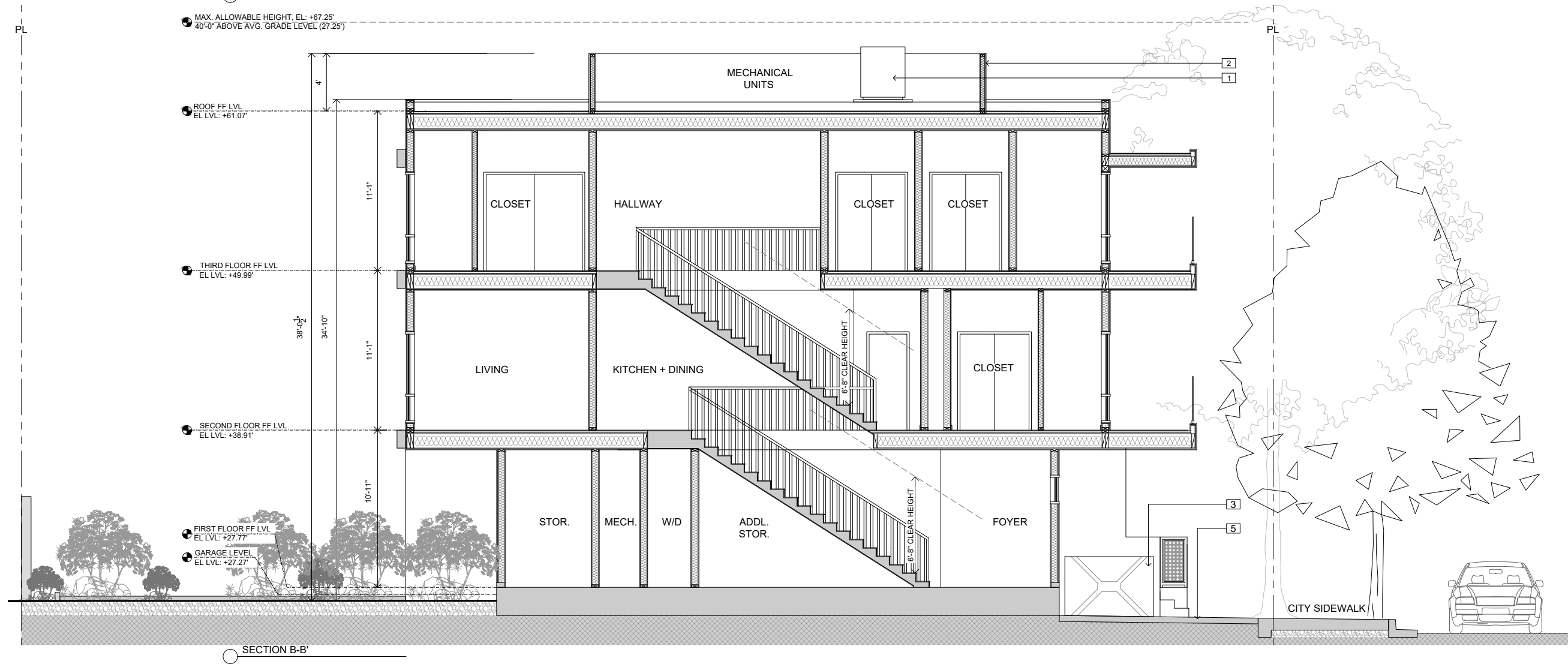
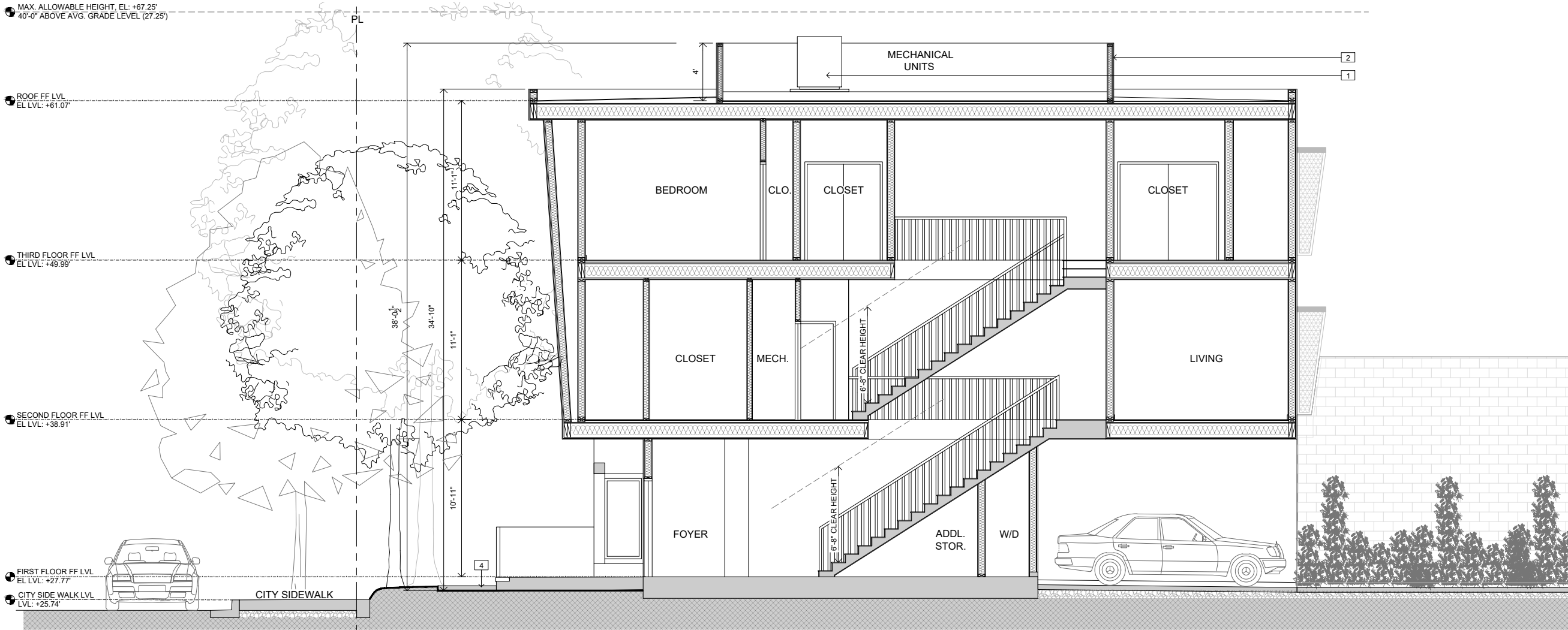
scale 1/8" = 1'-0"

sheet no.

A2.10

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SHEET NOTES:

- 1. MECHANICAL UNITS ON ROOF
- 2. STUCCO COVERED WALL TO SCREEN MECHANICAL UNITS
- 3. BIKE LOCKERS
- 4. WALKWAY
- 5. CONCRETE PAVING TO SIDEWALK EDGE

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sheet title

SECTIONS

North Point

scale 1/8" = 1'-0"

sheet no.

A4.1

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MAX. ALLOWABLE HEIGHT, EL.: +67.25'
40'-0" ABOVE AVG. GRADE LEVEL (27.25')

ROOF FF LVL
EL LVL: +61.07'

THIRD FLOOR FF LVL
EL LVL: +49.99'

SECOND FLOOR FF LVL
EL LVL: +38.91'

FIRST FLOOR FF LVL
EL LVL: +27.77'

PATHWAY LEVEL
EL LVL: +26.69'

CITY SIDEWALK LEVEL
EL LVL: +26.27'

SECTION C-C'

MAX. ALLOWABLE HEIGHT, EL.: +67.25'
40'-0" ABOVE AVG. GRADE LEVEL (27.25')

ROOF FF LVL
EL LVL: +61.07'

THIRD FLOOR FF LVL
EL LVL: +49.99'

SECOND FLOOR FF LVL
EL LVL: +38.91'

FIRST FLOOR FF LVL
EL LVL: +27.77'

WALKWAY LEVEL
EL LVL: +26.69'

CITY SIDEWALK LEVEL
EL LVL: +26.27'

SECTION D-D'

SHEET NOTES:

- MECHANICAL UNITS ON ROOF
- STUCCO COVERED WALL SCREEN MECHANICAL UNITS
- RATED DOUBLE WALL TO UNDERSIDE OF RATED ROOF, TYPICAL BETWEEN UNITS.

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sheet title

SECTIONS

North Point

scale 1/8" = 1'-0"

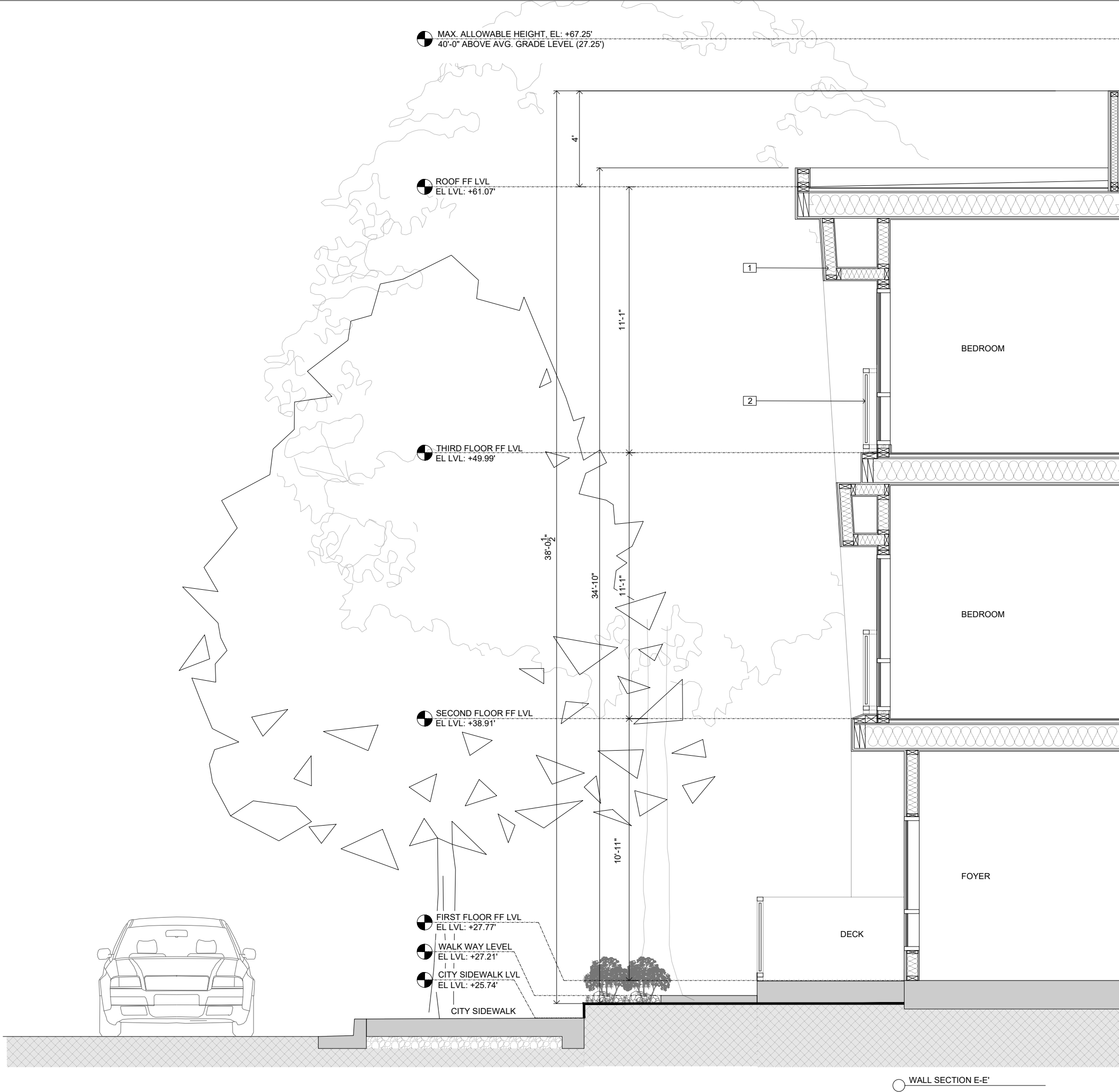
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- SHEET NOTES:
- 1) SLOPED THICKENED EXTERIOR WALL.
 - 2) 42" HIGH GUARDRAIL WITH STEEL INFILL PANELS, TYPICAL.

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PC RESPONSE09.08.2022

PC RESPONSE11.10.2022

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WALL
SECTION

North Point

scale1/4" = 1'-0"

sheet no.

A4.3

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- MATERIAL NOTES:**
- 1 SMOOTH STUCCO - COLOR 1
 - 2 SMOOTH STUCCO - COLOR 2
 - 3 SMOOTH STUCCO - COLOR 3
 - 4 SMOOTH STUCCO - COLOR 8
 - 5 VERTICAL SIDING - COLOR 4
 - 6 RIGID PVC TRIM(AZEK/EQUIV) - COLOR 5
 - 7 GARAGE DOOR - SINGLE
 - 8 PERFORATED STEEL AWNING - COLOR 6
 - 9 GUARD RAIL - PERFORATED STEEL INFILL - COLOR 7
 - 10 BIKE LOCKERS - COLOUR 7
 - 11 WALKWAY
 - 12 7 FEET CMU WALL
 - 13 RAIN WATER LEADER
 - 14 TRANSFORMER AND SWITCH GEAR
 - 15 CMU WALL
 - 16 WINDOW TRIMS - COLOR 5
 - 17 EQUIPMENT SCREEN AT ROOF LEVEL RECESSED BACK FROM ALL SIDES
 - 18 WINDOW FRAME COLOR-BRONZE
 - 19 STREET TREES-CHINESE PISTACHE
- COLOR LEGEND:**
- COLOR 1 - AMSTERDAM AF 500 STUCCO
 - COLOR 2 - WHITE STUCCO
 - COLOR 3 - DARK GREY
 - COLOR 4 - AMSTERDAM AF 500
 - COLOR 5 - WHITE
 - COLOR 6 - NIGHT SHADE-2116-10
 - COLOR 7 - HINT OF MINT-505
 - COLOR 8 - INTERNATIONAL ORANGE (ENGINEERING) [HEX #BA160C/RGB(186,22,12)]

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09.08.2022

PC RESPONSE

11.10.2022

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11.30.2023

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RENDERED ELEVATIONS

North Point

scale

1/8" = 1'-0"

sheet no.

A5.1

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SOUTH ELEVATION



NORTH ELEVATION

MATERIAL NOTES:

1. SMOOTH STUCCO - COLOR 1
2. SMOOTH STUCCO - COLOR 2
3. SMOOTH STUCCO - COLOR 3
4. SMOOTH STUCCO - COLOR 8
5. VERTICAL SIDING - COLOR 4
6. RIGID PVC TRIM - COLOR 5
7. GARAGE DOOR - SINGLE
8. PERFORATED STEEL AWNING - COLOR 7
9. GUARD RAIL - PERFORATED STEEL INFILL - COLOR 7
10. BIKE LOCKERS - COLOUR 7
11. WALKWAY
12. 7 FEET CMU WALL
13. RAIN WATER LEADER
14. TRANSFORMER AND SWITCH GEAR
15. SIDING UNDERSIDE
16. WINDOW TRIMS - COLOR 5
17. EQUIPMENT SCREEN AT ROOF LEVEL RECESSED BACK FROM ALL SIDES
18. SECURED ACCESS LADDER TO ROOFTOP

COLOR LEGEND:

- COLOR 1 - AMSTERDAM AF 500 STUCCO
COLOR 2 - WHITE STUCCO
COLOR 3 - DARK GREY
COLOR 4 - AMSTERDAM AF 500
COLOR 5 - WHITE
COLOR 6 - NIGHT SHADE-2116-10
COLOR 7 - HINT OF MINT-505
COLOR 8 - INTERNATIONAL ORANGE (ENGINEERING)



REDWOOD SQUARE TOWNHOMES

2336 EL CAMINO REAL
REDWOOD CITY, CA 94063

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RENDERED
ELEVATIONS

North Point

scale 1/8" = 1'-0"

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PLANT LEGEND:

KEY BOTANICAL & COMMON NAMES

QTY

SIZE

WATER
REQ'T

COMMENTS

TREES:


T1	Lophostemon confertus / Brisbane box	1	24" box	L	Standard
T2	Pistacia c. "Keith Davies" / Chinese Pistache	6*	24" box	L	Standard
T3	Lagerstroemia X Biloxi/Crape Myrtle	1	24" box	L	Standard


* SEE NOTE #5

SHRUBS:

S1	Bidens F. "Golden Eye" / Bidens	23	5 gl.	L	
S2	Coleonema P. "Sunset Gold" / Breath of Heaven	11			
S3	Loropetalum C. "Plum Delight" / Chinese Fringe Flower	10		L	
S4	Polygala F. "petite butterfly" / sweet pea shrub	15		L	
S5	Rhododendron	49	15gl.		
S6	Agapanthus Galaxy Blue	15	15gl.		
S7	Salvia M. "Hot Lips"/ Sage	10	5gl.	L	
S8	Nandina D. "Gulf Stream" / Heavenly Bamboo	24	5gl.	L	



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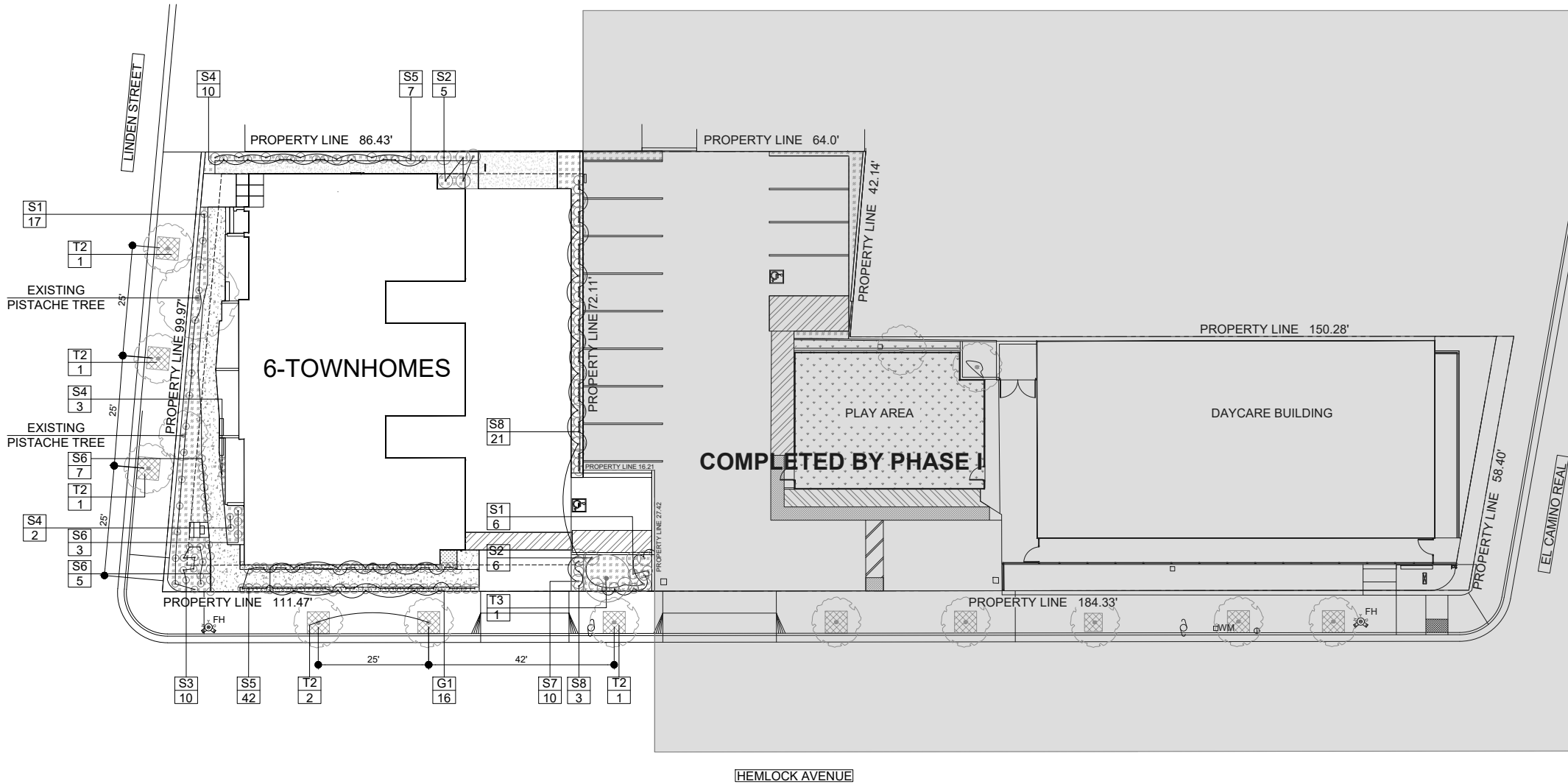
	Lantana montevidensis / Trailing Lantana	as req'd	1gl.	L	Set@36" o.c
--	--	----------	------	---	-------------

G1	GRASSES:				
	Helictotrichons. "Sapphire" / Blue Oat Grass	16	5gl.		

Water conservation classification is based on Water Use Classification of Landscape Species.
(WUCOLS) prepared by WaterConservation Office of the Department of Water Resources, 2000

NOTES:

- Quantities in the Plant Legend are for general reference only (Verify count per Plan).
-  indicates plant key
 indicates plant count
- Location of trees and shrubs are schematic and shall be adjusted in the filed.
TO avoid conflicts with utilities, tree roots, irrigation equipments, etc.
- Refer to Details and Specifications for further information.
- A total of 9 new Chinese Pistache trees to be planted after completion of Phase I & Phase II.



LANDSCAPE PLAN



T1 - BRISBANE BOX



T2 - CHINESE PISTACHE



T3 - CRAPE MYRTLE



S1 - GOLDEN EYE/ BIDENS



S2 - SUNSET GOLD



S3 - CHINESE FRINGE FLOWER



S4 - SWEET PEA SHRUB



S5 - RHODODENDRON



G2-TRAILING LANTANA



S6 - AGAPANTHUS GALAXY BLUE



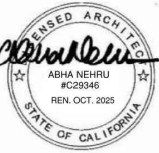
G1 - HELICTOTRICHONS- BLUE OAT GRASS



S7 - SALVIA M. SAGE



S8 - NANDINA D. HEAVENLY BAMBOO



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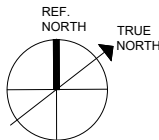
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LANDSCAPE
PLAN

North Point



scale 1/32" = 1'-0"

sheet no.

L1.0

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