



STANFORD HEALTH CARE BLOCK E MEDICAL OFFICE BUILDING  
500 BROADWAY, REDWOOD CITY, CA 94063

SEPTEMBER 18, 2019

STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

500 BROADWAY, REDWOOD CITY, CA 94063

PROJECT NO.: 18040.00	AHJ #	ISSUES	DATE
COVER		ENTITLEMENT SUBMISSION	07/10/2019
G.0-000		RESUBMITTAL 01	09/18/2019
		REVISION LIST	DATE
		A	

WRNS STUDIO  
501 SECOND STREET  
4TH FLOOR, STE. 402  
SAN FRANCISCO  
CALIFORNIA 94107  
415.498.2224 TEL  
415.358.5100 FAX  
WWW.WRNSSTUDIO.COM





VICINITY MAP



SITE

APPLICABLE CODES & AGENCIES

JURISDICTION: REDWOOD CITY  
2013 STANFORD IN REDWOOD CITY PRECISE PLAN  
2013 STANFORD IN REDWOOD CITY DEVELOPMENT AGREEMENT  
2013 FINAL ENVIRONMENTAL IMPACT REPORT

DIRECTORY

APPLICANT

STANFORD HEALTH CARE  
300 PASTEUR DRIVE  
STANFORD, CA 94305-2200  
(650) 723-4000

PROPERTY OWNER

THE BOARD OF TRUSTEES OF THE LELAND  
STANFORD JUNIOR UNIVERSITY  
415 BROADWAY, 3RD FLOOR  
REDWOOD CITY, CA 94603  
(650) 497-9797

ARCHITECT

WRNS STUDIO  
501 SECOND STREET  
SUITE 402  
SAN FRANCISCO, CA 94107  
(415) 489-2242

CIVIL

BKF ENGINEERS  
300 FRANK OGAWA PLAZA, SUITE 380  
OAKLAND, CA 94612  
(510) 899-7300

LANDSCAPE

BFS  
1580 W. EL CAMINO REAL #11  
MOUNTAIN VIEW, CA 94040  
(650) 326-6622

PROJECT INFORMATION

SITE INFORMATION

CURRENT ZONING: P - STANFORD (STANFORD IN REDWOOD CITY PRECISE PLAN)  
ASSESSOR'S PARCEL #: 054-141-180, 054-141-220, 054-141-230 & 054-141-260  
REFERENCE ADDRESS: 440, 500 & 510 BROADWAY, 1230 DOUGLAS AVE  
CURRENT USE: OFFICE  
PROPOSED USE: MEDICAL OFFICE  
SURROUNDING USES: OFFICE, WAREHOUSE  
PARKING: 3 LEVELS ABOVE GRADE, 1 LEVEL BASEMENT; PARKING STRUCTURE  
OPEN SPACE: MID-BLOCK PLAZA ON BROADWAY, ENTRY PLAZA ALONG WARRINGTON

PROJECT SUMMARY

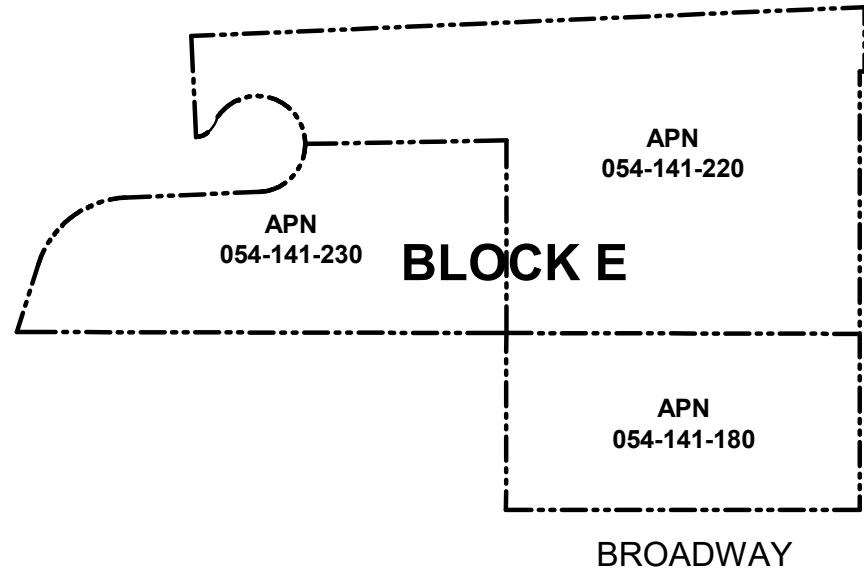
SITE COMPRISES BLOCK 'E' AND A PORTION OF BLOCK 'F' AS DEFINED IN STANFORD IN REDWOOD CITY PRECISE PLAN. THE SCOPE OF WORK FOR THIS PROJECT INCLUDES:

- MEDICAL OFFICE BUILDING (MOB)
  - 225,049SF WITH 173,300SF GARAGE/BASEMENT
  - TYPE I-A CONSTRUCTION
  - 9-STORY BUILDING WITH SERVICE YARD
- PARKING STRUCTURE
  - 206,800SF
  - TYPE I-A CONSTRUCTION
  - 3-STORY BUILDING WITH BASEMENT
- NEW SCREENING AT EXISTING BLOCK F PARKING STRUCTURE
- SITE IMPROVEMENTS
  - MID-BLOCK PLAZA ON BROADWAY
  - ENTRY PLAZA ALONG WARRINGTON
  - ROUNDABOUT WITH LANDMARK LANDSCAPE
- DEMOLITION OF 500 BROADWAY AND 510 BROADWAY

OTHER PROJECTS ON SITE (NIC)  
AN EXISTING CENTRAL ENERGY FACILITY (CEF) IS LOCATED AT THE WEST SIDE OF BLOCK E. THE CEF IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT.

BLOCK E PARCELIZATION

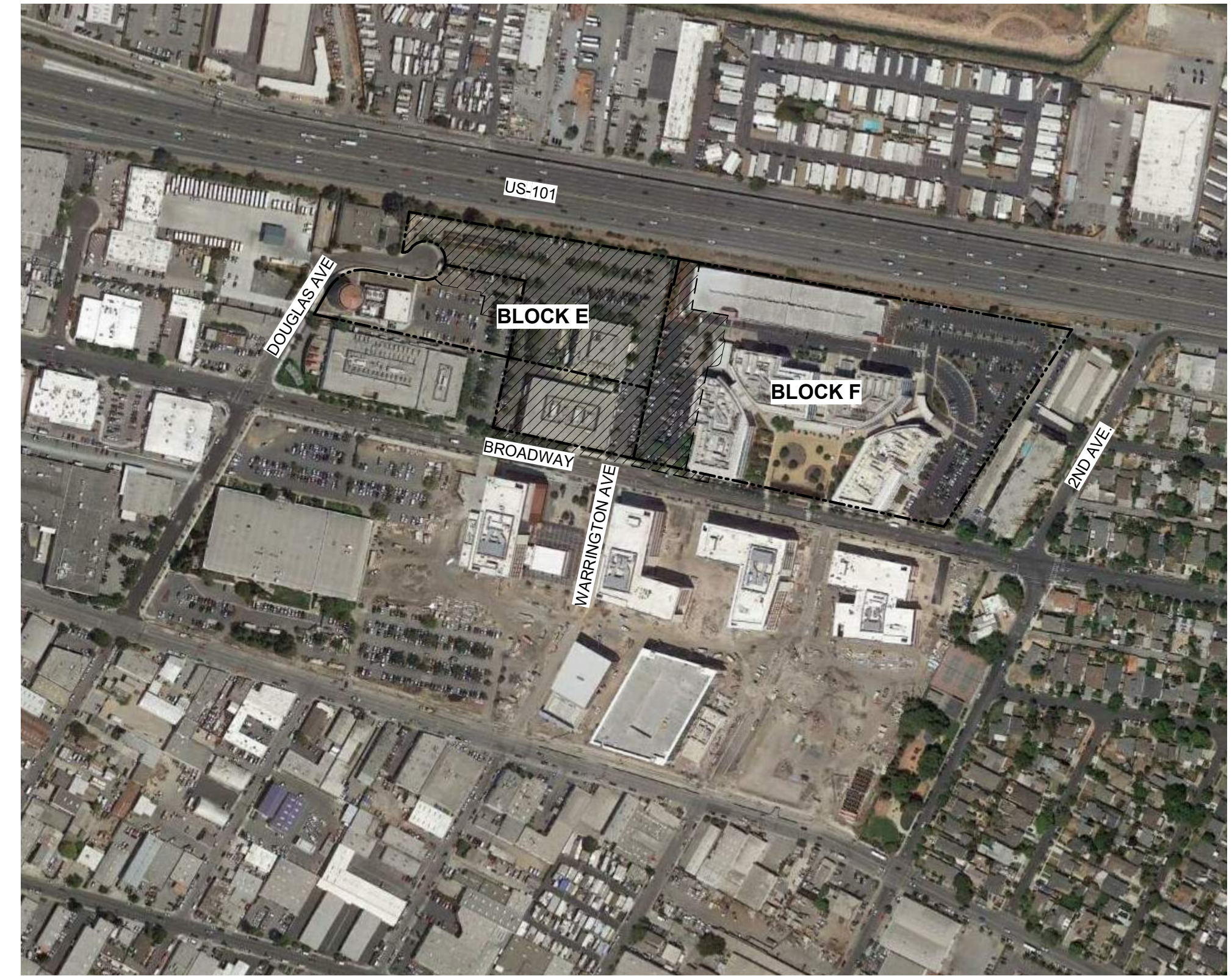
BLOCK E IS COMPRISED OF THREE EXISTING PARCELS. PROJECT PROPOSES MERGING THREE PARCELS INTO A SINGLE PARCEL (DIAGRAM BELOW). SEE C-100 & C-200 FOR EXISTING CONDITIONS AND PARCELIZATION PLAN.



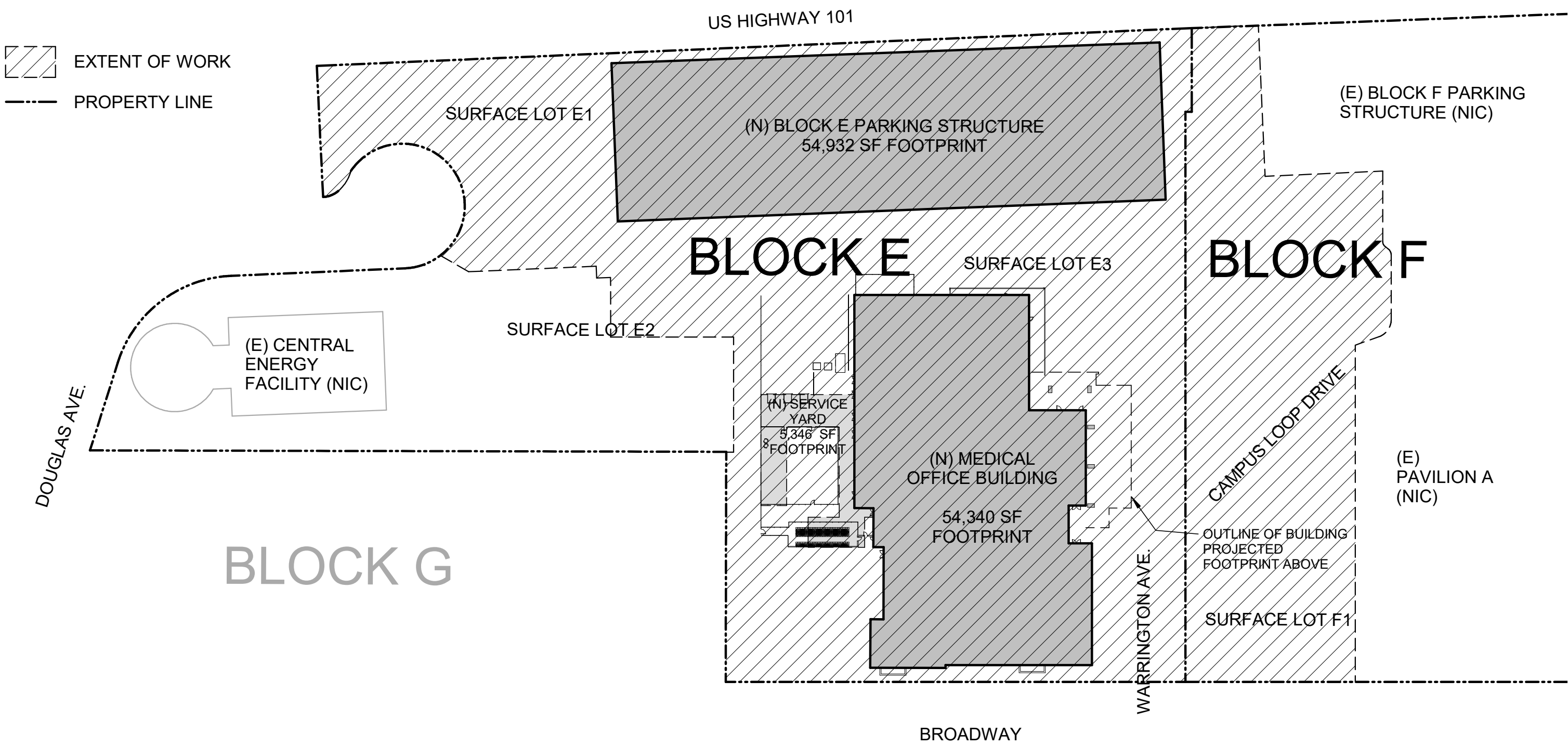
ENTITLEMENTS & PERMITS REQUESTED

1. ARCHITECTURAL PERMITS FOR NEW MEDICAL OFFICE DEVELOPMENT
2. TENTATIVE MAP FOR RECONFIGURATION OF EXISTINGS LOTS AND STREET GRID

LOCATION MAP



PROJECT SCOPE DIAGRAM



SHEET #	SHEET NAME
00 GENERAL	
G.0-000	COVER
G.0-001	DRAWING INDEX, DIRECTORY, VICINITY MAP, CONTEXT PLAN
G.0-002	EXISTING SITE PHOTOS
G.0-003	EXISTING ARCHITECTURAL CHARACTER
G.0-011	RENDERINGS - URBAN & CAMPUS NARRATIVE
G.0-012	RENDERINGS - SITE CONTEXT NARRATIVE
G.0-013	RENDERINGS - LANDMARK NARRATIVE
G.0-021	PROPOSED MOB MATERIAL PALETTE
G.0-101	CAMPUS - SITE PLAN
G.0-103	CAMPUS - BUILDING ENTRIES
G.0-105	CAMPUS - CIRCULATION
G.0-111	BLOCK E - GROSS AREA & PARKING
G.0-121	BLOCK E - CIRCULATION
G.0-131	BLOCK E - OPEN SPACE
G.0-141	BLOCK E - SETBACKS, COVERAGE AND BUILDING HEIGHT
G.0-151	BLOCK E - BICYCLE PARKING & SITE FENCING AND ENCLOSURE

02 ARCHITECTURAL - MOB	
A.1-000	MOB-E PROJECT AXONOMETRIC
A.1-001	MOB-E MASSING BREAKS AND FOOTPRINT
A.1-002	MOB-E MASSING BREAKS - ELEVATIONS
A.1-003	MOB-E GROSS AREA DIAGRAMS
A.1-100	MOB-E FLOOR PLAN - LEVEL P0 & 1
A.1-101	MOB-E FLOOR PLAN - LEVEL 2 & P2
A.1-102	MOB-E FLOOR PLAN - LEVEL 3/P4 & 4
A.1-103	MOB-E FLOOR PLAN - LEVEL 5 - ROOF
A.1-301	MOB-E SOUTH ELEVATION
A.1-302	MOB-E EAST ELEVATION
A.1-303	MOB-E NORTH ELEVATION
A.1-304	MOB-E WEST ELEVATION
A.1-331	MOB-E BUILDING SECTIONS
A.1-351	MOB-E WALL TYPES - PLINTH
A.1-352	MOB-E WALL TYPES - GARAGE
A.1-353	MOB-E WALL TYPES - TOWER SOUTH
A.1-354	MOB-E WALL TYPES - SCREEN & LOBBY
A.1-355	MOB-E WALL TYPES - TOWER NORTH

02 ARCHITECTURAL - PARKING STRUCTURE	
A.2-100	PS-E FLOOR PLAN - LEVEL B2 & B1
A.2-101	PS-E FLOOR PLAN - LEVEL 1 & 2
A.2-102	PS-E FLOOR PLAN - LEVEL 3 & ROOF
A.2-301	PS-E ELEVATIONS
A.2-332	PS-E ENLARGED DRAWINGS

03 CIVIL	
C-100	SITE EXISTING CONDITIONS
C-200	PARCELIZATION PLAN
C-300	GRADING PLAN
C-400	UTILITY PLAN
C-500	STORMWATER CONTROL PLAN
C-600	FIRE ACCESS PLAN
C-601	FIRE ACCESS CROSS SECTIONS

04 LANDSCAPE	
L-100	OVERALL LANDSCAPE SITE PLAN
L-101	LANDSCAPE SITE PLAN ENLARGEMENT
L-102	LANDSCAPE SITE PLAN ENLARGEMENT
L-103	LANDSCAPE SITE PLAN ENLARGEMENT
L-104	LEVEL 4 TERRACE - NORTH
L-105	LEVEL 4 TERRACE - SOUTH
L-106	LIGHTING PLAN
L-201	SITE SECTION
L-202	SITE SECTION
L-203	SITE SECTION
L-204	SITE SECTION
L-301	TREE PROTECTION PLAN
L-400	PLANTING PLAN - OVERALL
L-401	PLANTING PLAN - ENLARGEMENT
L-402	PLANTING PLAN - ENLARGEMENT
L-403	PLANTING PLAN - ENLARGEMENT
L-404	LEVEL 4 PLANTING - NORTH
L-405	LEVEL 4 PLANTING - SOUTH
L-406	PLANTING IMAGES
L-407	PLANTING IMAGES
L-408	PLANTING IMAGES
L-409	TREE IMAGES
L-410	SITE MATERIALS AND FURNISHINGS
L-411	SITE MATERIALS AND FURNISHINGS - DETAILS

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WRNSSTUDIO

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES	DATE
ENTITLMENT APPLICATION RESUBMITTAL 01	07/19/2019 09/18/2019

SCALE:  
As indicated

SHEET TITLE:  
**DRAWING INDEX, DIRECTORY, VICINITY MAP, CONTEXT PLAN**

SHEET NO:  
**G.0-001**





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**STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING**

ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1 : 2700

SHEET TITLE:  
**EXISTING SITE PHOTOS**

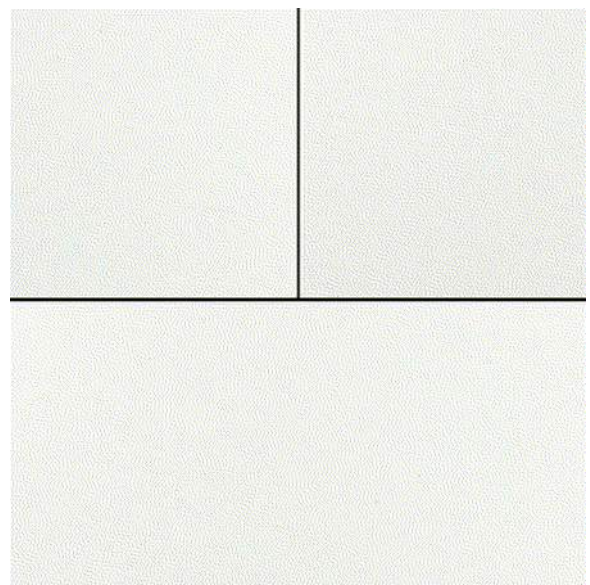
SHEET NO:  
**G.0-002**



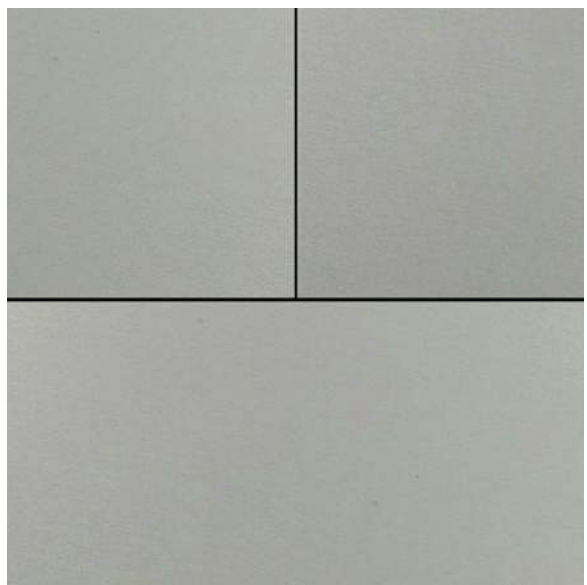
PAVILIONS A-D ARCHITECTURAL CHARACTER



GLASS w/ SUNSHADES

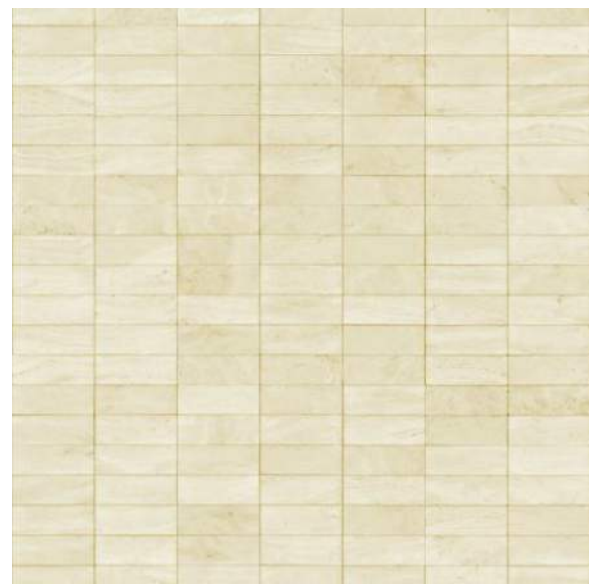


WHITE METAL PANEL



GRAY METAL PANEL

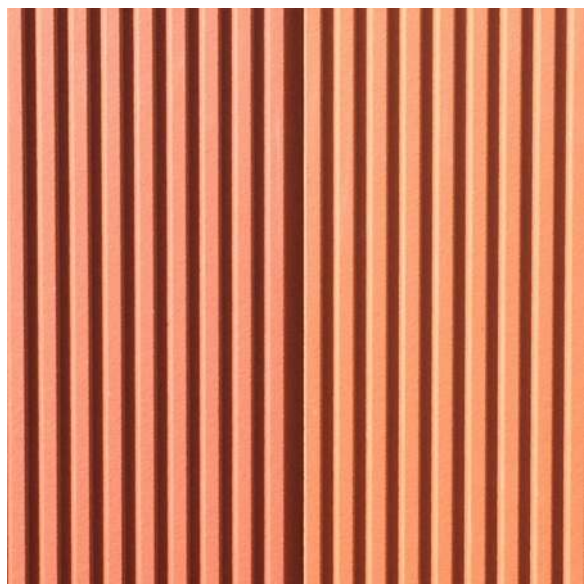
PHASE 1 ARCHITECTURAL CHARACTER



LIMESTONE TILE



PRECAST CONCRETE



TERRA COTTA



WOOD SOFFIT

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1



## URBAN CONTEXT

The Stanford Redwood City campus straddles Broadway, a primary thoroughfare extending west from downtown Redwood City (image 1). The proposed Block E development on the north side of Broadway will continue to build on the Precise Plan vision for a campus which is “denser, greener, and more attractive architecturally” through a nine-story medical office building and supporting parking structure. The upper portions of the medical office building is oriented parallel to Broadway and Highway 101, reinforcing the connection to downtown.

## CAMPUS CONNECTIONS

To the west, the building overhangs the main entry, providing for a dramatic backdrop to the termination of Warrington Avenue at a roundabout oval containing a landmark tree grove and feature wall (image 2 & G.0-013). The lower 3-story plinth of the building defines the ‘fourth wall’ of Stanford Square, an urban open space marking the center of campus at the intersection of Broadway and Warrington (image 3). The massing is similar in scale to the existing buildings on the north side of Broadway. The fenestration, materials textures, and planters with integrated benches create a cohesive and amiable pedestrian scale along the Broadway frontage (image 4).

The architecture predominately continues the warm material palette of Blocks A, B and C: French limestone, terra cotta, and GFRC in order to create a consistent and cohesive campus presence along Broadway (images 3 & 4). The iconic white screen that frames the upper stories on the east and west recalls the crisp white forms and shading elements of the adjacent Block F medical buildings (image 2).

2



3



4







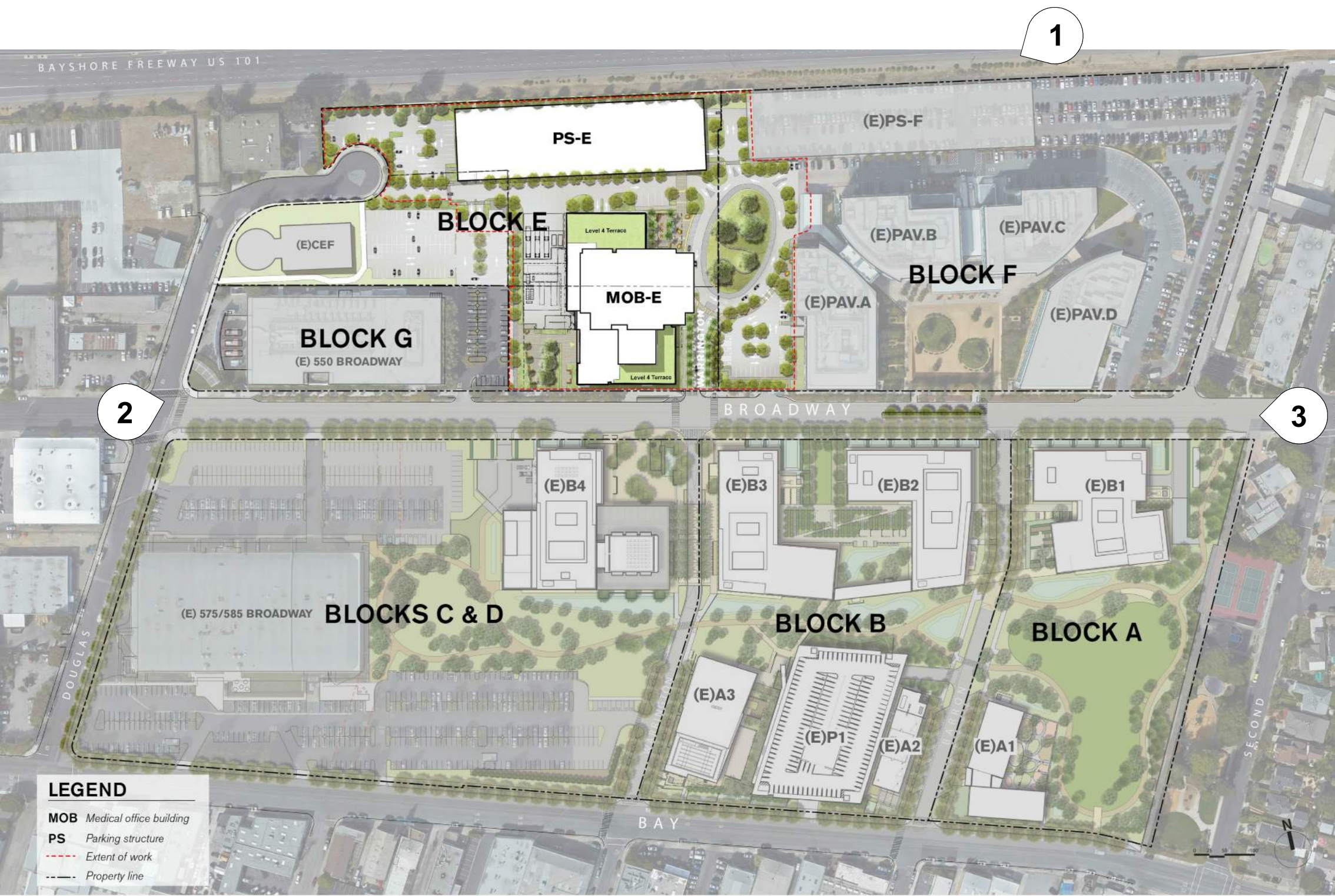
# HIGHWAY PRESENCE

The Block E medical office building will be the most visible presence of the Stanford Redwood City campus along highway US-101. A dappled white screen wrapping across the roof from the east to west side of the tower will be a distinctive visual marker along the highway along with red terra cotta edges that accentuating projections from the building (image 1). The white screen likewise shields rooftop mechanical equipment from view (image 2 & 3) while also providing shade and privacy to treatment rooms along the east and west walls.

The campus highway frontage is unified by metal screening at the proposed parking structure on Block E and existing parking structure on Block F. A mature oak tree punctuates the space between the two and alludes to the landscaped grove in the oval just beyond (image 1 & G.O-013).

# BROADWAY PRESENCE

Along Broadway, the tower is set back substantially from the street. The roof line of the plinth is low along the street, giving prominence to the street trees and making for a gracious integration with the surrounding context (image 2 & 3).



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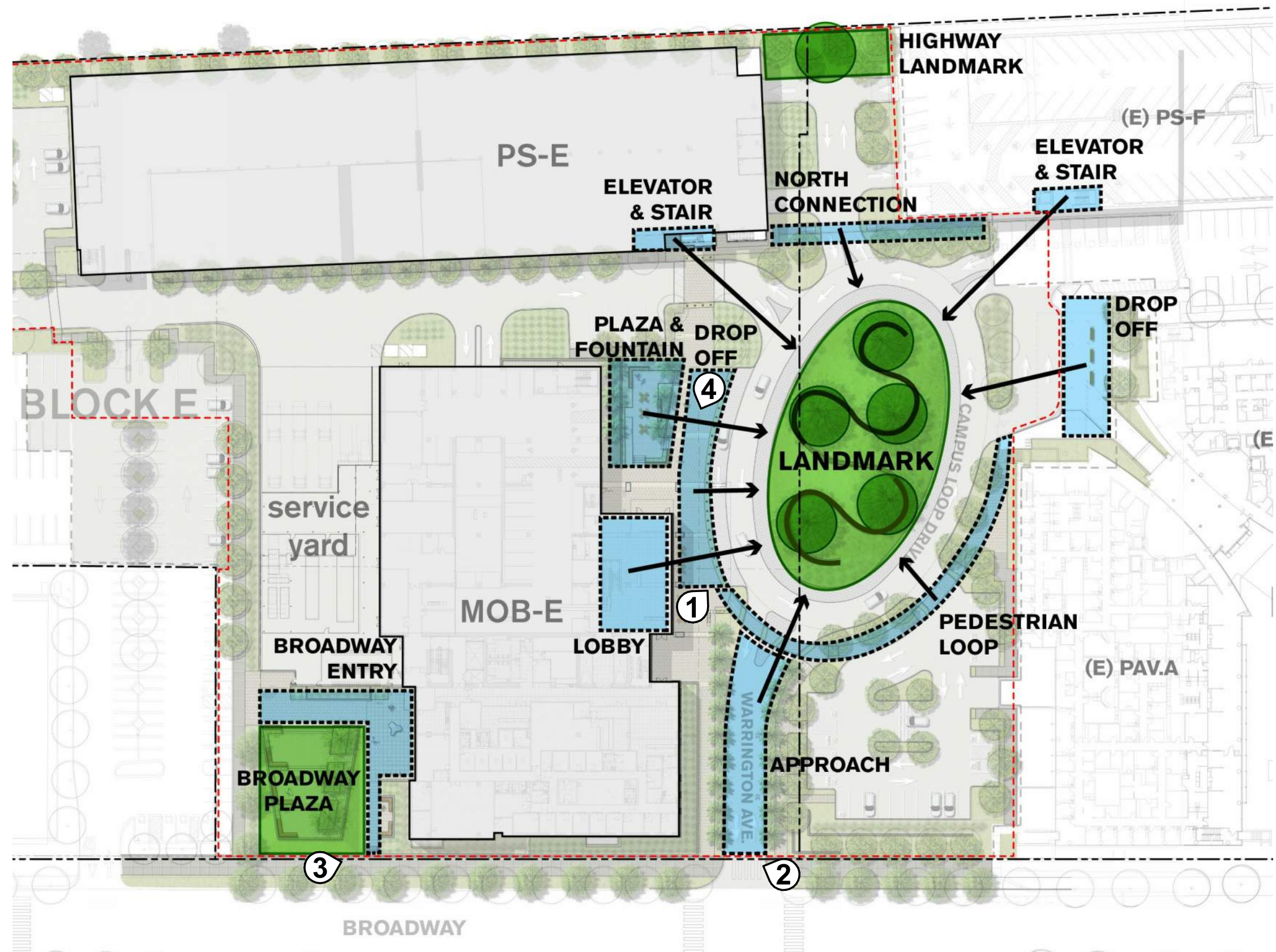
## PEDESTRIAN REALM AND LANDMARK LANDSCAPE

The Warrington extension terminates in an oval roundabout containing a landmark landscape of undulating topography, a sculpted rammed-earth wall and a grove of Coast Live Oaks calling to mind the classic image of California hills. The generously sized trees and interplay between wall and topography create a sense of serenity and delight (image 1).

While the oval landmark is not accessible to the pedestrian due to safety, its presence is felt and extended all around campus loop drive. The landmark serves as the visual focal point between Block E and Block F, orienting the visitor from first approach, to dropoff and parking, to entry plaza, to building lobby and waiting areas (images 1 & 4). The landmark is given presence on US-101 through the location of an additional oak tree between the two parking structures.

The welcoming pedestrian experience is extended along Warrington and Broadway through planted areas punctuated by bench seating providing visitors and the public moments for pause, rest and waiting (image 2 & 3).

To the west, a building entry opens onto a generous plaza facing Broadway and overlooking south campus. This landscaped open space offers both sun and shade for outdoor dining and relaxation.



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**WRNSSTUDIO**

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
12" = 1'-0"

SHEET TITLE:  
**RENDERINGS - LANDMARK NARRATIVE**

SHEET NO:  
**G.0-013**





ST-1: LIMESTONE, SMOOTH



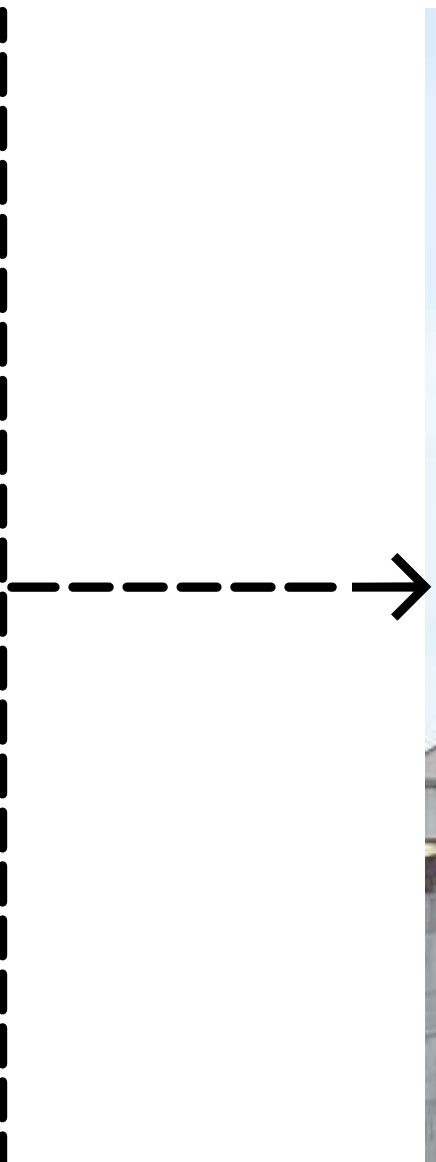
C-1: PRECAST CONCRETE FIN  
ST-2: GFRC



TC-1: RED TERRA COTTA



NATURAL TERRA COTTA (TOP)  
GLAZED TERRA COTTA (BOTTOM)



TERRA COTTA BAGUETTE SUNSCREEN  
(SPECIAL ARCHITECTURAL FORM)



GL-1: INSULATED GLASS, CLEAR  
GL-2: INSULATED GLASS,  
SHADOW BOX



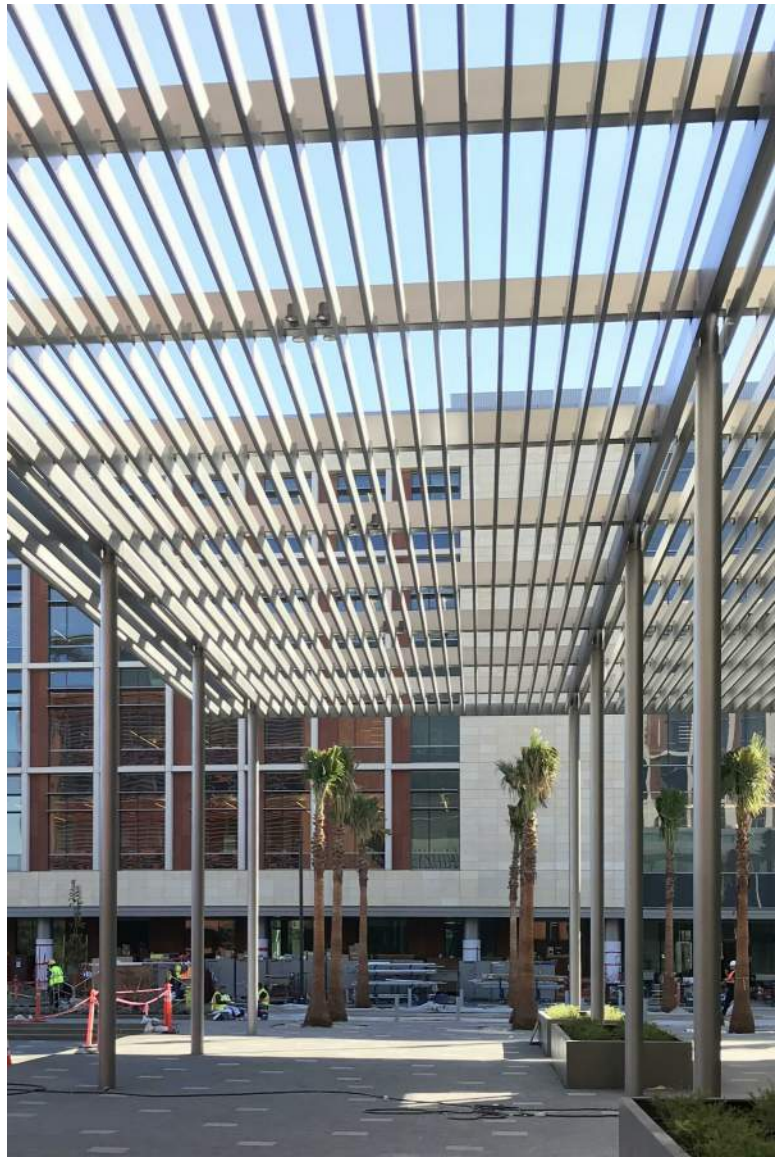
GL-1A: INSULATED GLASS, FRITTED  
GL-2A: INSULATED GLASS, FRITTED  
SHADOW BOX



CONCRETE, BOARD FORM



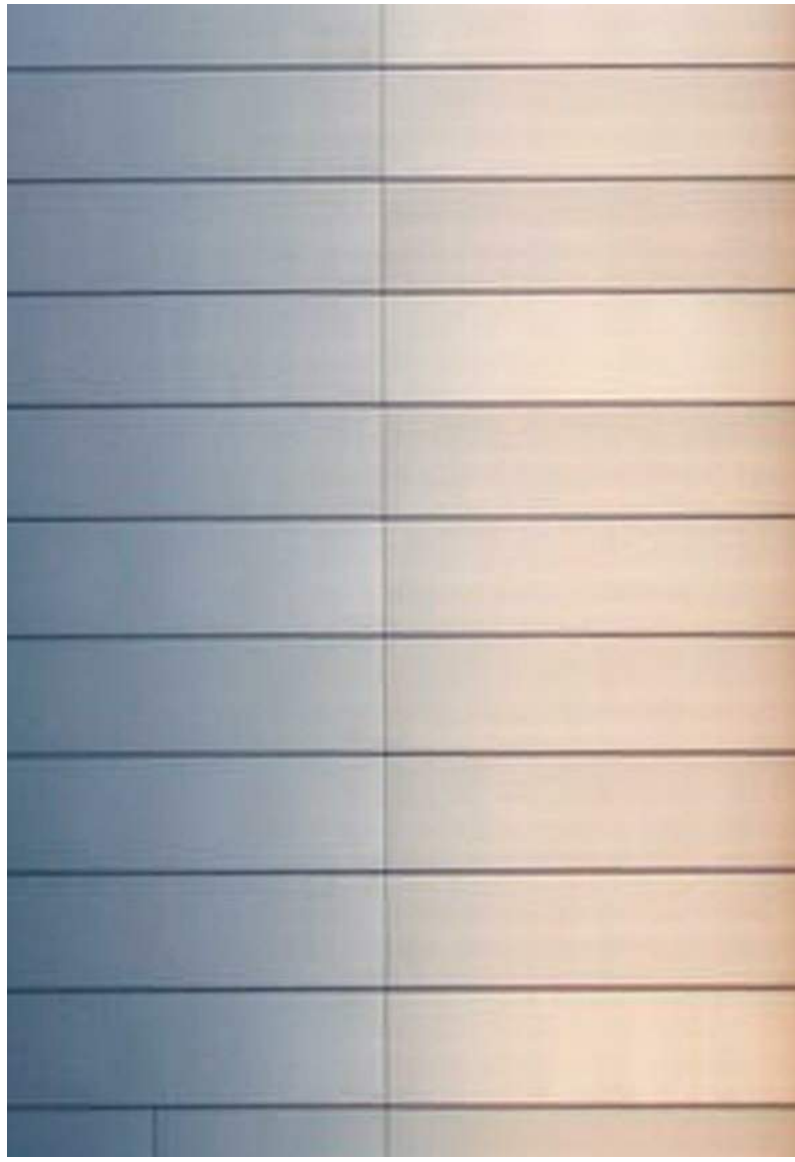
WD-2: WOOD SOFFIT



METAL TRELLIS



WD-2: WOOD FENCE



MT-1: METAL PANEL

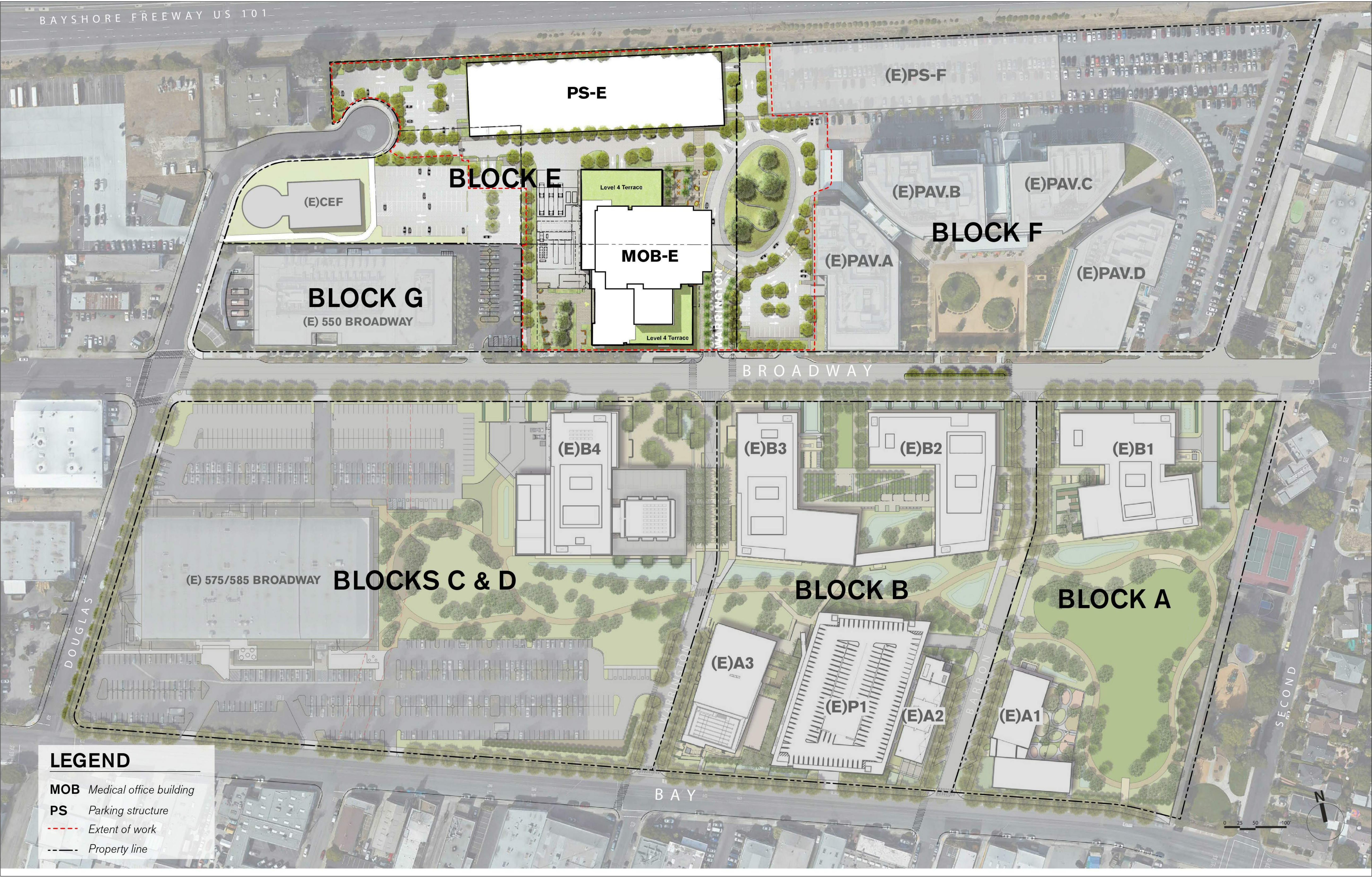


MT-2: ALUMINUM BAGUETTE,  
POWDER COATED

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MEDICAL OFFICE BUILDING

ISSUES  
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RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
12" = 1'-0"

SHEET TITLE:  
CAMPUS - SITE PLAN

SHEET NO:  
G.0-101



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STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

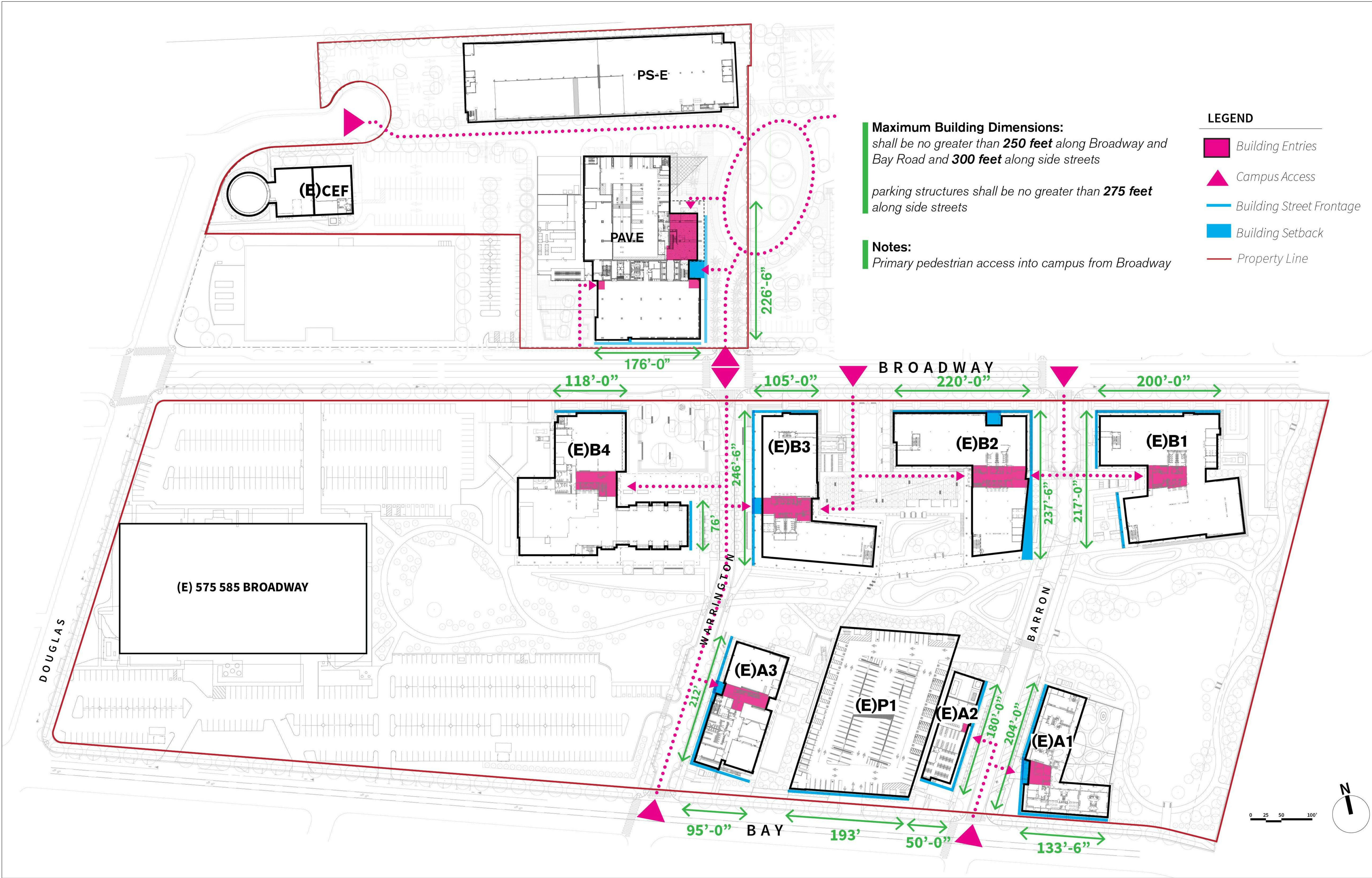
ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 40'-0"

SHEET TITLE:  
CAMPUS - BUILDING ENTRIES

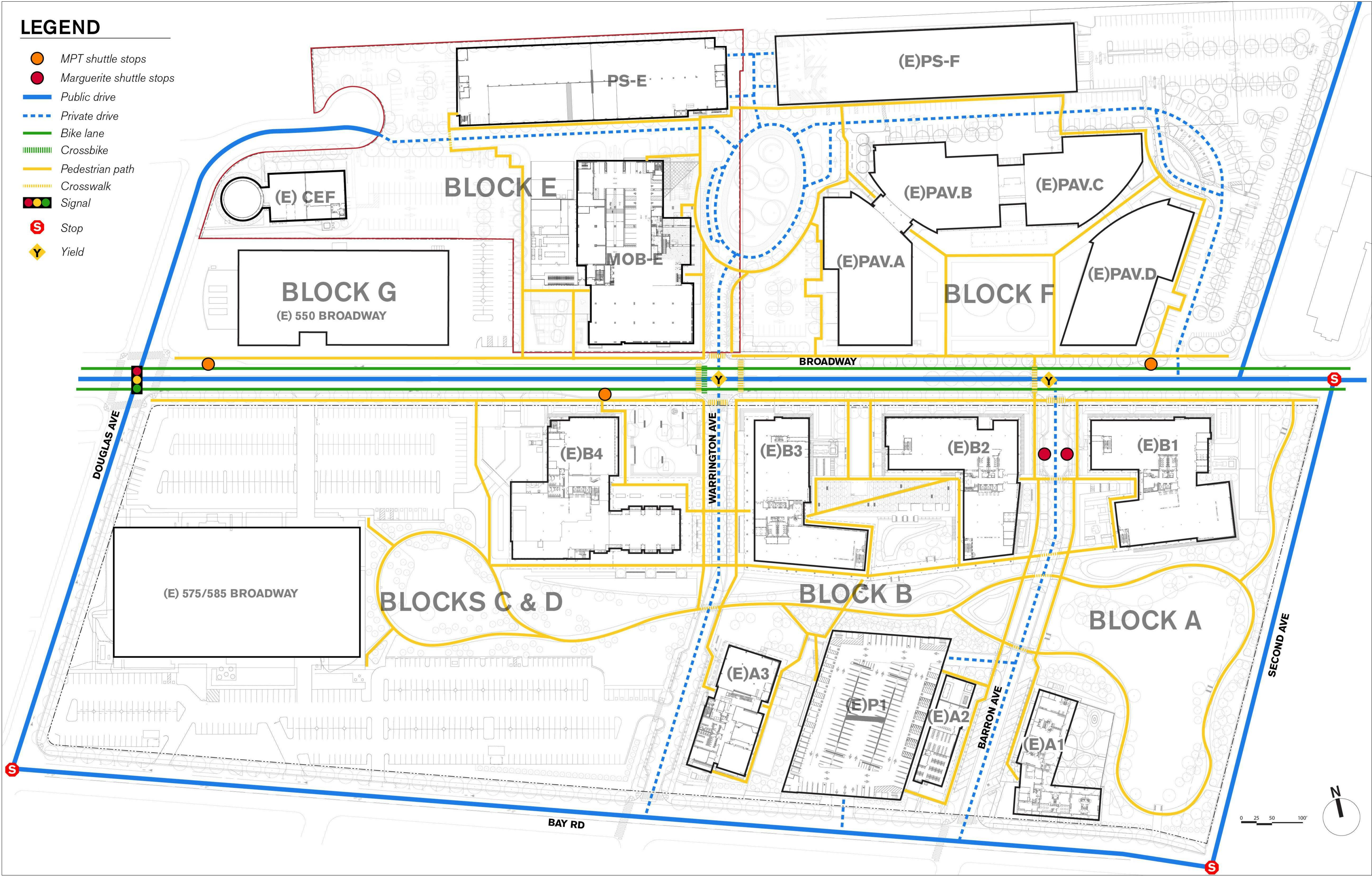
SHEET NO:  
G.0-103





LEGEND

- MPT shuttle stops
- Marguerite shuttle stops
- Public drive
- Private drive
- Bike lane
- Crossbike
- Pedestrian path
- Crosswalk
- Signal
- Stop
- Yield



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MEDICAL OFFICE BUILDING

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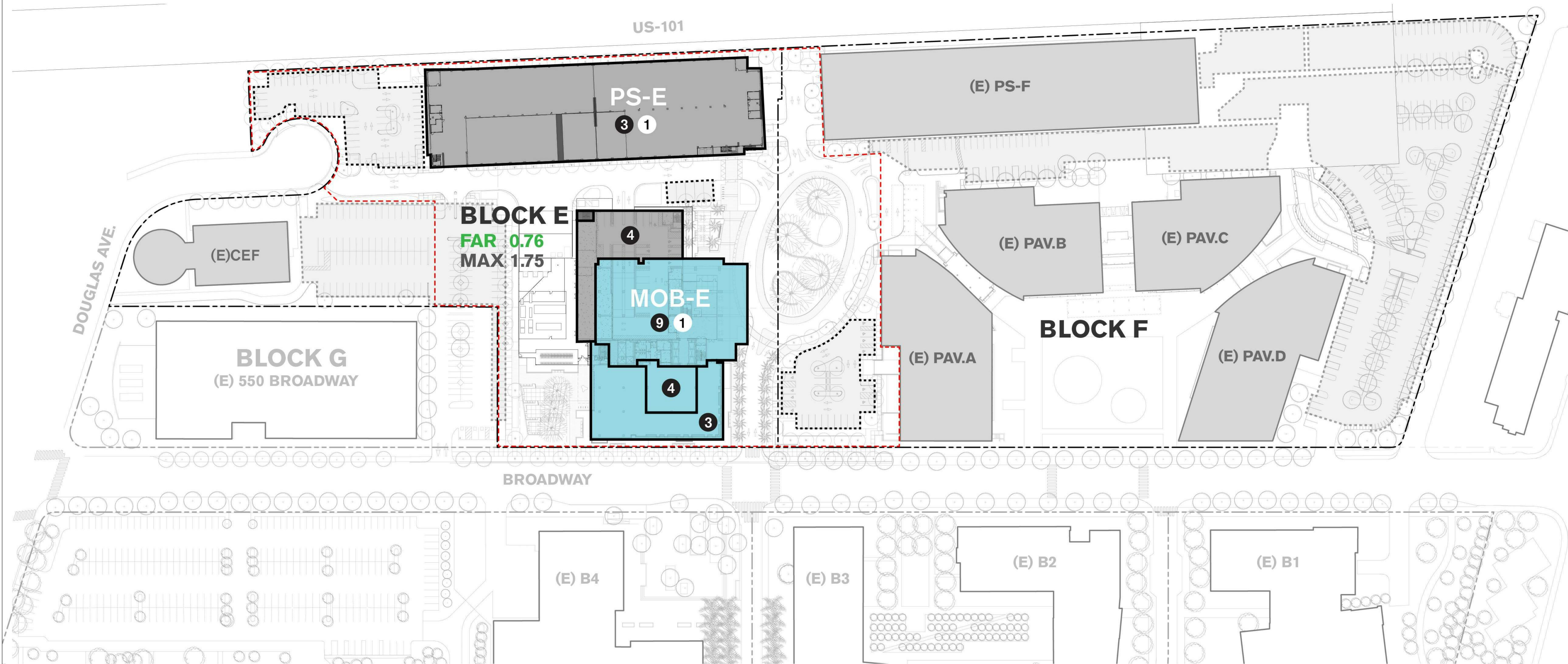
SCALE:  
1" = 40'-0"

SHEET TITLE:  
CAMPUS - CIRCULATION

SHEET NO:  
G.0-105



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## BLOCK E

BUILDING TOTAL	232,753 SF
MOB-E	225,049 SF
CEF	5,053 SF (E)
PARKING REQUIRED BY PRECISE PLAN	1,125* STALLS
PARKING PROVIDED	1,107 STALLS
PARCEL AREA	305,945 SF
FAR	0.76

### Notes:

- \* Based on Precise Plan parking standard for 5 stalls per 1,000 sf for medical uses  
\*\* Per Fehr & Peers parking study dated May 01, 2019

## PARKING

BLOCK E	STD	EV	ADA	CAV	MC	TOTAL
MOB-E	169	30	6	43	32	280
PS-E	484	36	55	46	33	654
SURFACE	171	0	2	0	0	173
TOTAL	824	66	63	89	65	1,107

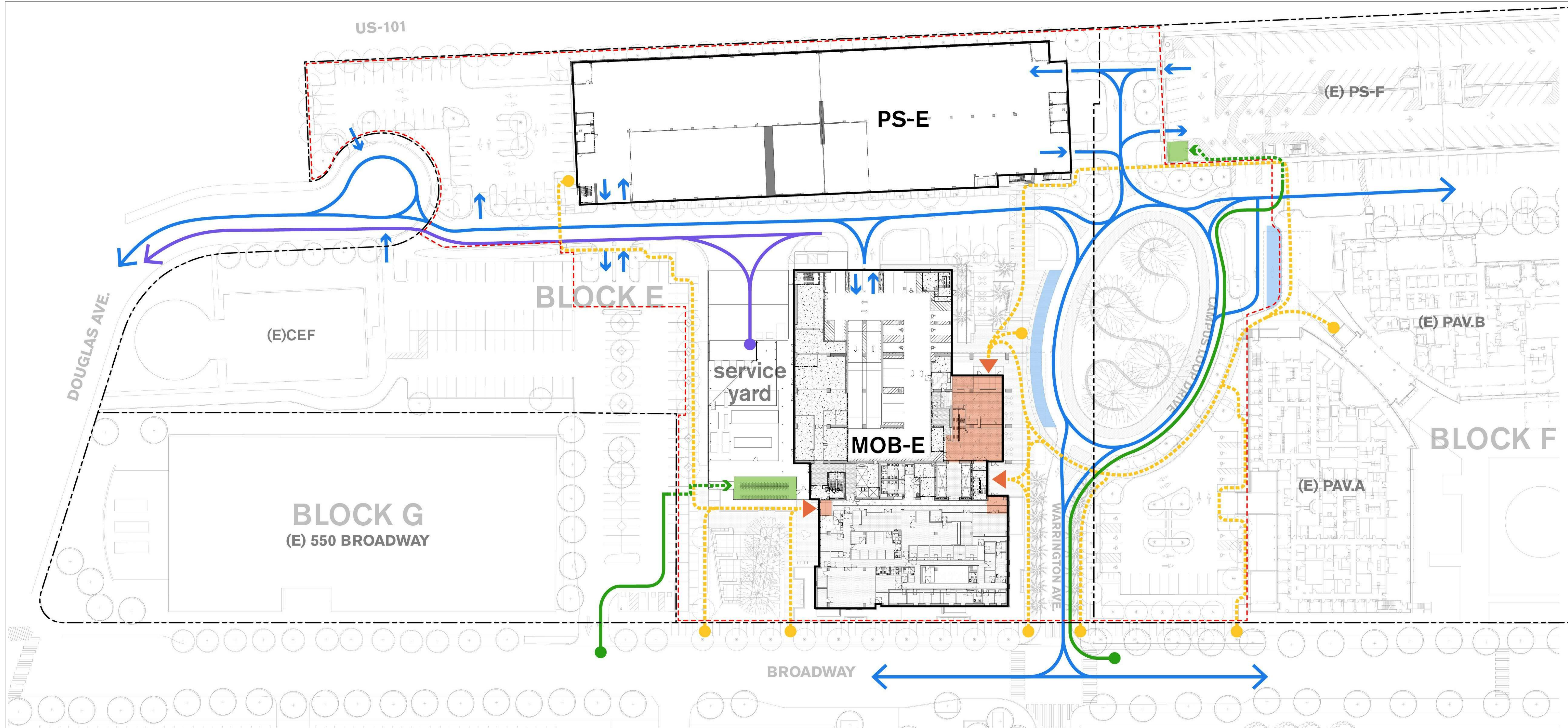
BLOCK F	STD	ADA	MC	TOTAL
TOTAL	1,095	81	113	1,289

BLOCK E & F	REQUIRED	PROVIDED
BLOCK E	1,125	1,107
BLOCK F	980**	1,289
TOTAL	2,119	2,396

## LEGEND

- # Stories above grade
- # Basement levels
- Medical Offices
- Parking structure / garage
- Surface parking
- Existing buildings
- Existing surface parking
- Extent of work
- Property line





## LEGEND

<span style="color: blue;">—</span> Vehicular	<span style="background-color: lightblue; border: 1px solid black; display: inline-block; width: 20px; height: 10px;"></span> Dropoff	<span style="color: red; border-top: 1px dashed red;">—</span> Extent of work
<span style="color: yellow;">- - -</span> Pedestrian	<span style="background-color: lightgreen; border: 1px solid black; display: inline-block; width: 20px; height: 10px;"></span> Bicycle room	<span style="color: black; border-top: 1px dashed black;">—</span> Property line
<span style="color: purple;">—</span> Service	<span style="background-color: orange; border: 1px solid black; display: inline-block; width: 20px; height: 10px;"></span> Building lobby	
<span style="color: green;">—</span> Bicycle	<span style="color: orange;">▲</span> Building entry	
<span style="color: green;">- - -</span> Bicycle (walked)		

### Notes:

Primary pedestrian access into site from Broadway

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STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

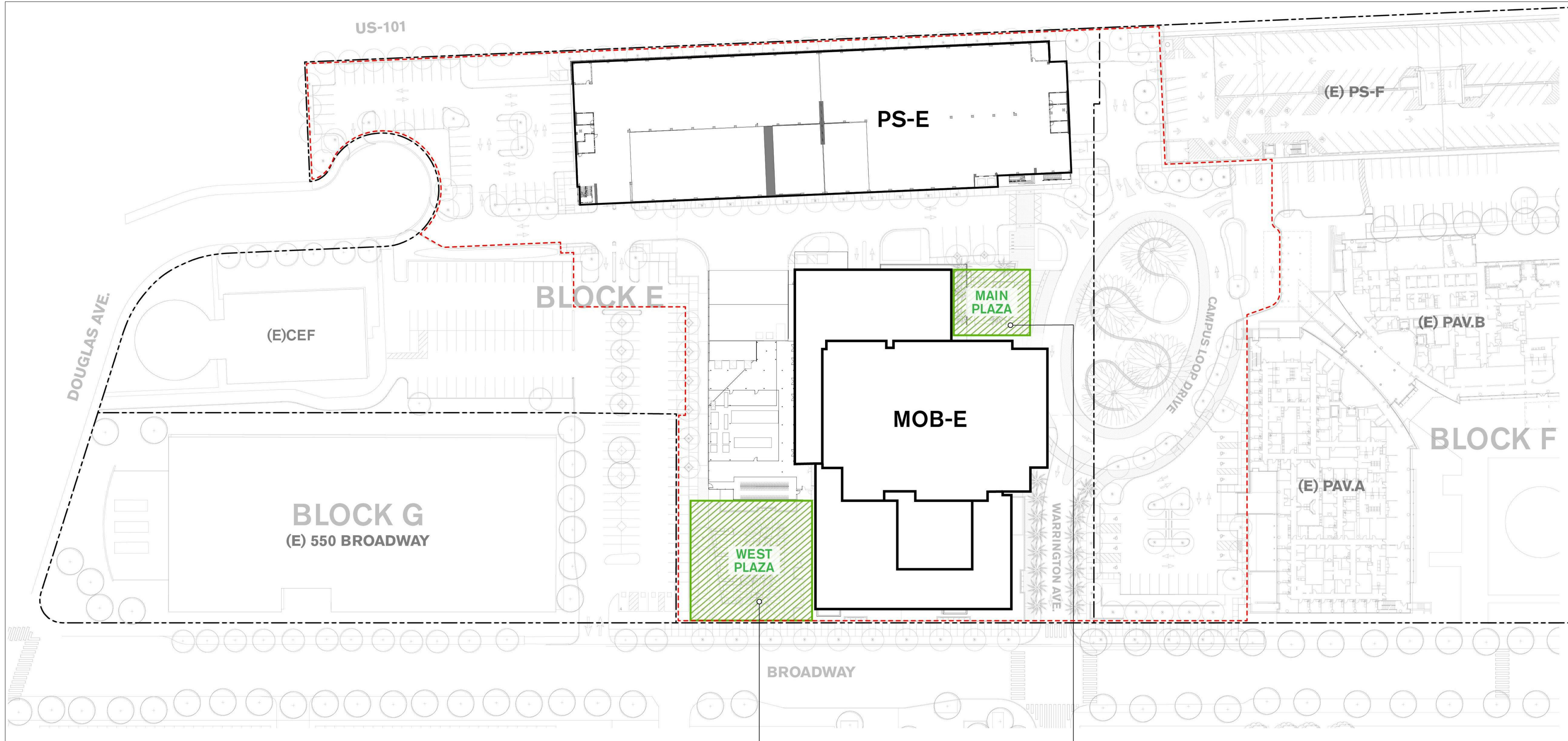
DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 40'-0"

SHEET TITLE:  
**BLOCK E - CIRCULATION**

SHEET NO:  
**G.0-121**





## OPEN SPACE SUMMARY

### Precise plan requirements

Minimum 5% GSF for buildings >40,000sf of open courtyard space for sitting, sunning, lunch areas directly associated with adjacent buildings

### MOB building courtyard requirement

$225,049\text{gsf} \times 5\% = 11,252\text{sf}$

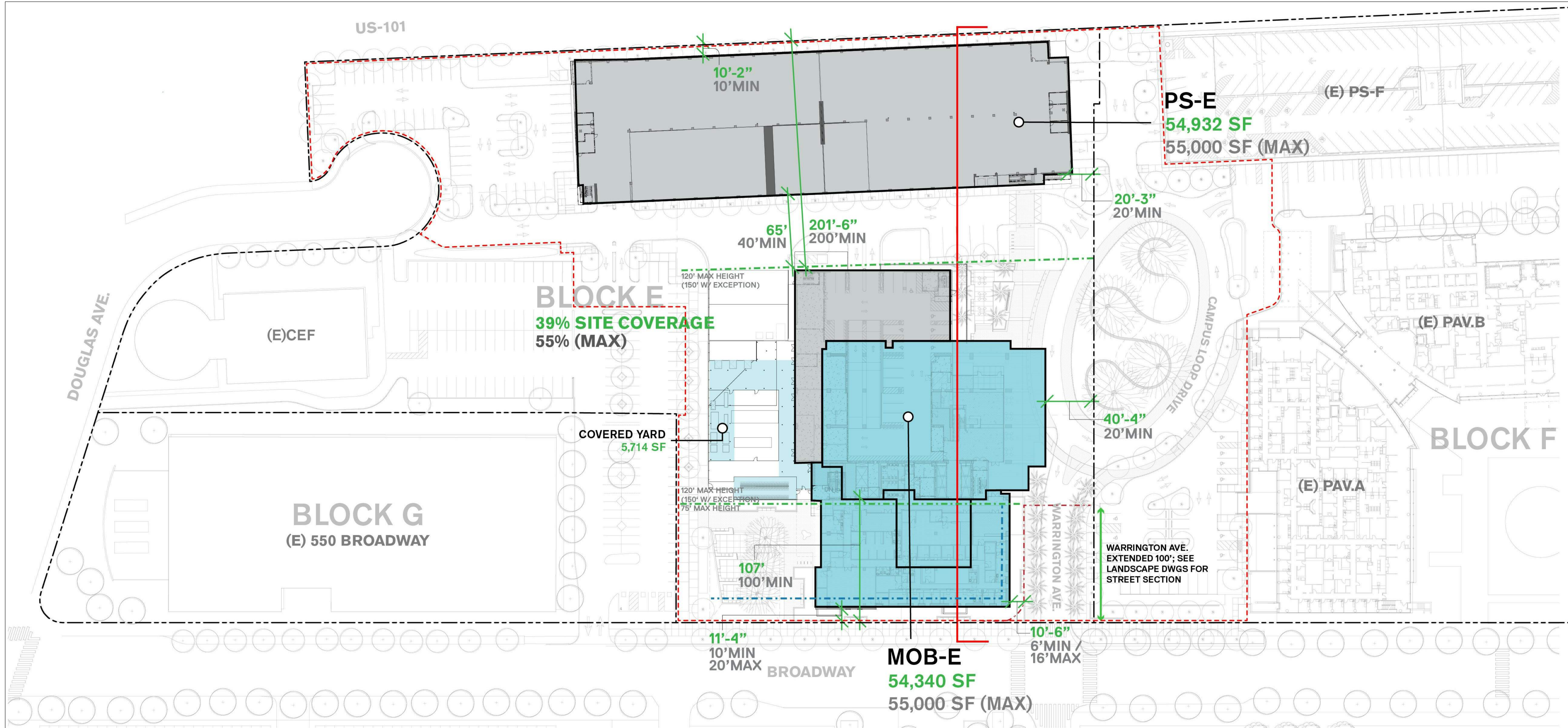
## LEGEND

 Courtyards

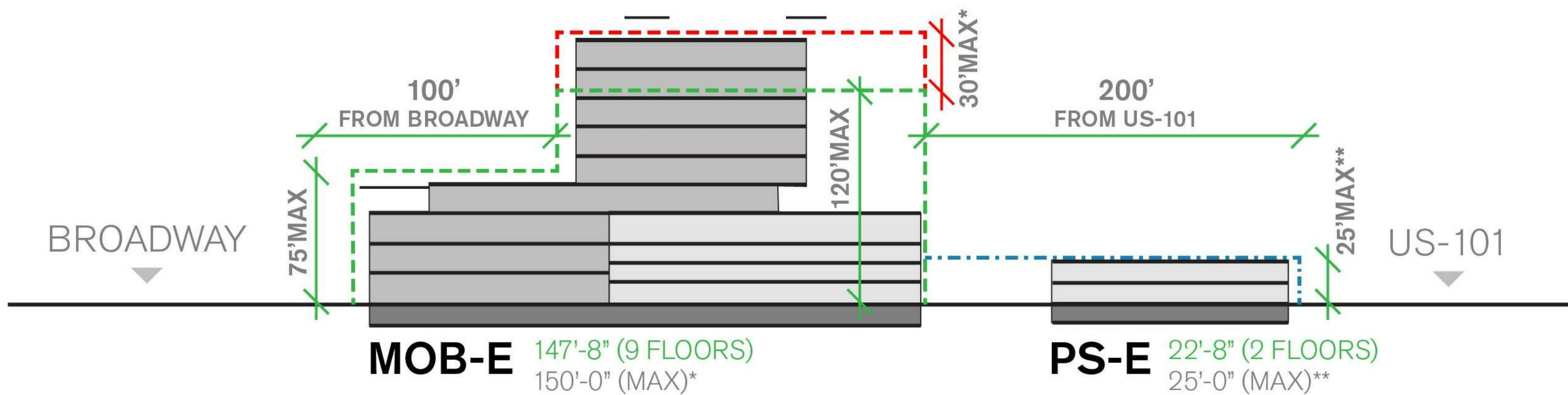
MAIN PLAZA: 4,200 SF  
WEST PLAZA: 12,000 SF  
TOTAL: 16,200 SF  
TOTAL REQ'D: 11,252 SF

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## SITE SECTION



## SETBACK COMPLIANCE

MOB-E	US-101	200' MIN
	BROADWAY	10'-0" MIN / 20'-0" MAX
	INTERNAL	20'-0" MIN
PS-E	US-101	10' MIN
	INTERNAL	20'-0" MIN

## LEGEND

	Medical Offices		Easement
	Parking		Minimum setback line
	Covered yard		Maximum setback line
			Extent of work
			Property line

\* Per Precise Plan, Chapter II, Section II.D.4 of the Precise Plan, one building on each of Blocks B, C, and E may be allowed to exceed height limits by up to 30 feet.  
 \*\* Per Precise Plan Chapter II, Section II.D.1 of the Precise Plan, the maximum building height of 20' may be exceeded by up to 5' where subsurface parking is provided.

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WRNSSTUDIO

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

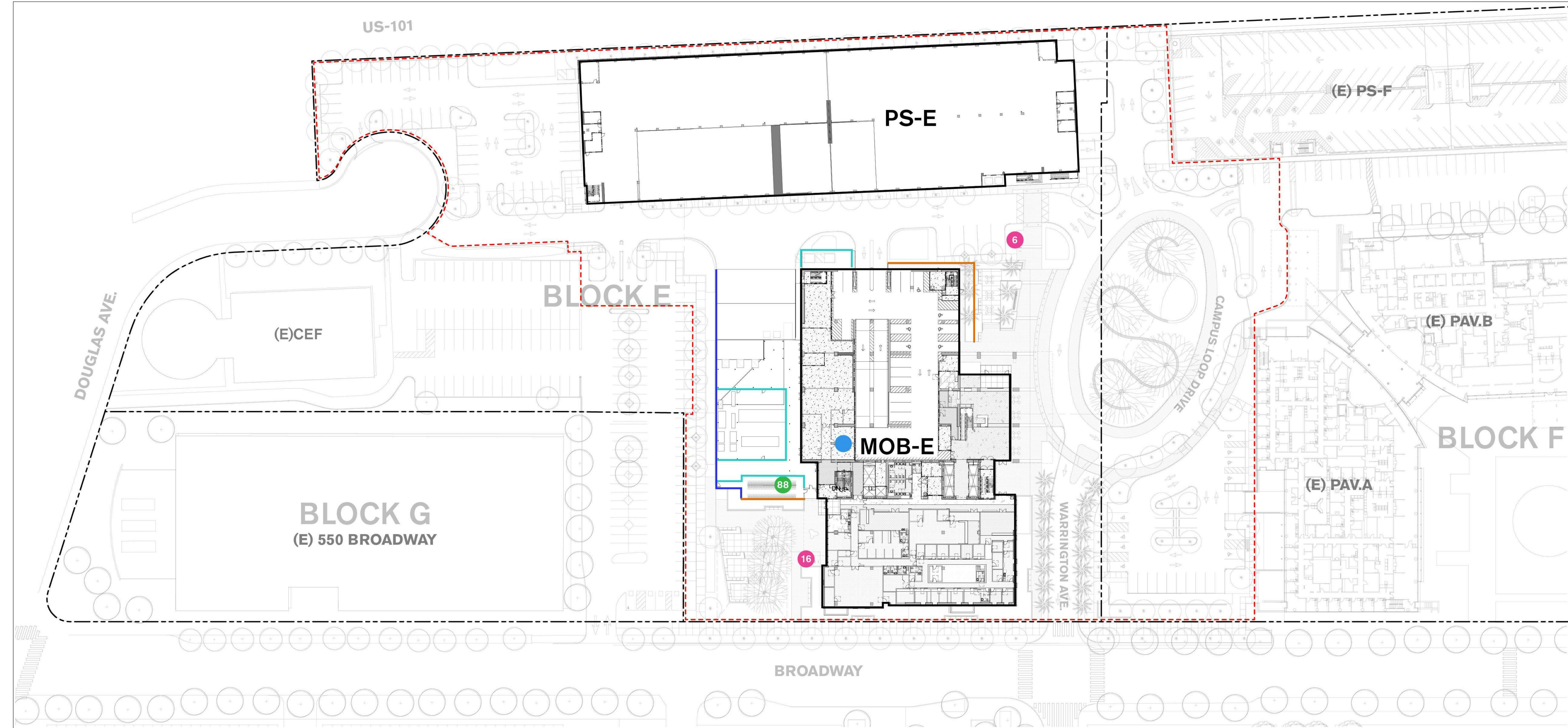
DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 40'-0"

SHEET TITLE:  
**BLOCK E - SETBACKS, COVERAGE AND BUILDING HEIGHT**

SHEET NO:  
**G.0-141**





## FENCING TYPES



Architectural Fence  
terra cotta



Wood Fence  
wood



Metal Panel  
metal

## BICYCLE PARKING SUMMARY

**Block E bicycle parking required**  
1 bicycle per 10 required vehicle stalls  
1,125 vehicle stalls req'd =  $1,125 \times 0.1 = 110$   
80% long term parking =  $110 \times 0.8 = 88$  required  
20% short term parking =  $110 \times 0.2 = 22$  required

**Long term parking provided**  
88 bicycle parking places in special locked rooms  
with tools and service counter

**Short term parking provided**  
22 short term (bicycle racks) provided

## LEGEND

- # Long-term parking in special locked rooms
- # Short-term bicycle racks
- Showers
- Terrace cotta wall
- Wood fence
- Metal panel fence
- - - Extent of work
- - - Property line

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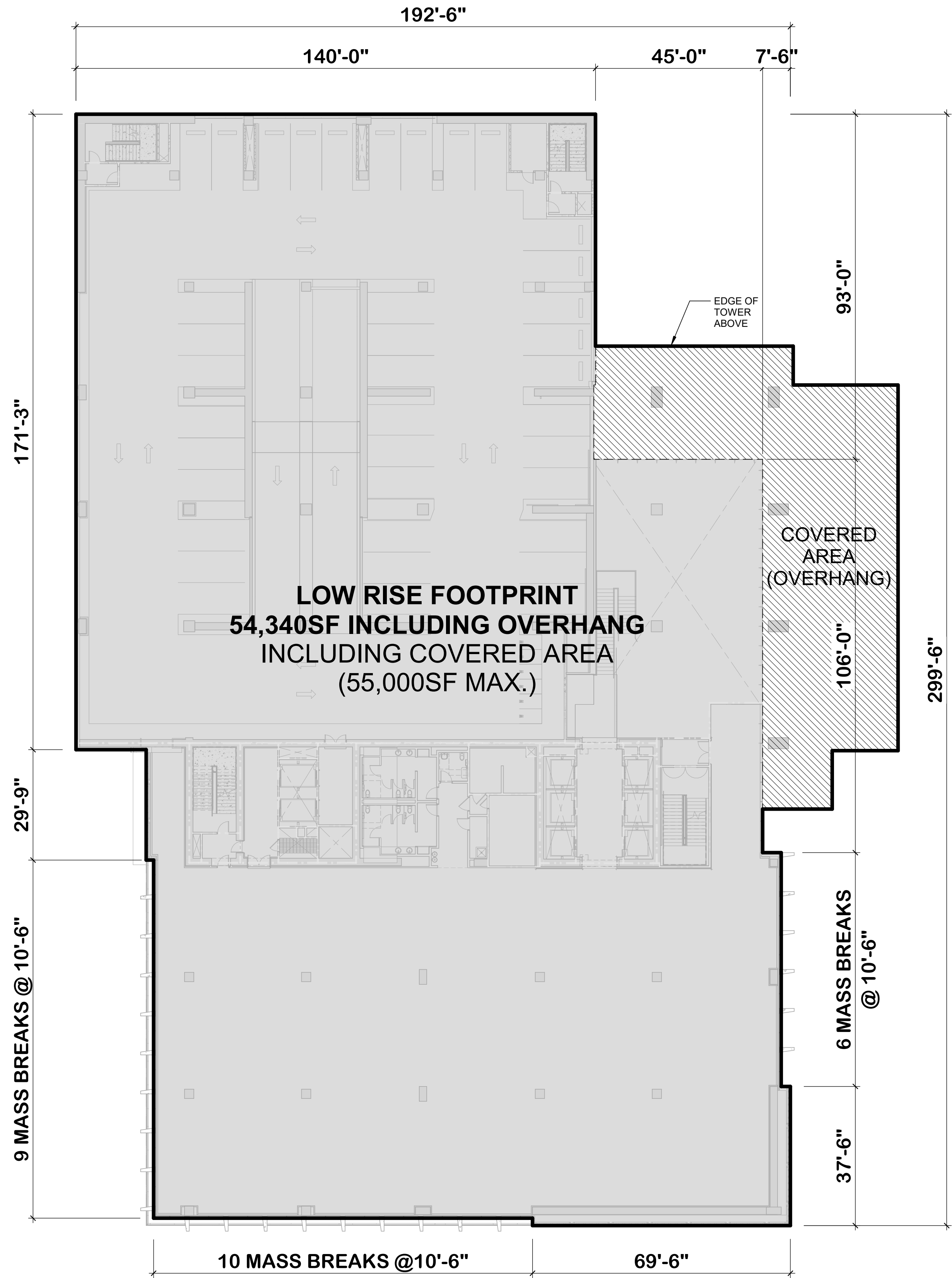
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09/18/2019

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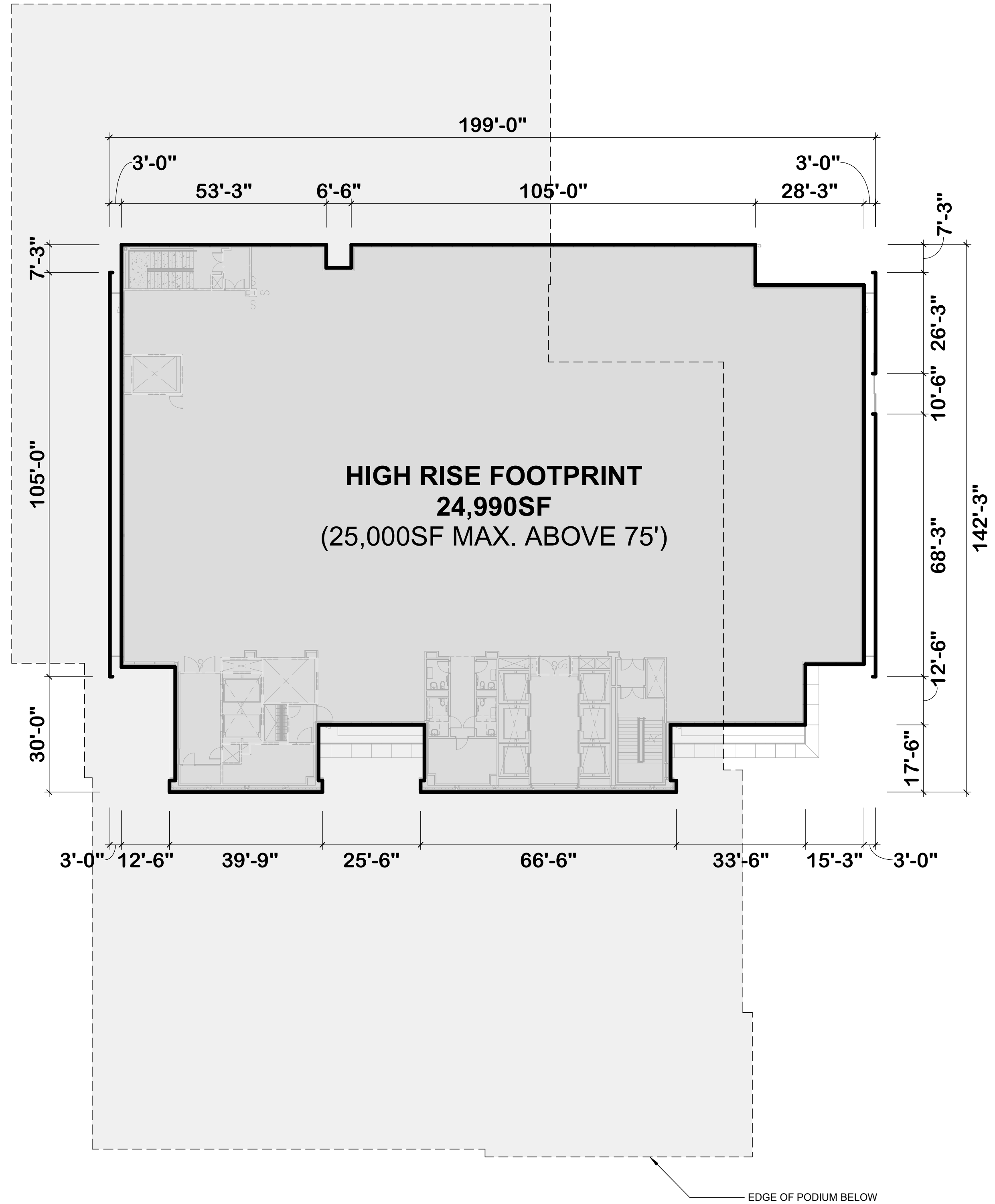
SHEET TITLE:  
**MOB-E PROJECT AXONOMETRIC**

SHEET NO:  
**A.1-000**





1 FLOOR PLAN - LEVEL 2  
1" = 20'-0"



2 FLOOR PLAN - LEVEL 6  
1" = 20'-0"

PRECISE PLAN MASSING BREAK REQUIREMENTS

B. BUILDING FORM AND MATERIALS (PG.33)

THE DESIGN GUIDELINES PROMOTE CAMPUS BUILDINGS THAT ARE COMPLEMENTARY, WHILE ALLOWING FOR A VARIETY OF SPECIFIC ARCHITECTURAL SOLUTIONS. WHILE NO PARTICULAR ARCHITECTURAL STYLE IS PRESCRIBED, THE BUILDING CHARACTER SHOULD RESPECT NEIGHBORHOOD CONTEXT, WITH DESIGN FORMS AND MATERIALS THAT RELATE TO ADJACENT RESIDENTIAL AND INDUSTRIAL DISTRICTS AND THAT ARE CONTEMPORARY IN STYLE.

1. COMPLEMENTARY BUILDING FORMS – NEW CAMPUS BUILDINGS SHOULD BE COMPLEMENTARY TO ONE ANOTHER IN TERMS OF MASSING, FORM, COMPOSITION, COLOR, MATERIALS, FENESTRATION, ROOFLINES, AND OTHER ARCHITECTURAL FEATURES.

2. FIRST PHASE BUILDINGS – THE FIRST NEW CAMPUS BUILDINGS ON BLOCKS A-E SHOULD ESTABLISH A QUALITY BASELINE FOR SUBSEQUENT CAMPUS BUILDINGS IN TERMS OF URBAN DESIGN/BUILDING ORIENTATION, AND STREETScape AND FRONTAGE IMPROVEMENTS. THE FIRST NEW BUILDINGS SHOULD HAVE AN ARCHITECTURAL CHARACTER THAT WILL COMPLEMENT FUTURE CAMPUS BUILDINGS.

3. FAÇADE COMPOSITION – BUILDING FAÇADES SHOULD BE COMPOSED OF MORE THAN A SINGLE ARCHITECTURAL APPROACH; I.E., CONTINUOUS UNDIFFERENTIATED GLASS AND/OR OTHER SIMILAR WALL DESIGNS ARE NOT RECOMMENDED. DIFFERENT SURFACE MATERIALS, MASSING, AND/OR OTHER APPROACHES SHOULD BE USED TO ACCENT THE COMPOSITION. A VARIETY OF ARCHITECTURAL EXPRESSIONS ARE POSSIBLE WITHIN THIS APPROACH.

4. FAÇADE SURFACE RELIEF – BUILDING FAÇADES SHOULD EXHIBIT A STRONG THREE-DIMENSIONAL QUALITY THROUGH THE USE OF RECESSED WALL SURFACES, PUNCHED OPENINGS, TERRACES AND ARCADES AND/OR PROJECTING WINDOW BAYS, SUNSHADES, CANOPIES, EAVES AND OTHER ARCHITECTURAL FORMS, PARTICULARLY ALONG HIGHLY VISIBLE FRONTAGES AND IMPORTANT PEDESTRIAN ROUTES.

5. MAXIMUM BUILDING DIMENSION (PG. 23) – SHALL BE NO GREATER THAN 250 FEET ALONG THE BROADWAY AND BAY ROAD FRONTAGES, AND NO GREATER THAN 300 FEET ALONG SIDE STREETS. PORTIONS OF THE BUILDING PLANE THAT EXCEED 200 FEET SHALL BE SET BACK A MINIMUM OF 20 ADDITIONAL FEET.

6. BUILDING MASS BREAKS (PG. 23) – BUILDING MASS SHALL BE RECESSED, PROJECTED, NOTCHED, OR OTHERWISE BROKEN AT INTERVALS OF 100 FEET OR LESS ALONG STREET AND GREENWAY FRONTAGES. RECESSED, PROJECTED OR OTHERWISE BROKEN AREAS SHOULD BE A MINIMUM OF 6 FEET MEASURED BETWEEN BUILDING PLANES.

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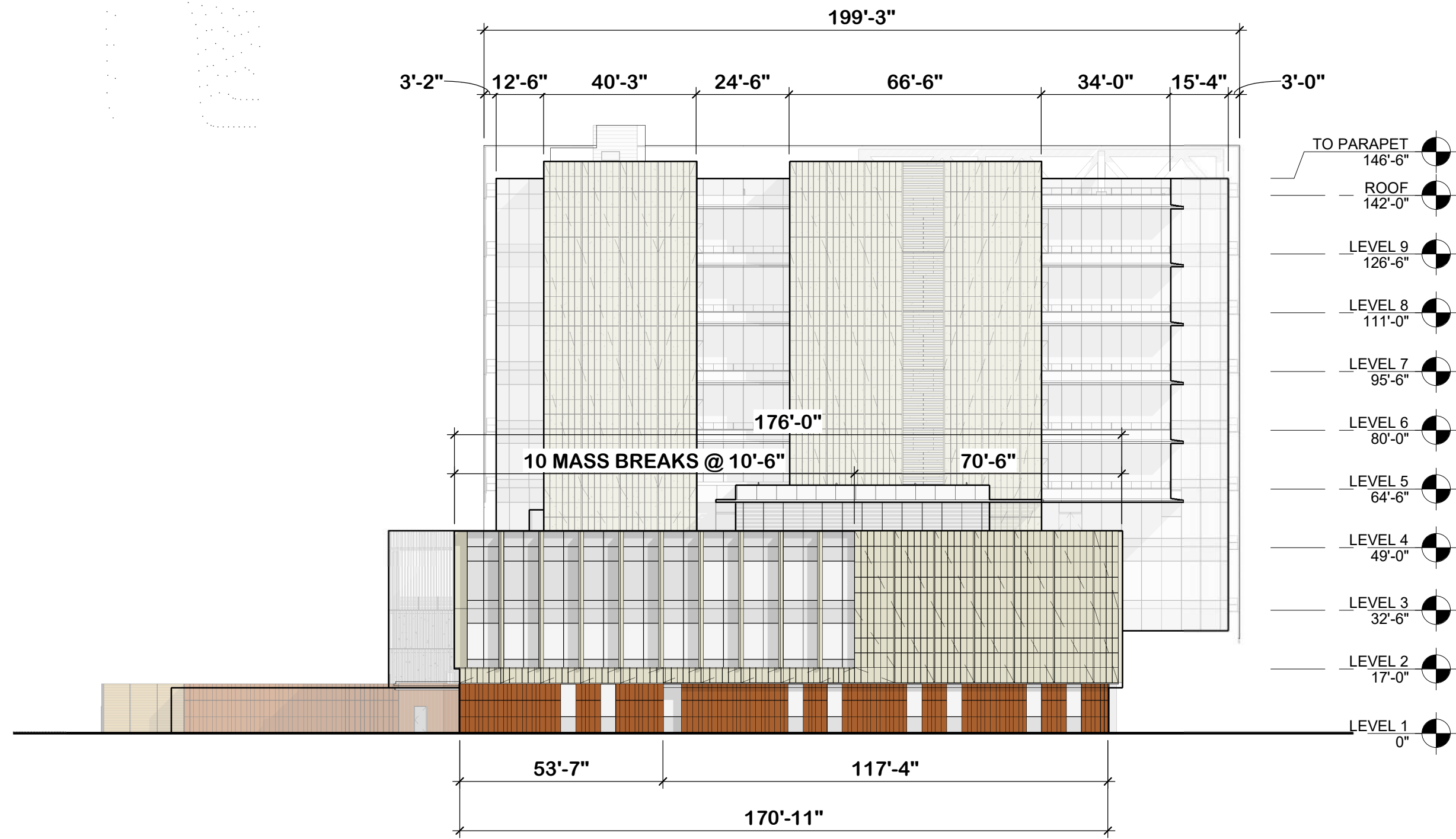
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07/19/2019  
09/18/2019

SCALE:  
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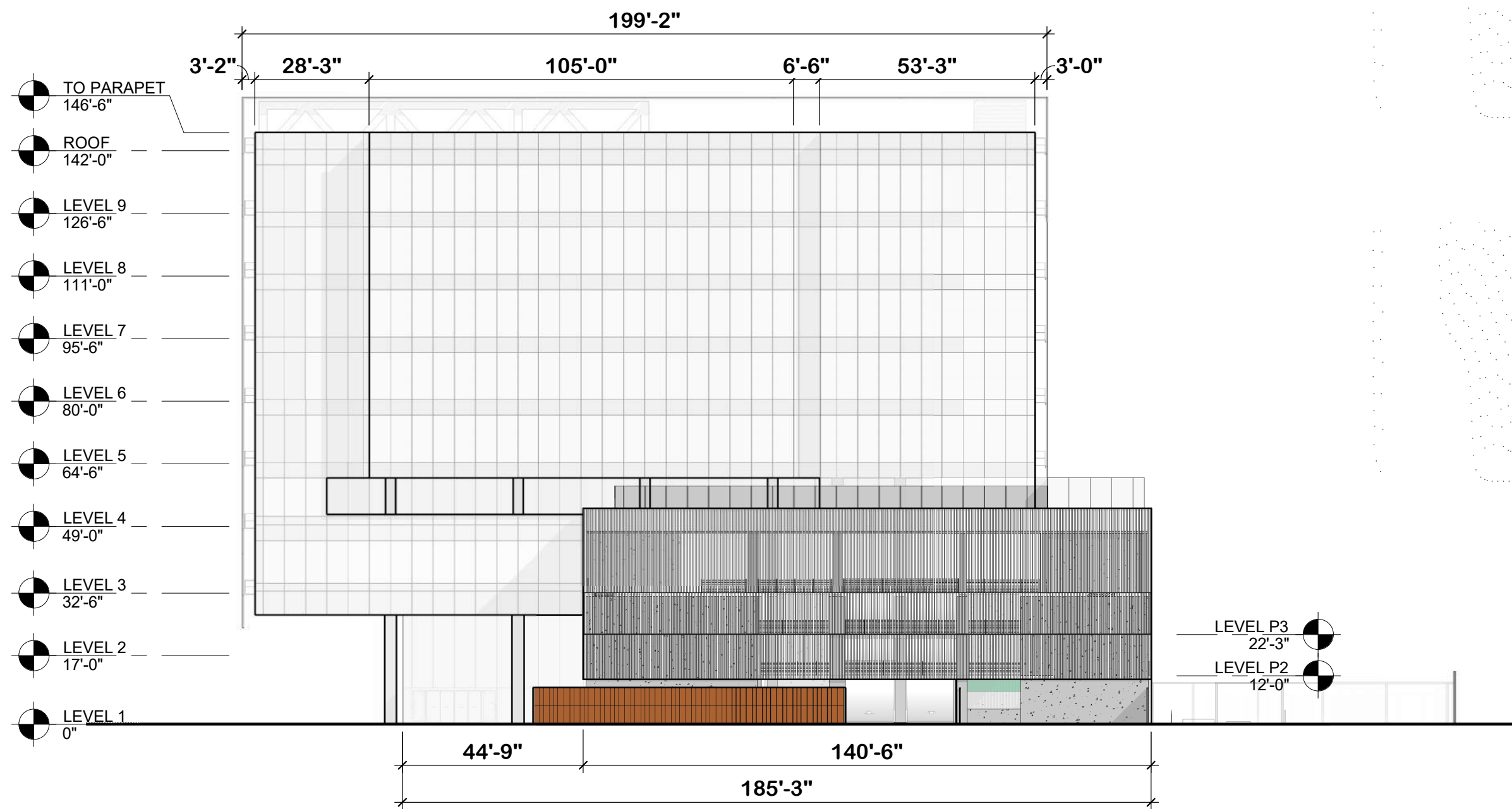
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MOB-E MASSING BREAKS AND FOOTPRINT

SHEET NO:  
A.1-001

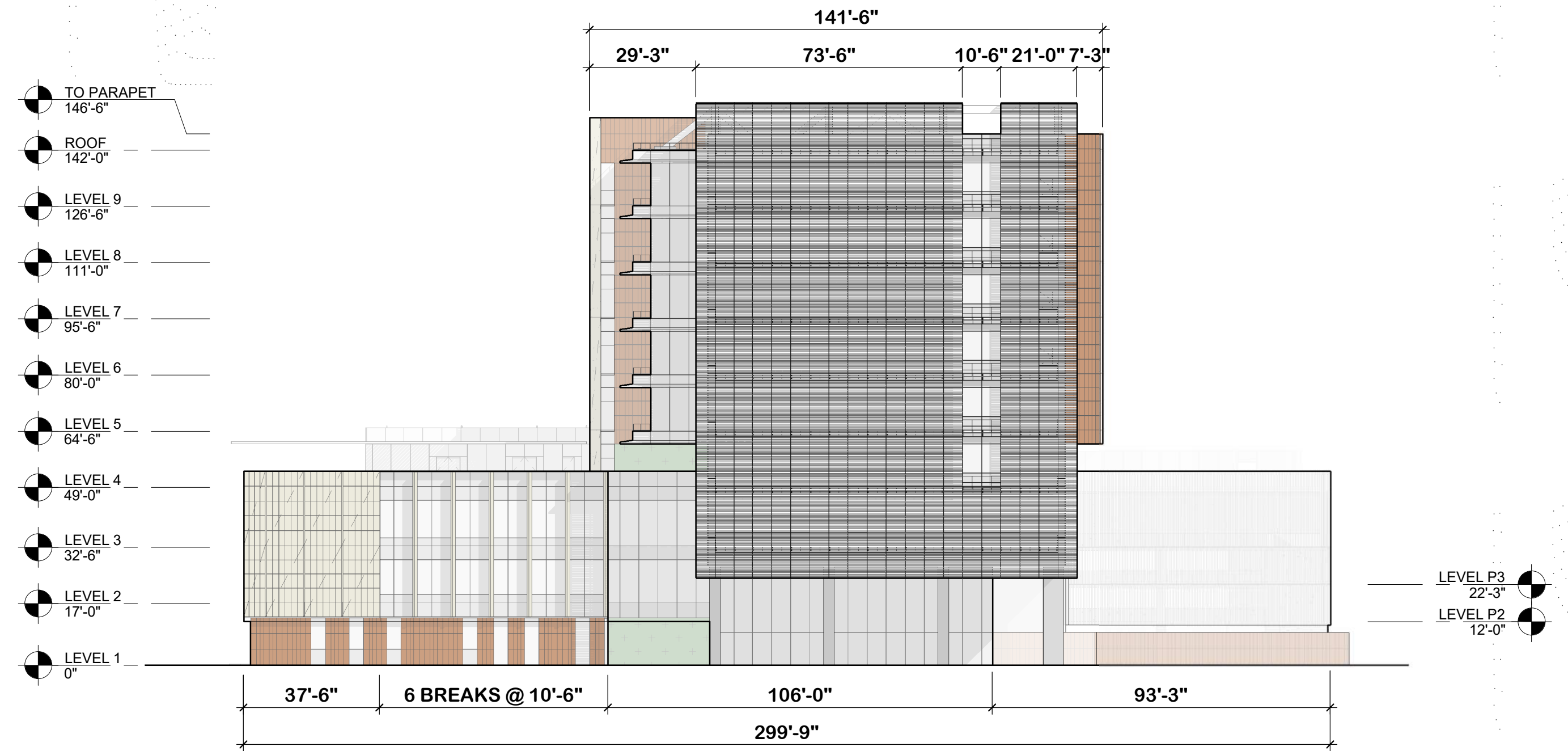




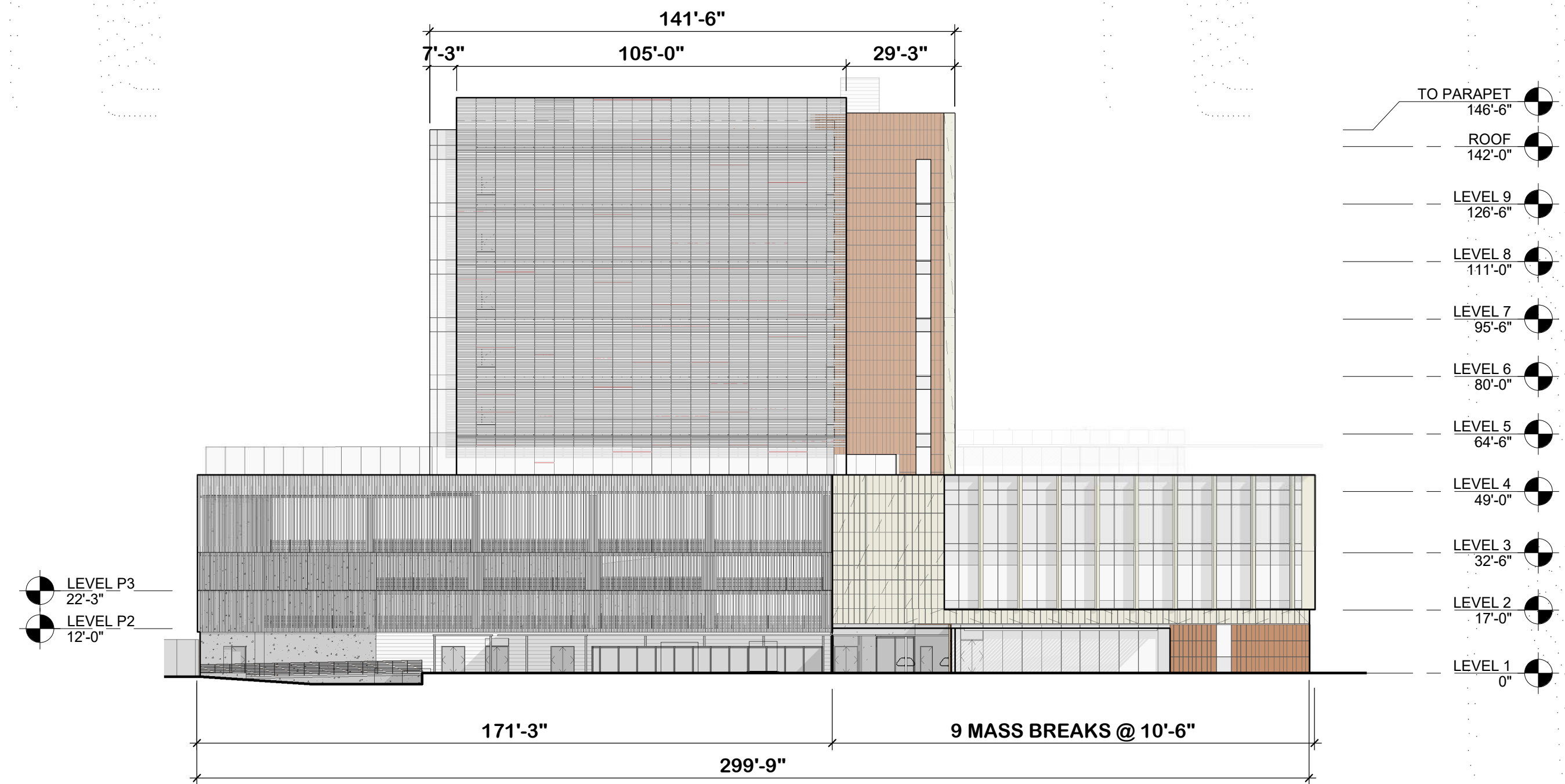
1 SOUTH ELEVATION  
1" = 30'-0"



3 NORTH ELEVATION  
1" = 30'-0"



2 EAST ELEVATION  
1" = 30'-0"



4 WEST ELEVATION  
1" = 30'-0"

## PRECISE PLAN MASSING BREAK REQUIREMENTS

### B. BUILDING FORM AND MATERIALS (PG.33)

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09/18/2019

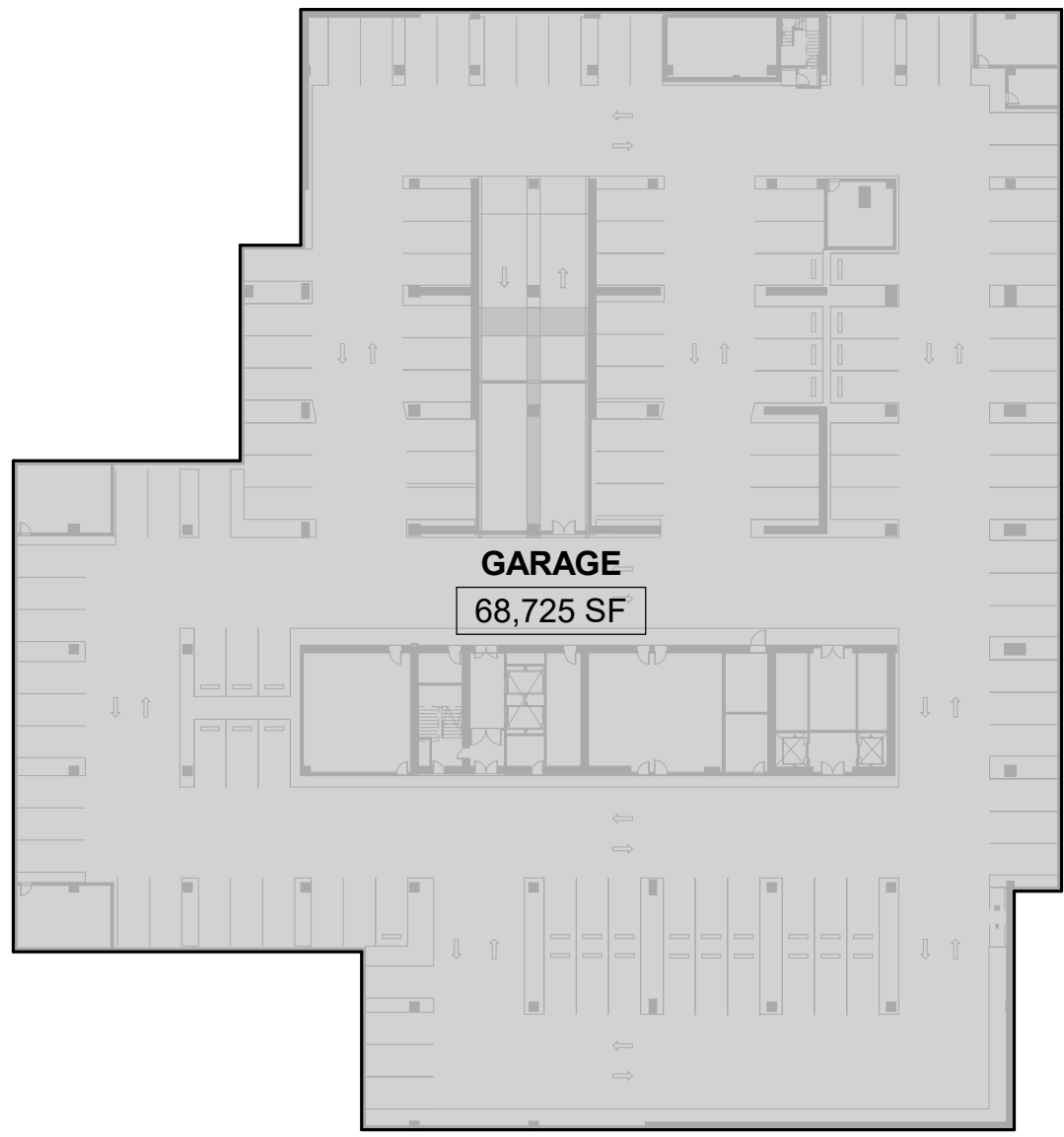
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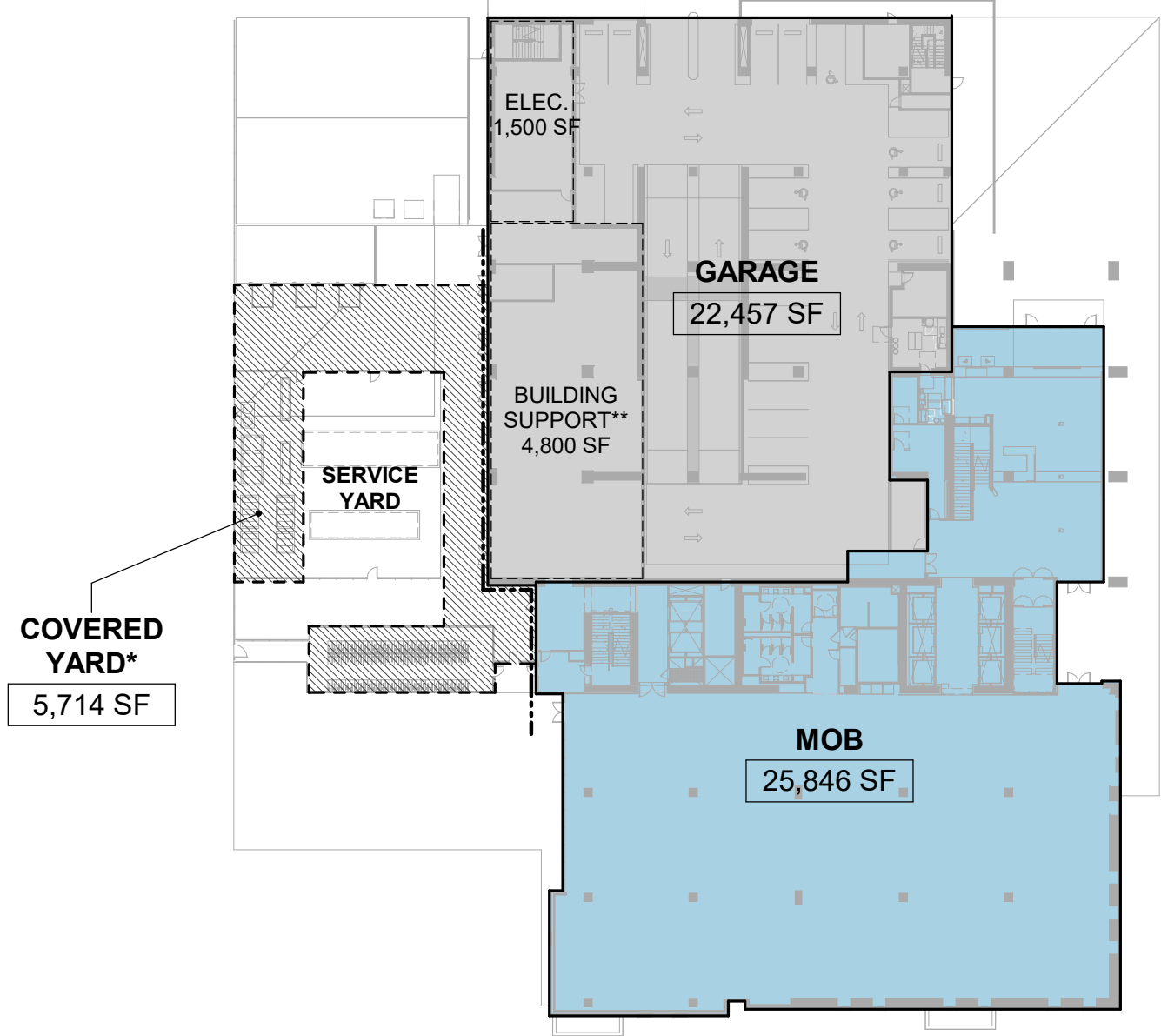
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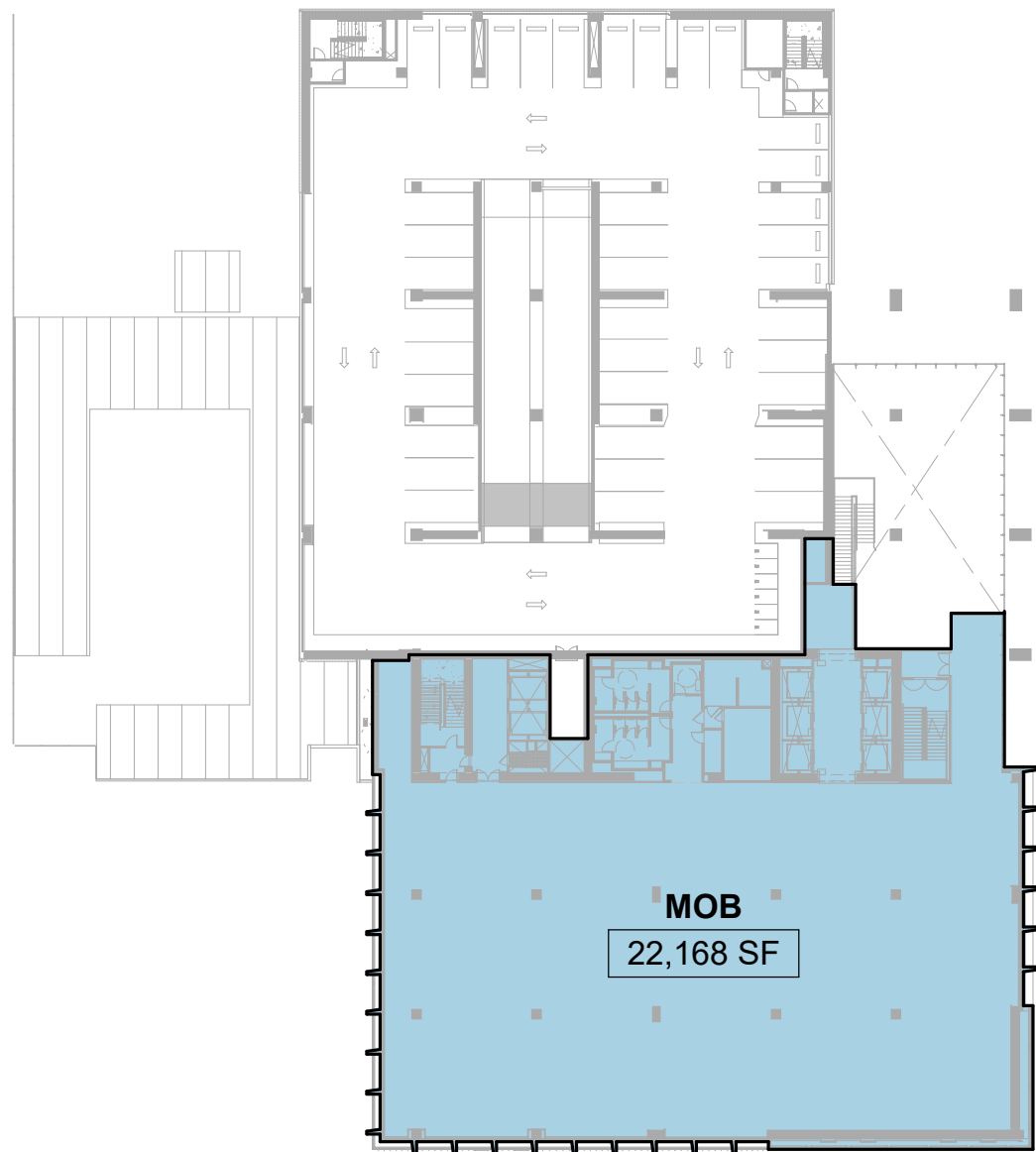
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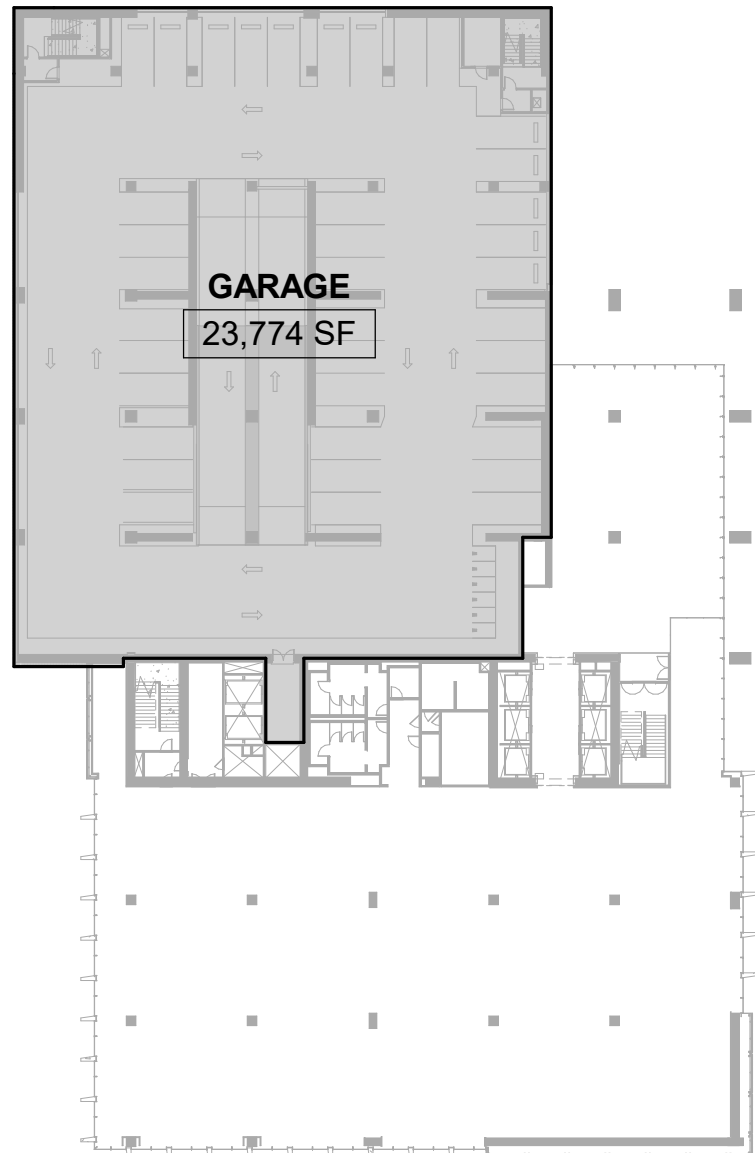
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1" = 50'-0"



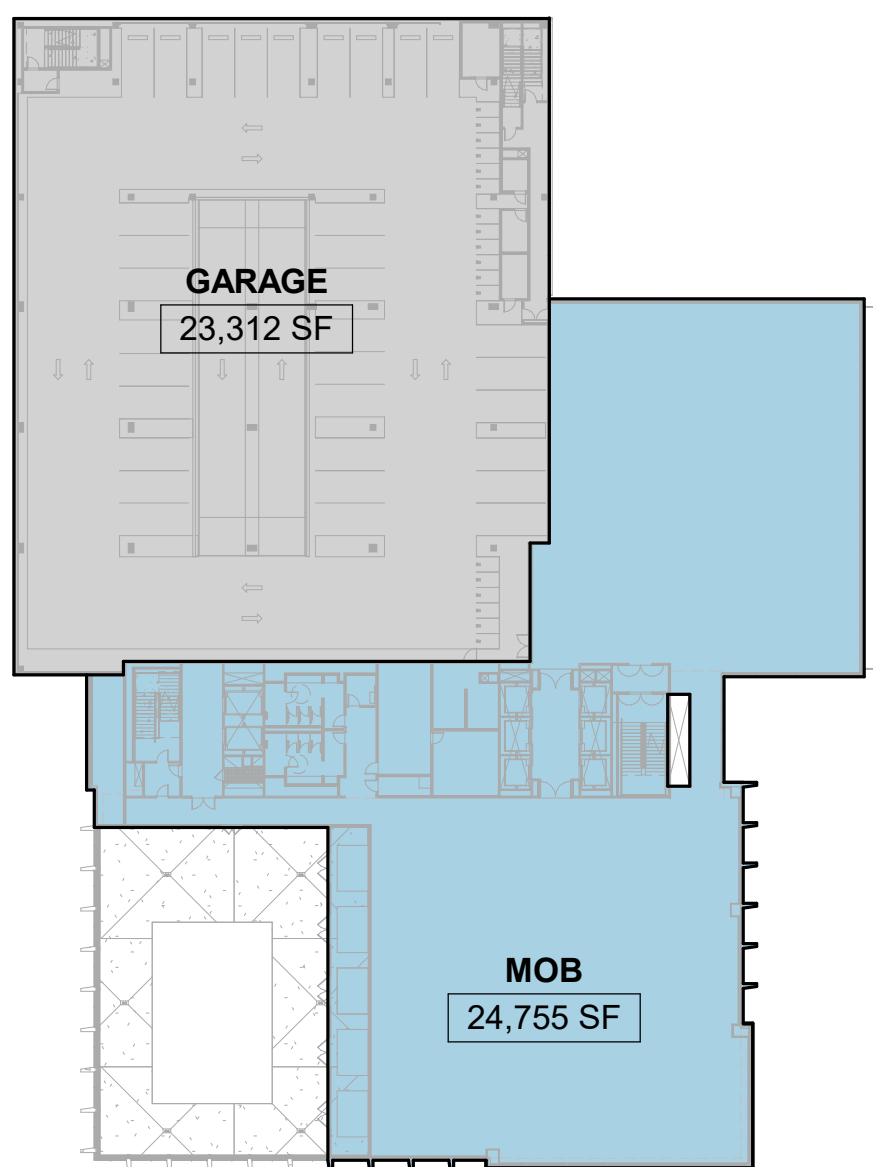
2 GROSS AREA PLAN - LEVEL 1  
1" = 50'-0"



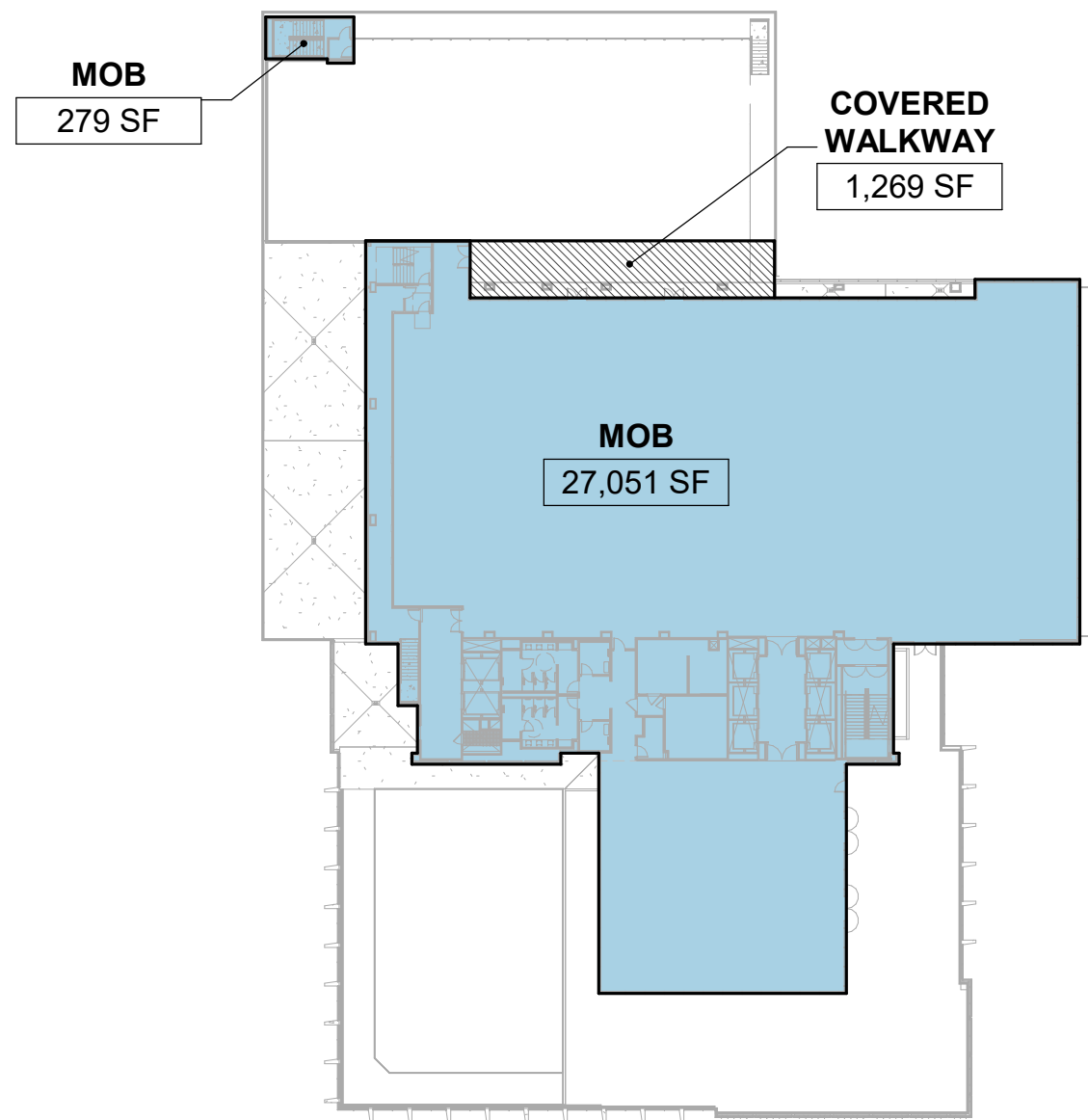
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1" = 50'-0"



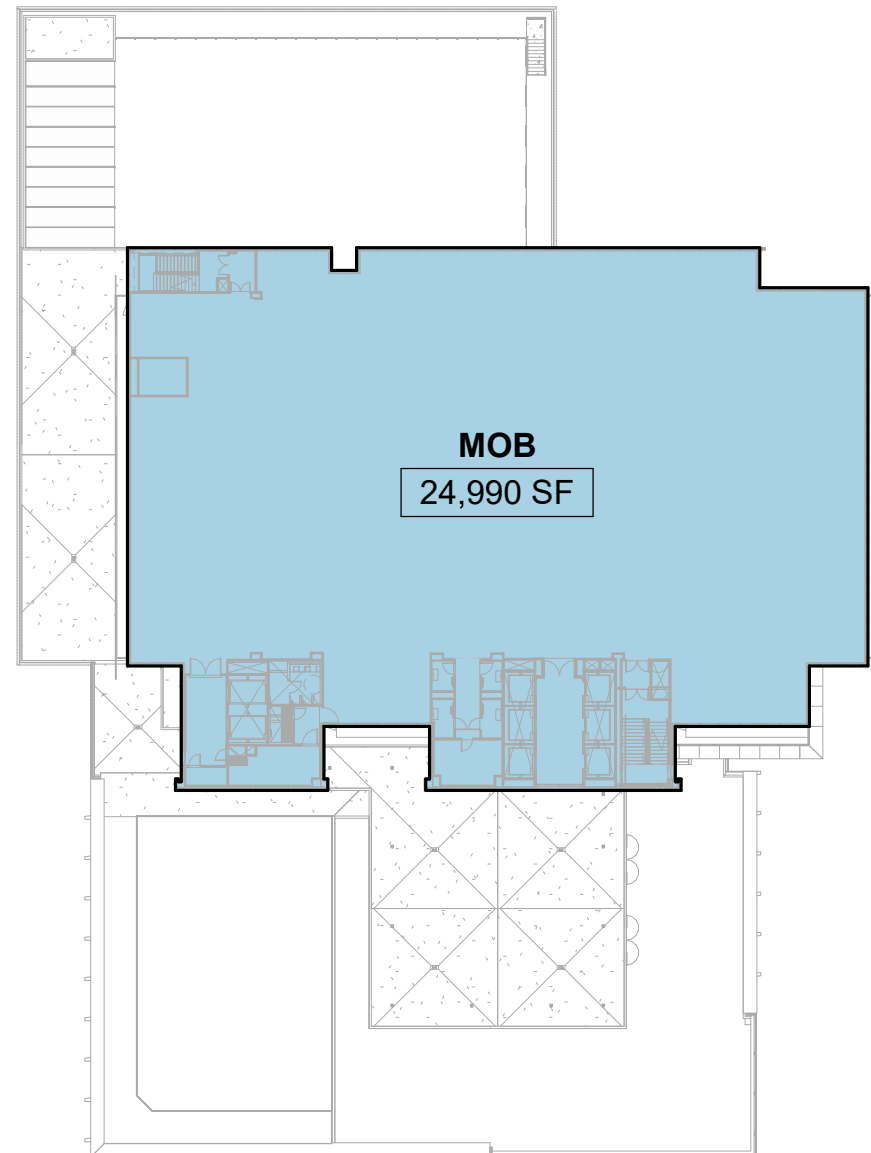
4 GROSS AREA PLAN - LEVEL P2/P3  
1" = 50'-0"



5 GROSS AREA PLAN - LEVEL 3  
1" = 50'-0"



6 GROSS AREA PLAN - LEVEL 4  
1" = 50'-0"



7 GROSS AREA PLAN - LEVELS 5-9  
1" = 50'-0"

MOB GROSS AREA	
LEVEL	AREA
LEVEL 1	25,846 SF
LEVEL 2	22,168 SF
LEVEL 3	24,755 SF
LEVEL 4	27,051 SF
LEVEL 5	279 SF
LEVEL 6	24,990 SF
LEVEL 7	24,990 SF
LEVEL 8	24,990 SF
LEVEL 9	24,990 SF
TOTAL	225,049 SF

PARKING GARAGE GROSS AREA***	
LEVEL	AREA
LEVEL P0	68,725 SF
LEVEL 1	22,457 SF
LEVEL P2	23,774 SF
LEVEL P3	23,774 SF
LEVEL 3	23,312 SF
TOTAL	162,042 SF

COVERED AREAS	
LEVEL	AREA
LEVEL 1	5,714 SF
LEVEL 4	1,269 SF
TOTAL	6,983 SF

PARKING		
TYPE	COUNT	DIMENSIONS
STANDARD	168	8'-6" X 18'-0"
CAV	44	8'-6" X 18'-0"
EV	30	8'-6" X 18'-0"
ADA	5	9'-0" X 18'-0"
ADA VAN	1	9'-0" X 18'-0"
MOTORCYCLE	32	4'-0" X 6'-0"
TOTAL	280	

NOTES:

\*SERVICE YARD COVER IS A SEPARATE BUILDING FROM MOB-E, A FREESTANDING STRUCTURE SEISMICALLY SEPARATED FROM THE MAIN BUILDING

\*\*ENCLOSED AREAS OF THE PARKING GARAGE TO BE USED FOR BUILDING SUPPORT FUNCTIONS RELATED TO THE SERVICE YARD. HEAD HEIGHTS IN THIS AREA ARE TOO LOW FOR CLINICAL MOB USE.

\*\*\*PARKING GARAGES DO NOT COUNT TOWARD MAXIMUM DEVELOPMENT LIMITS OR FLOOR AREA RATIO.

PROPOSED DEVELOPMENT MEETS PRECISE PLAN FLOOR PLATE REQUIREMENTS. MAXIMUM FLOOR AREA PER FLOOR DOES NOT EXCEED 25,000 SF PER FLOOR, AS REQUIRED BY CHAPTER II, I.B. OF THE STANFORD IN REDWOOD CITY PRECISE PLAN.

TOTAL DEVELOPMENT AMOUNT INCLUDED IN THIS APPLICATION, AS DEFINED IN CHAPTER II, I.B. OF THE PRECISE PLAN (INCLUDING COVERED AREAS):

**232,031 SF**

TOTAL MEDICAL PROFESSIONAL OFFICES AND CLINICS FLOOR AREA USED IN THIS APPLICATION:

**225,049 SF**

(TOTAL MEDICAL CLINIC FLOOR AREA ALLOWED BY THE PRECISE PLAN: **228,000 SF**):

NET NEW DEVELOPMENT INCLUDED IN THIS APPLICATION: **231,512 SF - 92,272 SF = 139,240 SF**

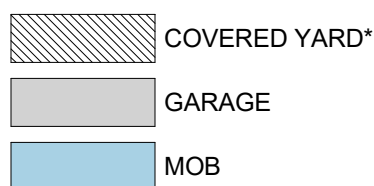
FLOOR AREA RATIO (FAR) FOR BLOCK E

PROPOSED: **0.76**

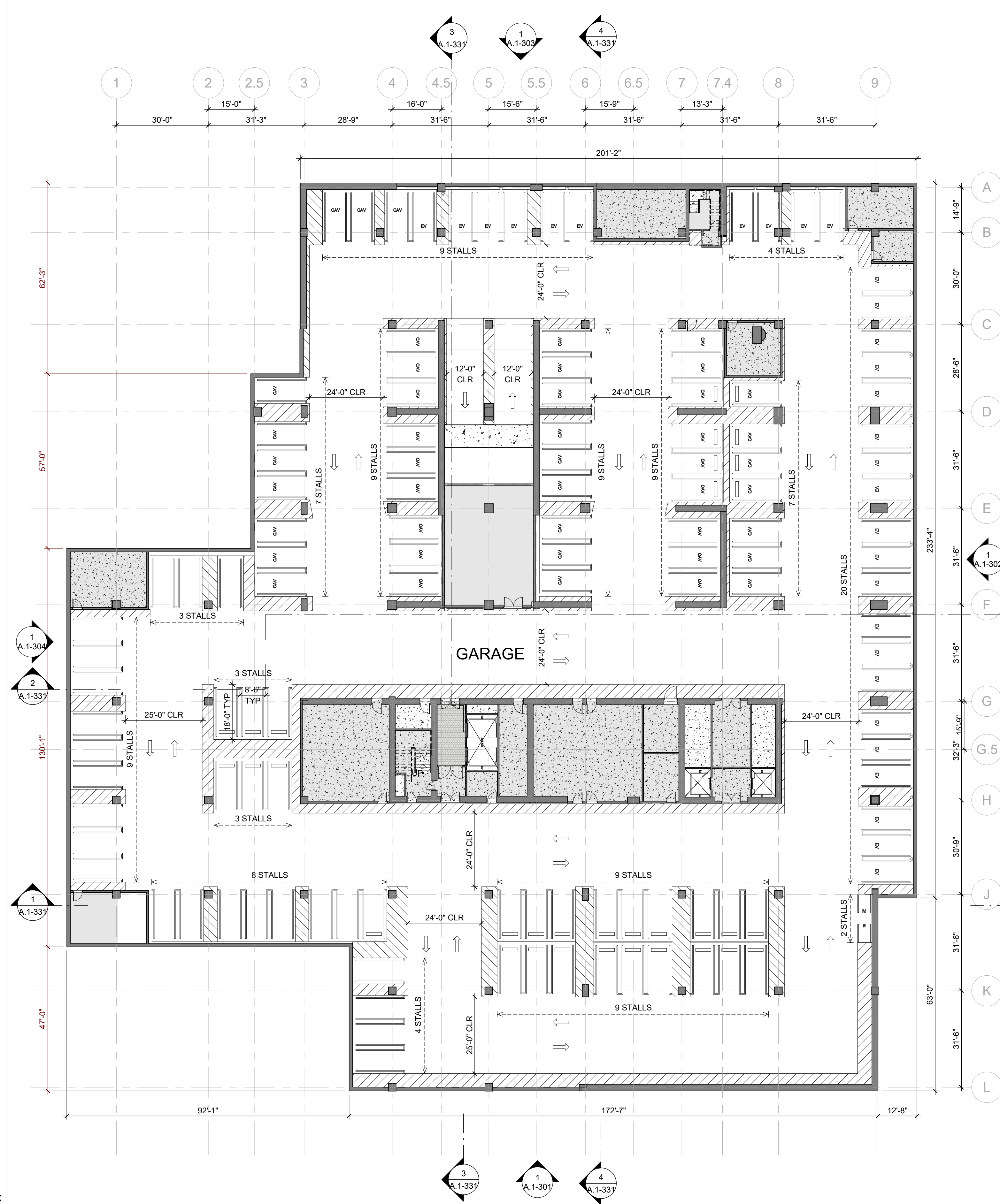
ALLOWABLE: **1.75 MAX**

(SEE SHEET G.0-111)

LEGEND

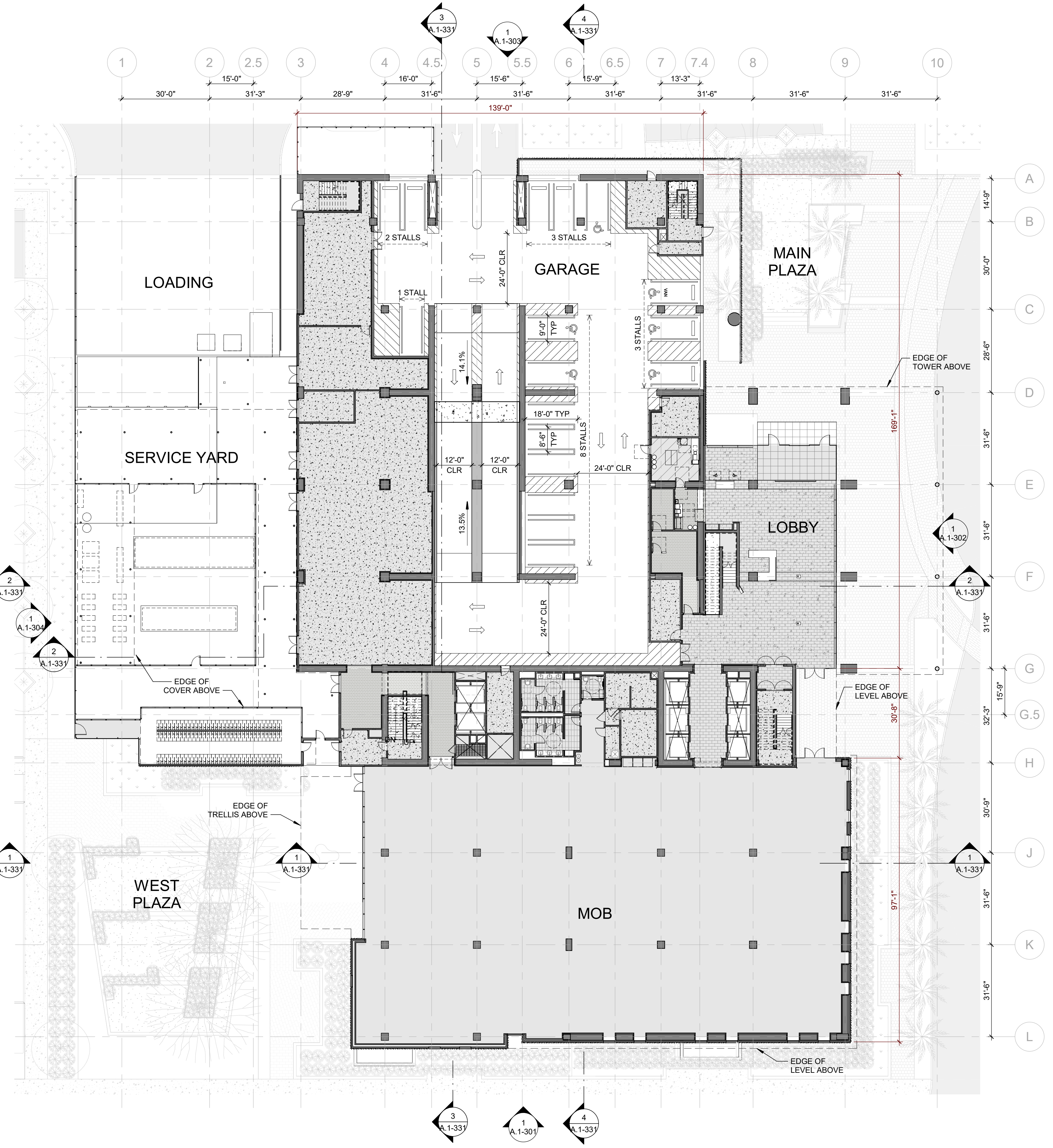






**1 FLOOR PLAN - LEVEL B1**  
1" = 20'-0"

MOB GARAGE PARKING - LEVEL P0			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	48	8'-6" X 18'-0"	
CAV	44	8'-6" X 18'-0"	CLEAN AIR VEHICLE SIGNAGE
EV	30	8'-6" X 18'-0"	EV SIGNAGE & CHARGING STATION
MOTORCYCLE	2	4'-0" X 6'-0"	MOTORCYCLE SIGNAGE
TOTAL	124		



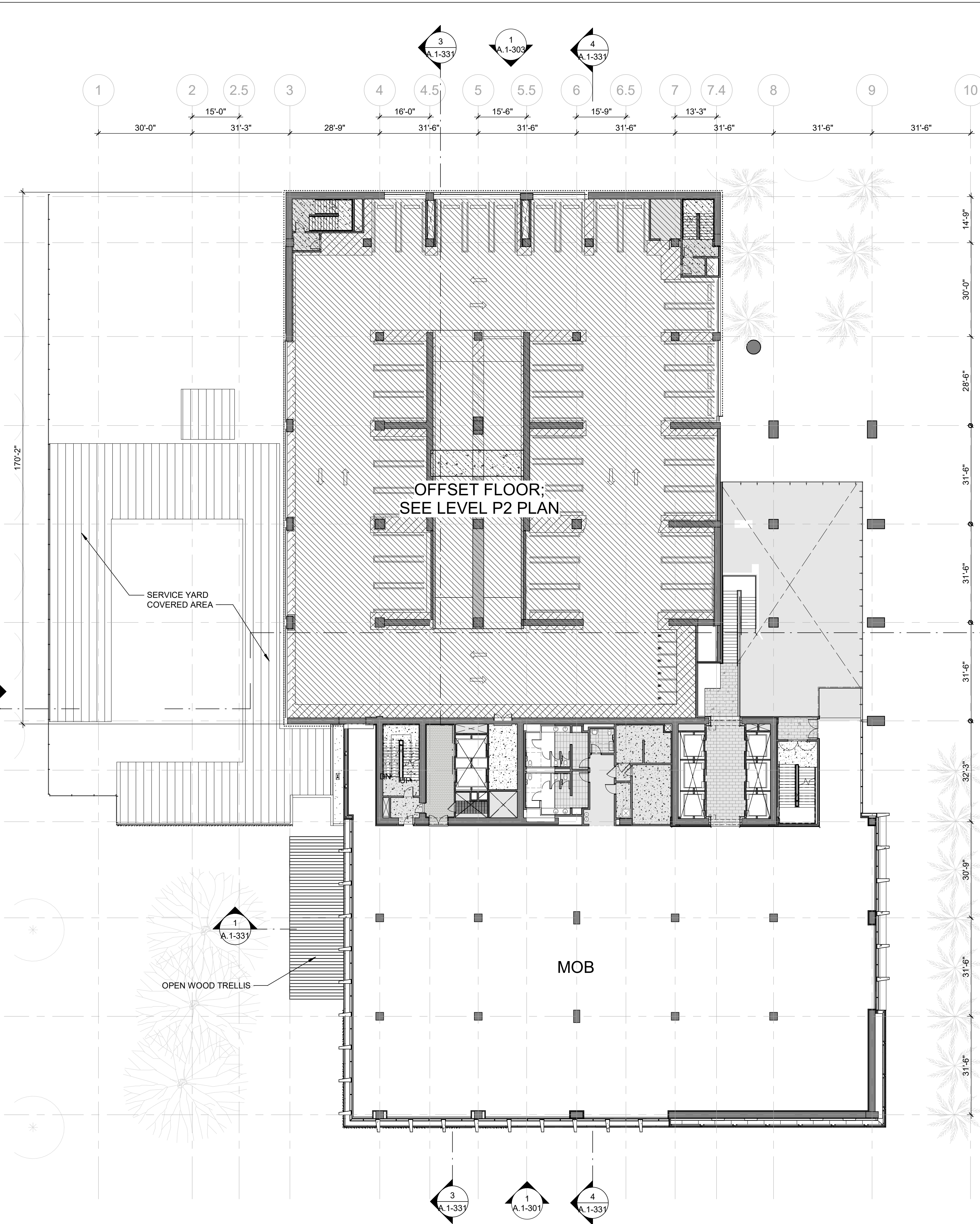
2 FLOOR PLAN - LEVEL 1  
1" = 20'-0"

MOB GARAGE PARKING - LEVEL 1			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	11	8'-6" X 18'-0"	
ADA	5	9'-0" X 18'-0"	5'-0" CLEARANCE
ADA VAN	1	9'-0" X 18'-0"	8'-0" CLEARANCE
TOTAL	17		

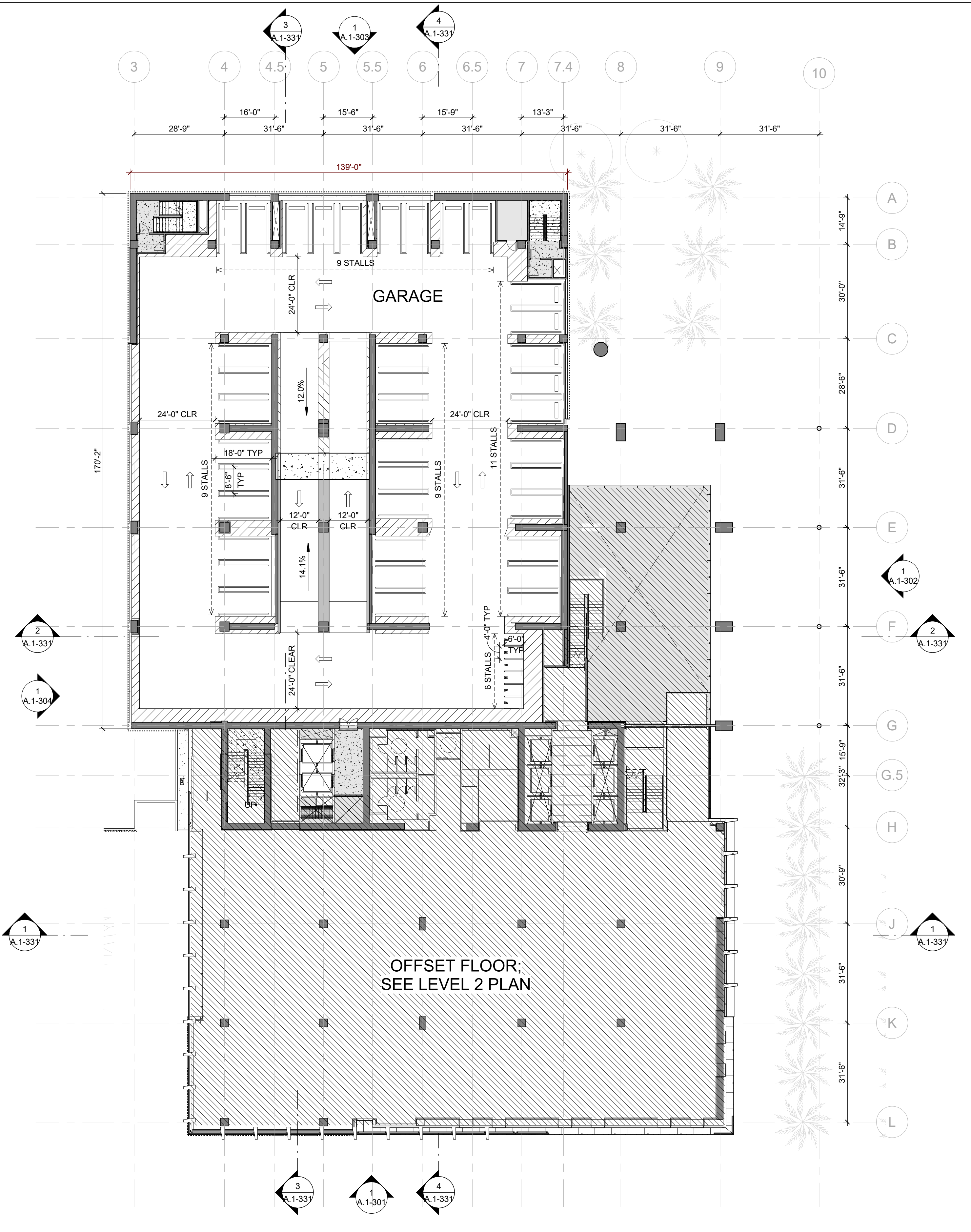


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1 FLOOR PLAN - LEVEL 2  
1" = 20'-0"



2 FLOOR PLAN - LEVEL P2 (P3 SIM)  
1" = 20'-0"



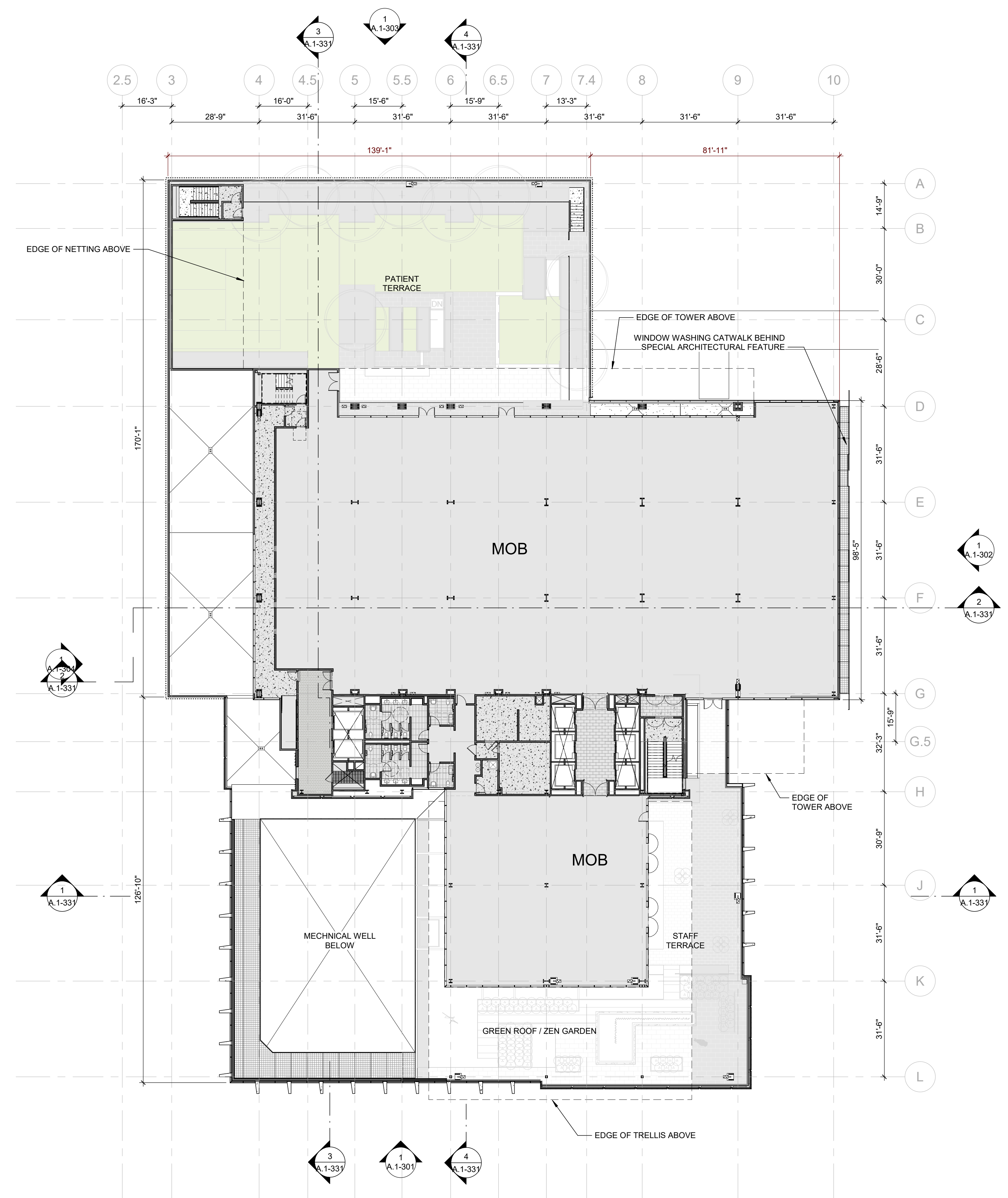
MOB GARAGE PARKING - LEVEL P2			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	38	8'-6" X 18'-0"	
MOTORCYCLE	6	4'-0" X 6'-0"	MOTORCYCLE SIGNAGE
TOTAL	44		

MOB GARAGE PARKING - LEVEL P3			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	38	8'-6" X 18'-0"	
MOTORCYCLE	6	4'-0" X 6'-0"	MOTORCYCLE SIGNAGE
TOTAL	44		



1 FLOOR PLAN - LEVEL 3  
1" = 20'-0"

MOB GARAGE PARKING - LEVEL 3			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	33	8'-6" X 18'-0"	
MOTORCYCLE	18	4'-0" X 6'-0"	MOTORCYCLE SIGNAGE
TOTAL	51		

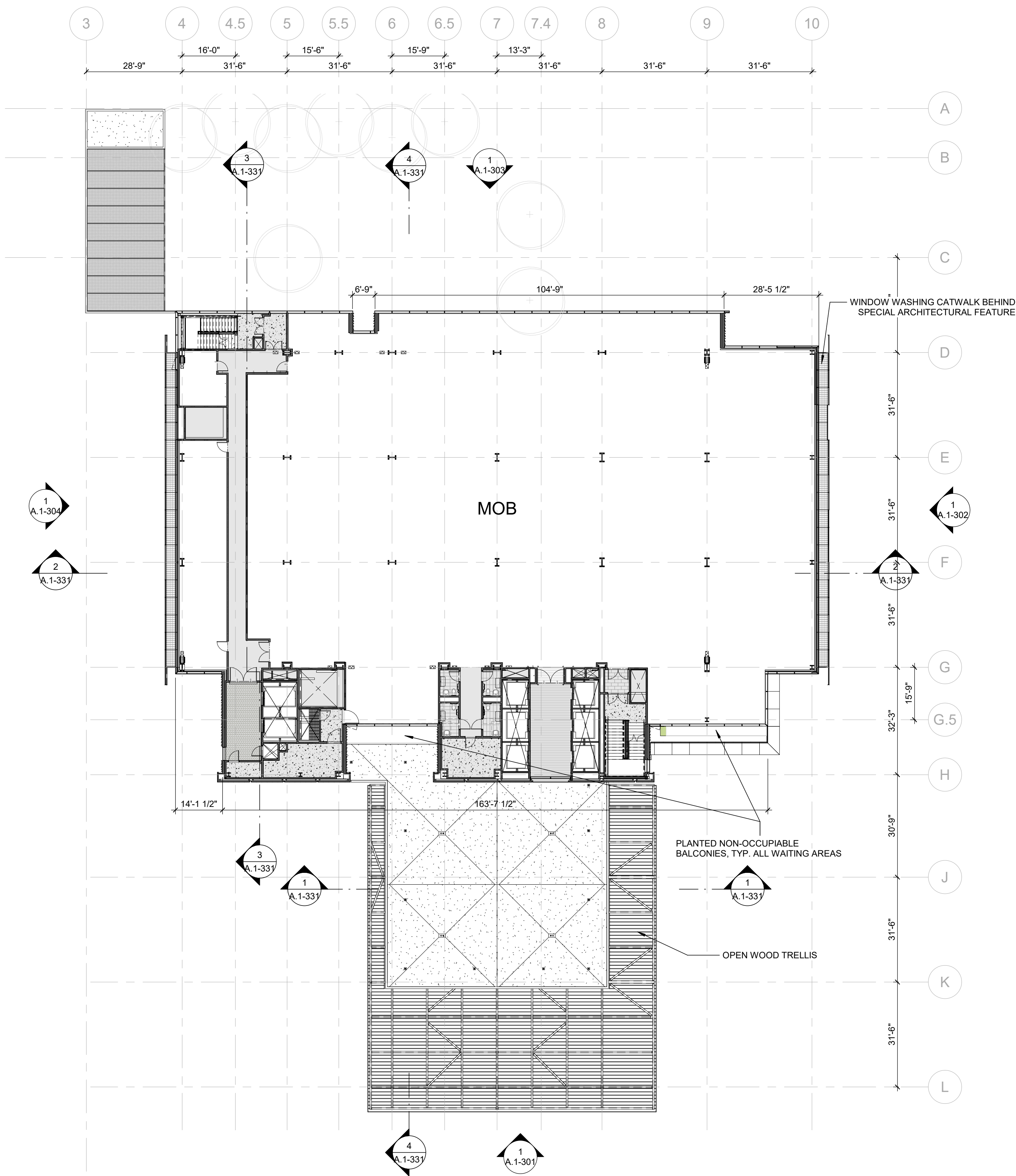


2 FLOOR PLAN - LEVEL 4  
1" = 20'-0"

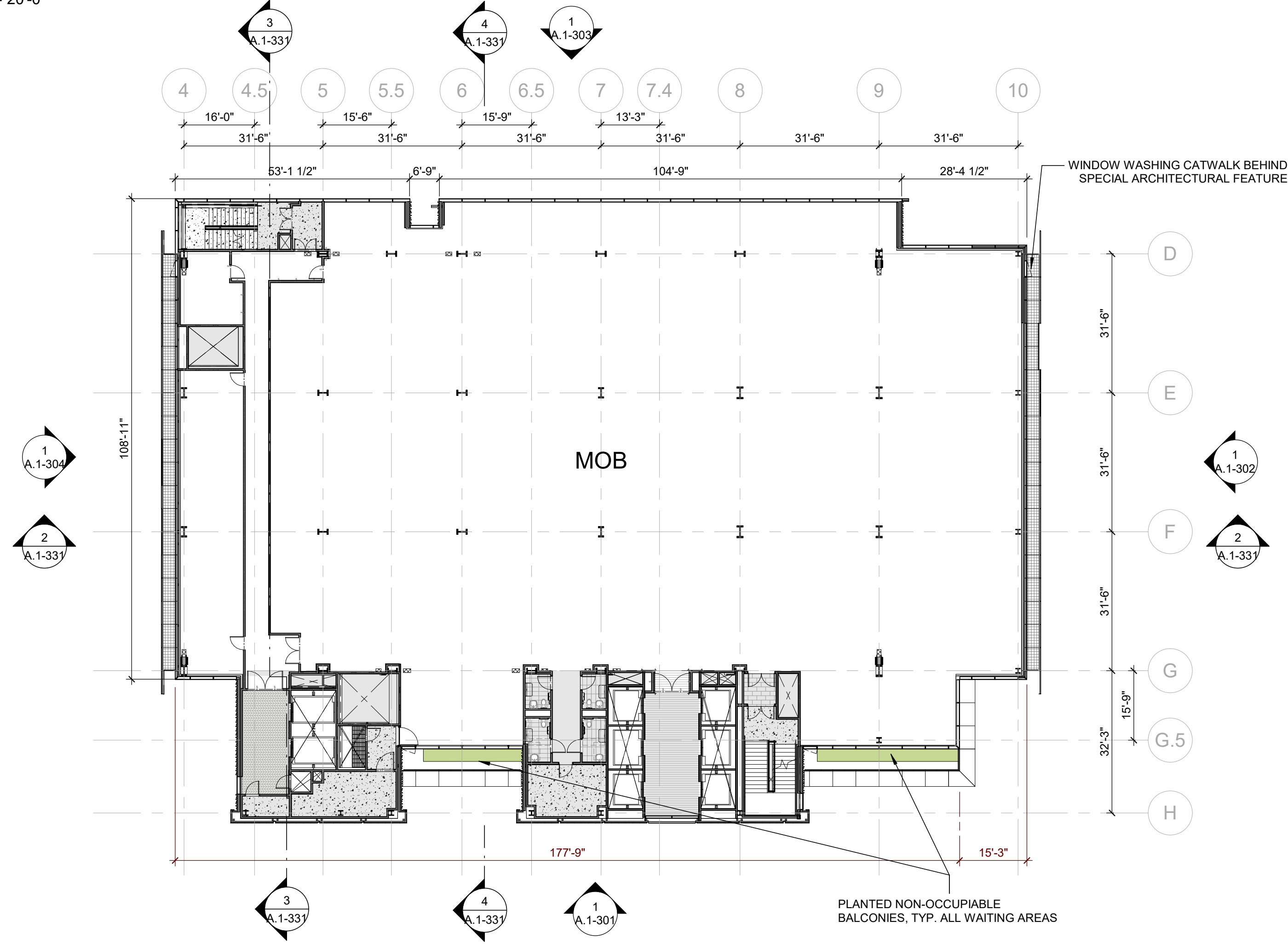


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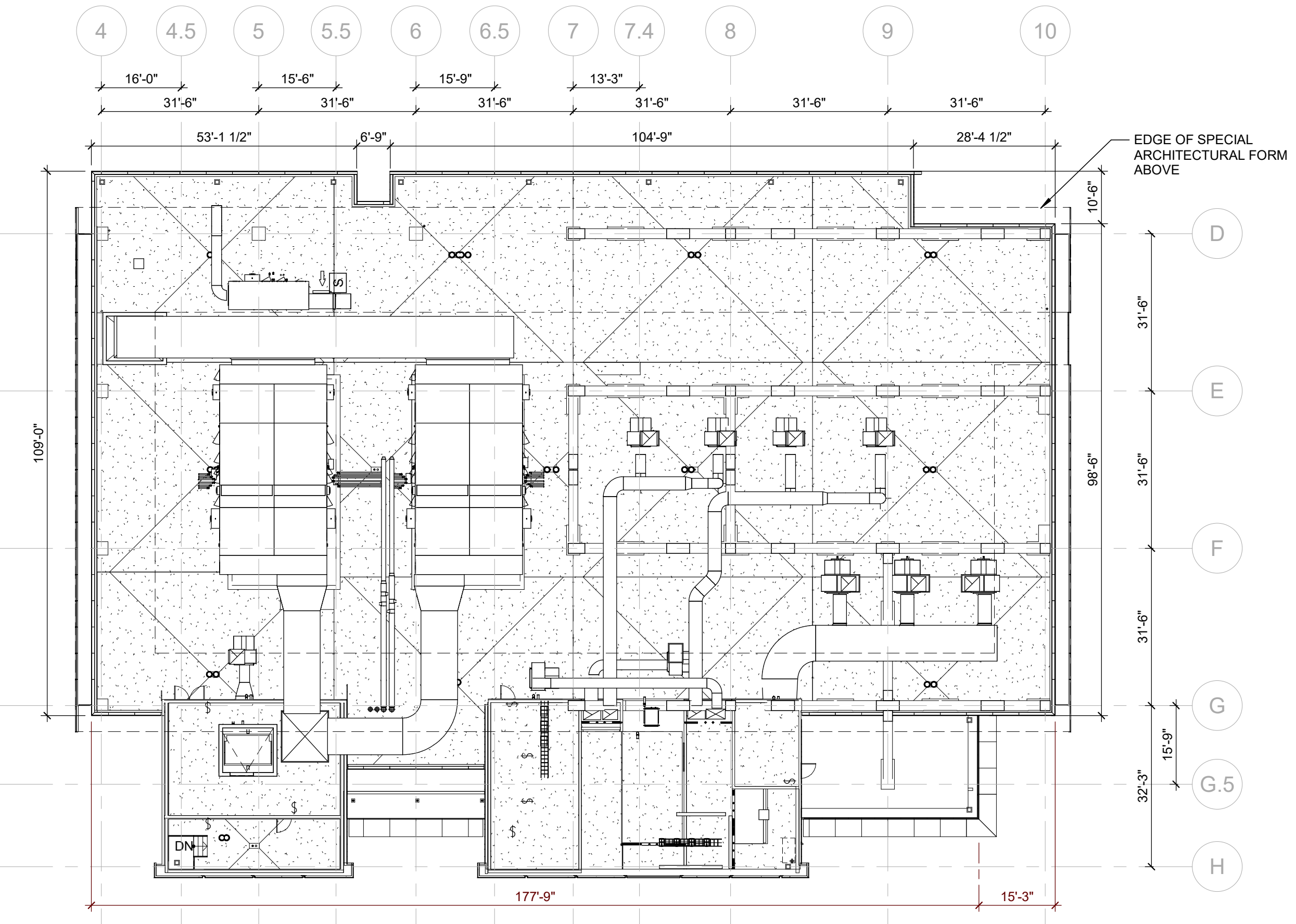
**1 FLOOR PLAN - LEVEL 5**  
1" = 20'-0"



**2 FLOOR PLAN - LEVEL 6-9**  
1" = 20'-0"

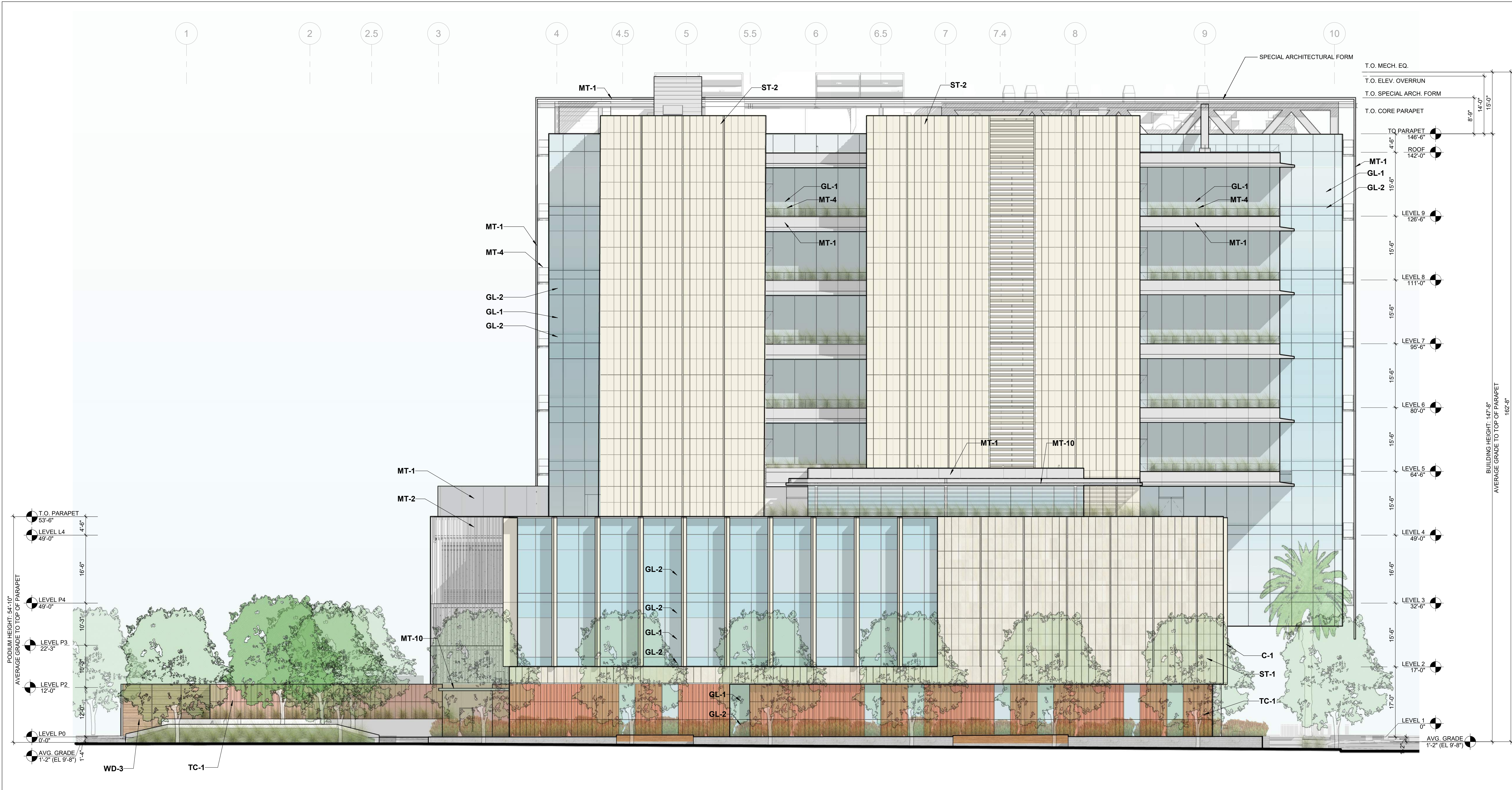


**3 FLOOR PLAN - ROOF**  
1" = 20'-0"





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MATERIAL KEYNOTES		Precise Plan Requirements
C-1	PRECAST CONCRETE FIN	<b>MAXIMUM BUILDING HEIGHT:</b> <b>BLOCK E</b> <ul style="list-style-type: none"><li>75' WITHIN 100' OF BROADWAY</li><li>120' GREATER THAN 100' FROM BROADWAY AND GREATER THAN 200' FROM US-101</li><li>20' WITHIN 200' OF US-101</li></ul> <b>MAXIMUM HEIGHT EXCEPTIONS:</b> <b>SECTION D.2 - SPECIAL ARCHITECTURAL FORMS</b> SPECIAL ARCHITECTURAL FORMS ARE ENCOURAGED AND MAY BE PERMITTED TO EXCEED HEIGHT LIMITS SUBJECT TO CITY REVIEW. <b>SECTION D.4 - BLOCKS B,C AND E</b> ONE BUILDING ON EACH OF THESE BLOCKS MAY BE ALLOWED TO EXCEED HEIGHT LIMITS BY UP TO 30 FEET, SUBJECT TO CITY REVIEW AND APPROVAL. BLOCK E, ONE BUILDING: 120' + 30' = 150' MAXIMUM BUILDING HEIGHT
GL-1	INSULATED GLASS, CLEAR	
GL-2	INSULATED GLASS, SPANDREL	
MT-1	METAL PANEL	
MT-2	ALUMINUM BAGUETTE	
MT-4	STAINLESS STEEL GUARDRAIL	
MT-10	PAINTED METAL	
ST-1	LIMESTONE, SMOOTH	
ST-2	GLASS-FIBER-REINFORCED CONCRETE	
TC-1	RED TERRA COTTA	
WD-3	WOOD FENCE	

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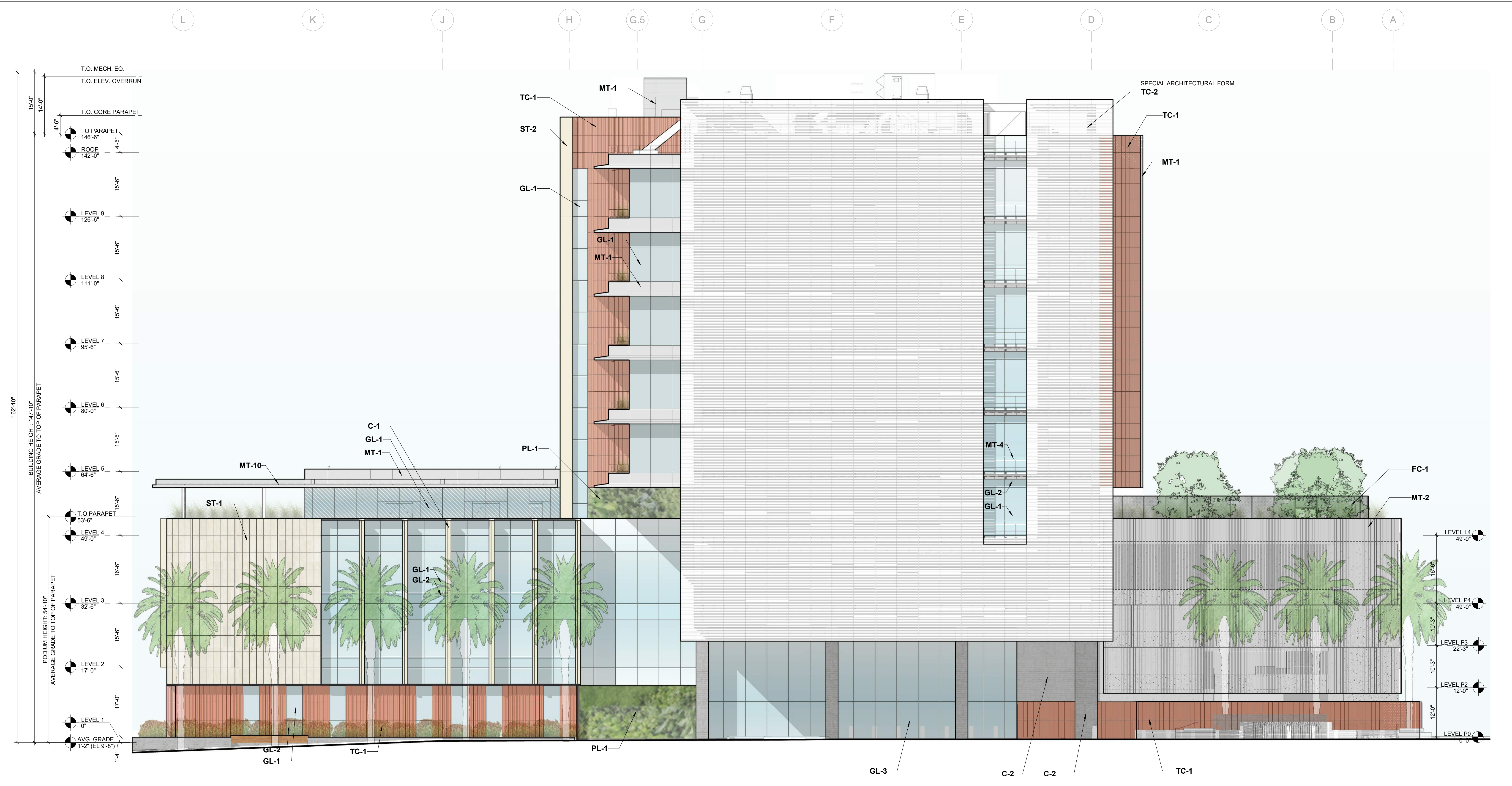
SCALE:  
As indicated

SHEET TITLE:  
MOB-E SOUTH ELEVATION

SHEET NO:  
A.1-301



9/17/2019 1:52:42 PM



MATERIAL KEYNOTES		PRECISE PLAN REQUIREMENTS
C-1	PRECAST CONCRETE FIN	<b>MAXIMUM BUILDING HEIGHT:</b> <b>BLOCK E</b> <ul style="list-style-type: none"><li>75' WITHIN 100' OF BROADWAY</li><li>120' GREATER THAN 100' FROM BROADWAY AND GREATER THAN 200' FROM US-101</li><li>20' WITHIN 200' OF US-101</li></ul>
C-2	BOARD-FORMED CONCRETE	
FC-1	CHAINLINK FENCE	<b>MAXIMUM HEIGHT EXCEPTIONS:</b> <b>SECTION D.2 - SPECIAL ARCHITECTURAL FORMS</b> SPECIAL ARCHITECTURAL FORMS ARE ENCOURAGED AND MAY BE PERMITTED TO EXCEED HEIGHT LIMITS SUBJECT TO CITY REVIEW. <b>SECTION D.4 - BLOCKS B,C AND E</b> ONE BUILDING ON EACH OF THESE BLOCKS MAY BE ALLOWED TO EXCEED HEIGHT LIMITS BY UP TO 30 FEET, SUBJECT TO CITY REVIEW AND APPROVAL. BLOCK E, ONE BUILDING: 120' + 30' = 150' MAXIMUM BUILDING HEIGHT
GL-1	INSULATED GLASS, CLEAR	
GL-2	INSULATED GLASS, SPANDREL	
GL-3	INSULATED GLASS, CLEAR	
MT-1	METAL PANEL	
MT-2	ALUMINUM BAGUETTE	
MT-4	STAINLESS STEEL GUARDRAIL	
MT-10	PAINTED METAL	
PL-1	GREEN WALL	
ST-1	LIMESTONE, SMOOTH	
ST-2	GLASS-FIBER-REINFORCED CONCRETE	
TC-1	RED TERRA COTTA	
TC-2	WHITE TERRA COTTA	

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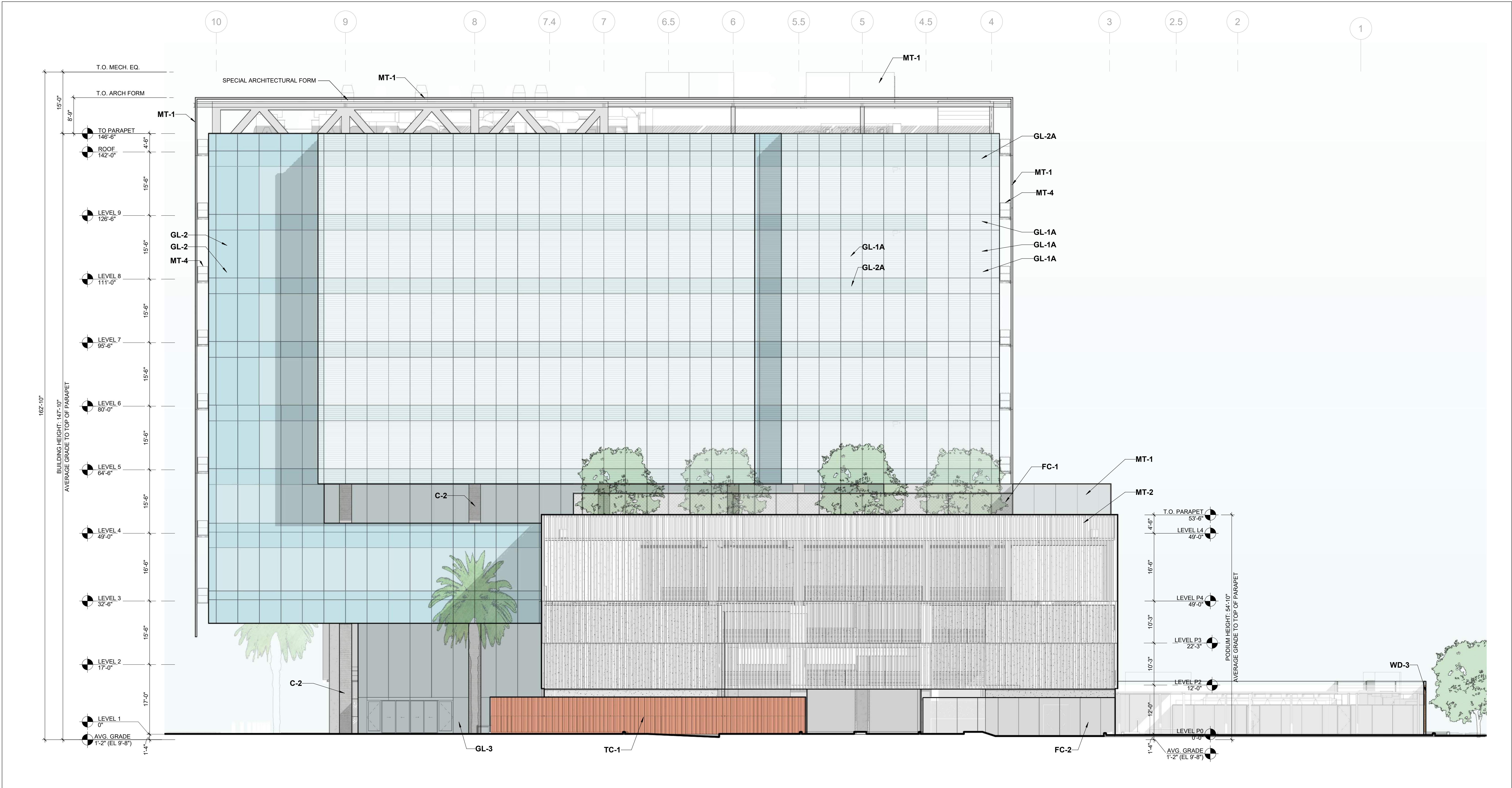
SCALE:  
As indicated

SHEET TITLE:  
MOB-E EAST ELEVATION

SHEET NO:  
A.1-302



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MATERIAL KEYNOTES

C-2	BOARD-FORMED CONCRETE
FC-1	CHAINLINK FENCE
FC-2	PERFORATED METAL PANEL FENCE
GL-1A	INSULATED GLASS, FRITTED
GL-2	INSULATED GLASS, SPANDREL
GL-2A	INSULATED GLASS, FRITTED SPANDREL
GL-3	INSULATED GLASS, CLEAR
MT-1	METAL PANEL
MT-2	ALUMINUM BAGUETTE
MT-4	STAINLESS STEEL GUARDRAIL
TC-1	RED TERRA COTTA
WD-3	WOOD FENCE

PRECISE PLAN REQUIREMENTS

**MAXIMUM BUILDING HEIGHT:**

**BLOCK E**

- 75' WITHIN 100' OF BROADWAY
- 120' GREATER THAN 100' FROM BROADWAY AND GREATER THAN 200' FROM US-101
- 20' WITHIN 200' OF US-101

**MAXIMUM HEIGHT EXCEPTIONS:**

**SECTION D.2 - SPECIAL ARCHITECTURAL FORMS**

SPECIAL ARCHITECTURAL FORMS ARE ENCOURAGED AND MAY BE PERMITTED TO EXCEED HEIGHT LIMITS SUBJECT TO CITY REVIEW.

**SECTION D.4 - BLOCKS B, C AND E**

ONE BUILDING ON EACH OF THESE BLOCKS MAY BE ALLOWED TO EXCEED HEIGHT LIMITS BY UP TO 30 FEET, SUBJECT TO CITY REVIEW AND APPROVAL.

BLOCK E, ONE BUILDING: 120' + 30' = 150' MAXIMUM BUILDING HEIGHT

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WRNSSTUDIO

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

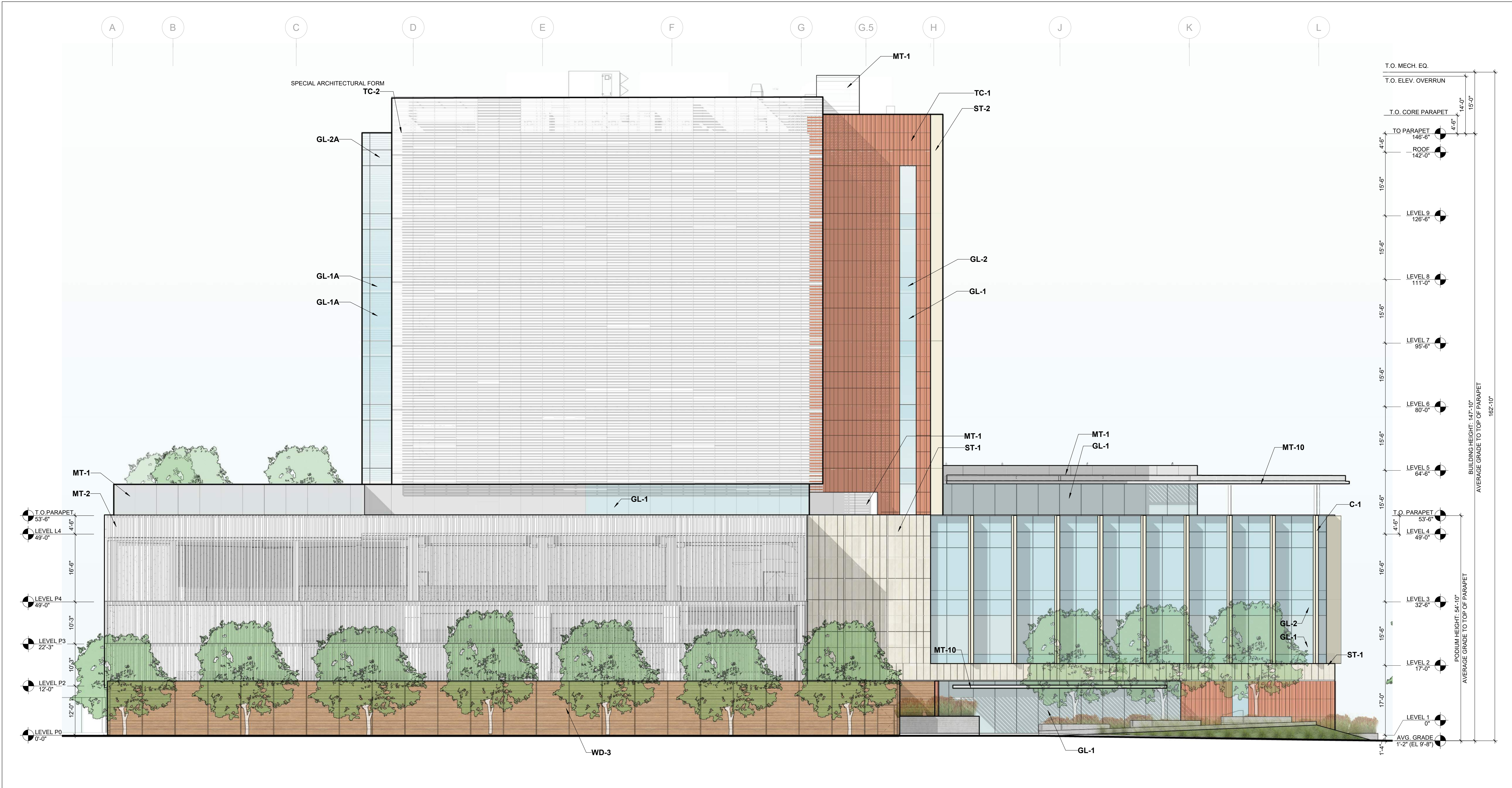
SCALE:  
As indicated

SHEET TITLE:  
MOB-E NORTH ELEVATION

SHEET NO:  
A.1-303



9/17/2019 1:53:15 PM



MATERIAL KEYNOTES		PRECISE PLAN REQUIREMENTS
C-1	PRECAST CONCRETE FIN	<b>MAXIMUM BUILDING HEIGHT:</b> <b>BLOCK E</b> <ul style="list-style-type: none"><li>75' WITHIN 100' OF BROADWAY</li><li>120' GREATER THAN 100' FROM BROADWAY AND GREATER THAN 200' FROM US-101</li><li>20' WITHIN 200' OF US-101</li></ul>
GL-1	INSULATED GLASS, CLEAR	
GL-1A	INSULATED GLASS, FRITTED	<b>MAXIMUM HEIGHT EXCEPTIONS:</b> <b>SECTION D.2 - SPECIAL ARCHITECTURAL FORMS</b> SPECIAL ARCHITECTURAL FORMS...ARE ENCOURAGED AND <b>MAY BE PERMITTED TO EXCEED</b> HEIGHT LIMITS SUBJECT TO CITY REVIEW.  <b>SECTION D.4 - BLOCKS B,C AND E</b> ONE BUILDING ON EACH OF THESE BLOCKS MAY BE ALLOWED TO EXCEED HEIGHT LIMITS BY UP TO 30 FEET, SUBJECT TO CITY REVIEW AND APPROVAL. BLOCK E, ONE BUILDING: 120' + 30' = <b>150'</b> MAXIMUM BUILDING HEIGHT
GL-2	INSULATED GLASS, SPANDREL	
GL-2A	INSULATED GLASS, FRITTED SPANDREL	
MT-1	METAL PANEL	
MT-2	ALUMINUM BAGUETTE	
MT-10	PAINTED METAL	
ST-1	LIMESTONE, SMOOTH	
ST-2	GLASS-FIBER-REINFORCED CONCRETE	
TC-1	RED TERRA COTTA	
TC-2	WHITE TERRA COTTA	
WD-3	WOOD FENCE	

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WRNSSTUDIO

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

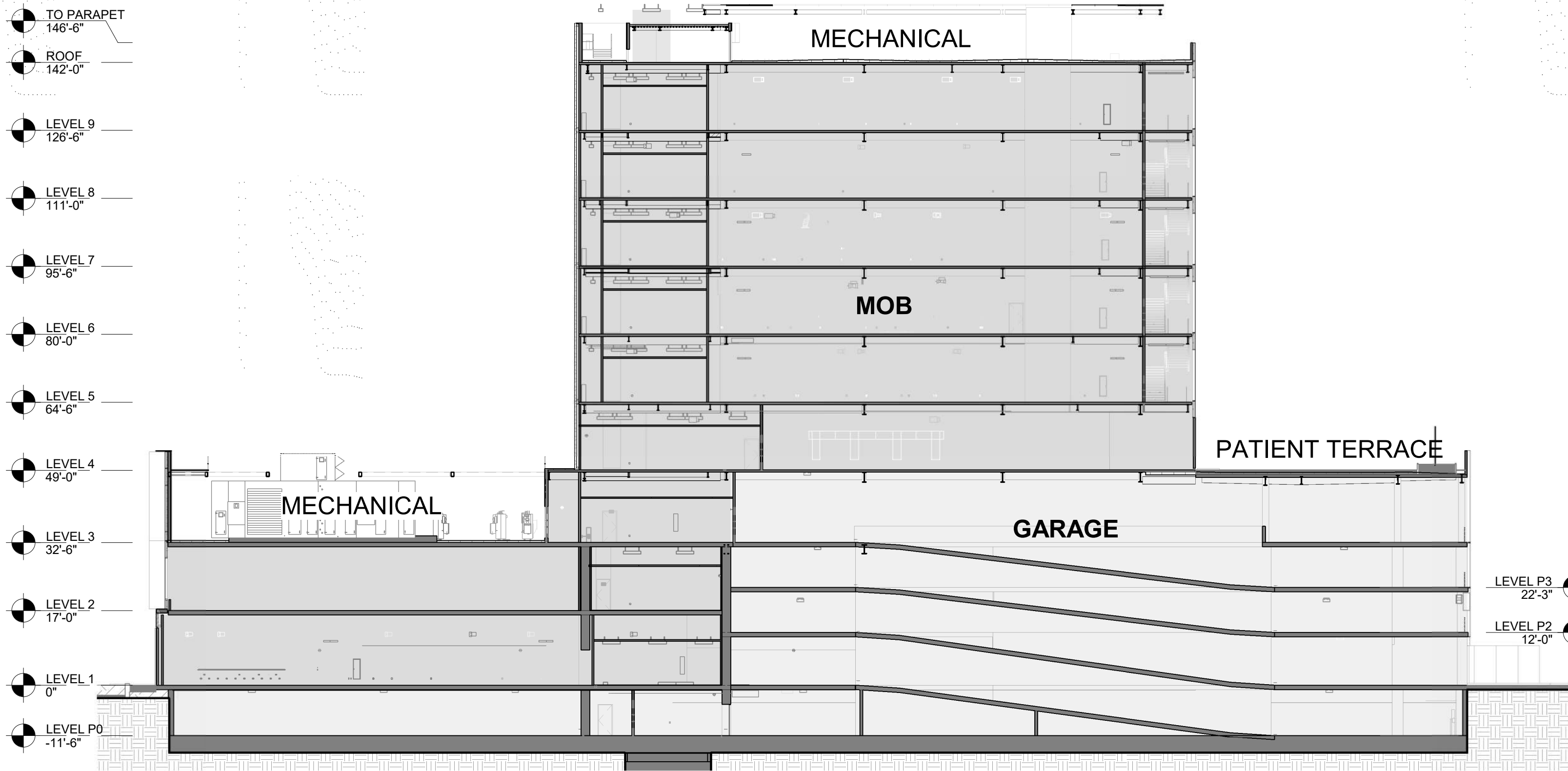
DATE  
07/19/2019  
09/18/2019

SCALE:  
As indicated

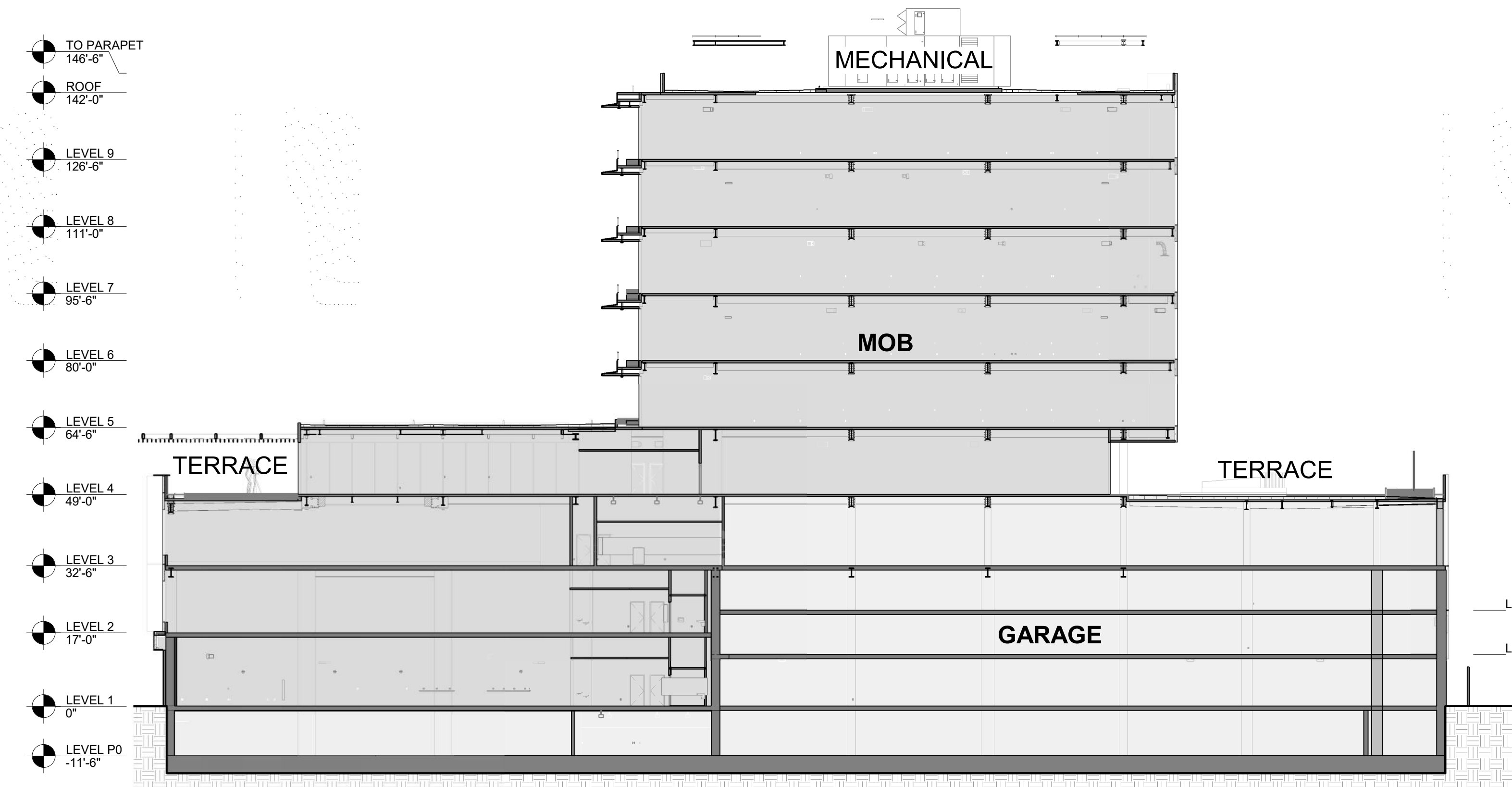
SHEET TITLE:  
**MOB-E WEST ELEVATION**

SHEET NO:  
**A.1-304**

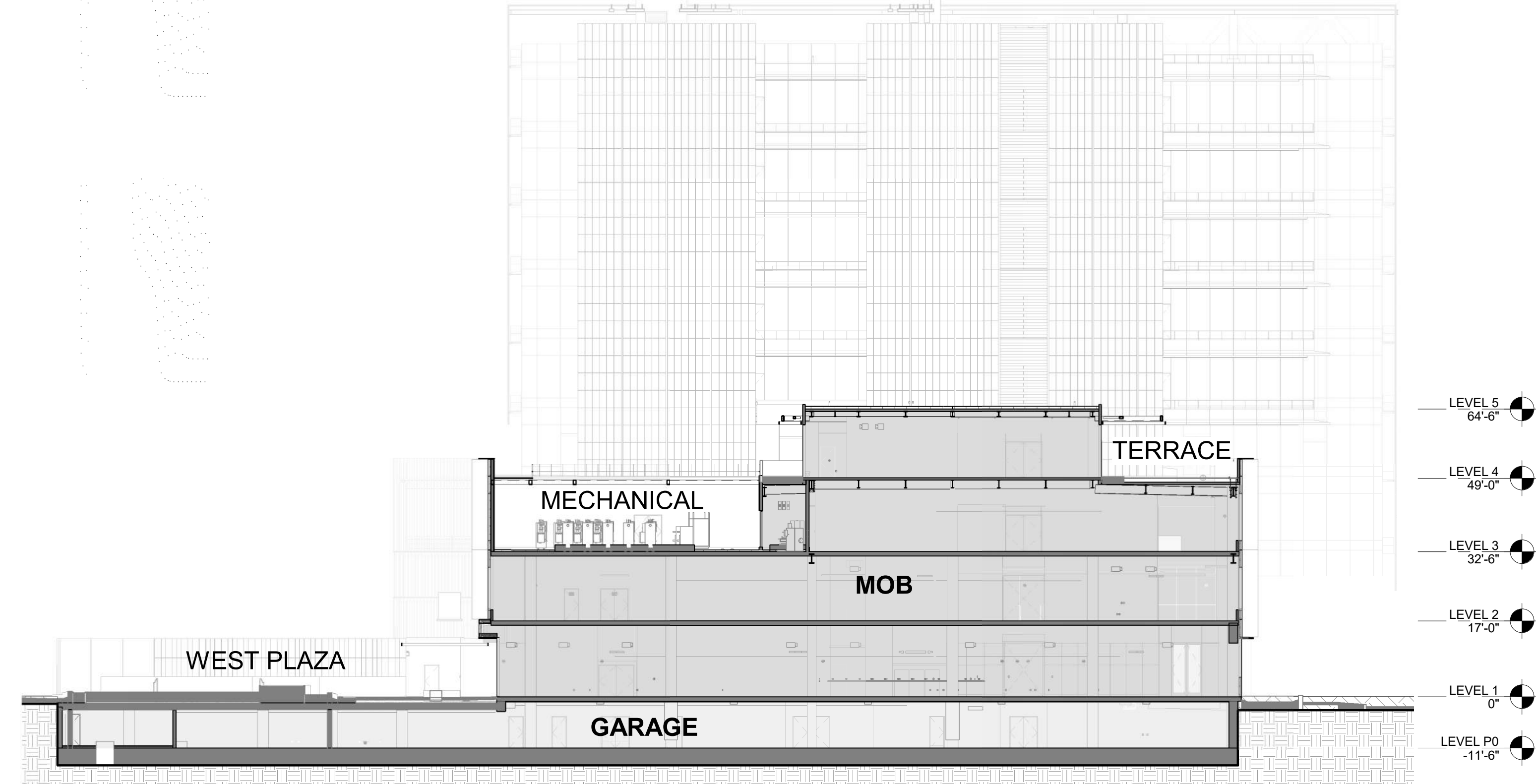




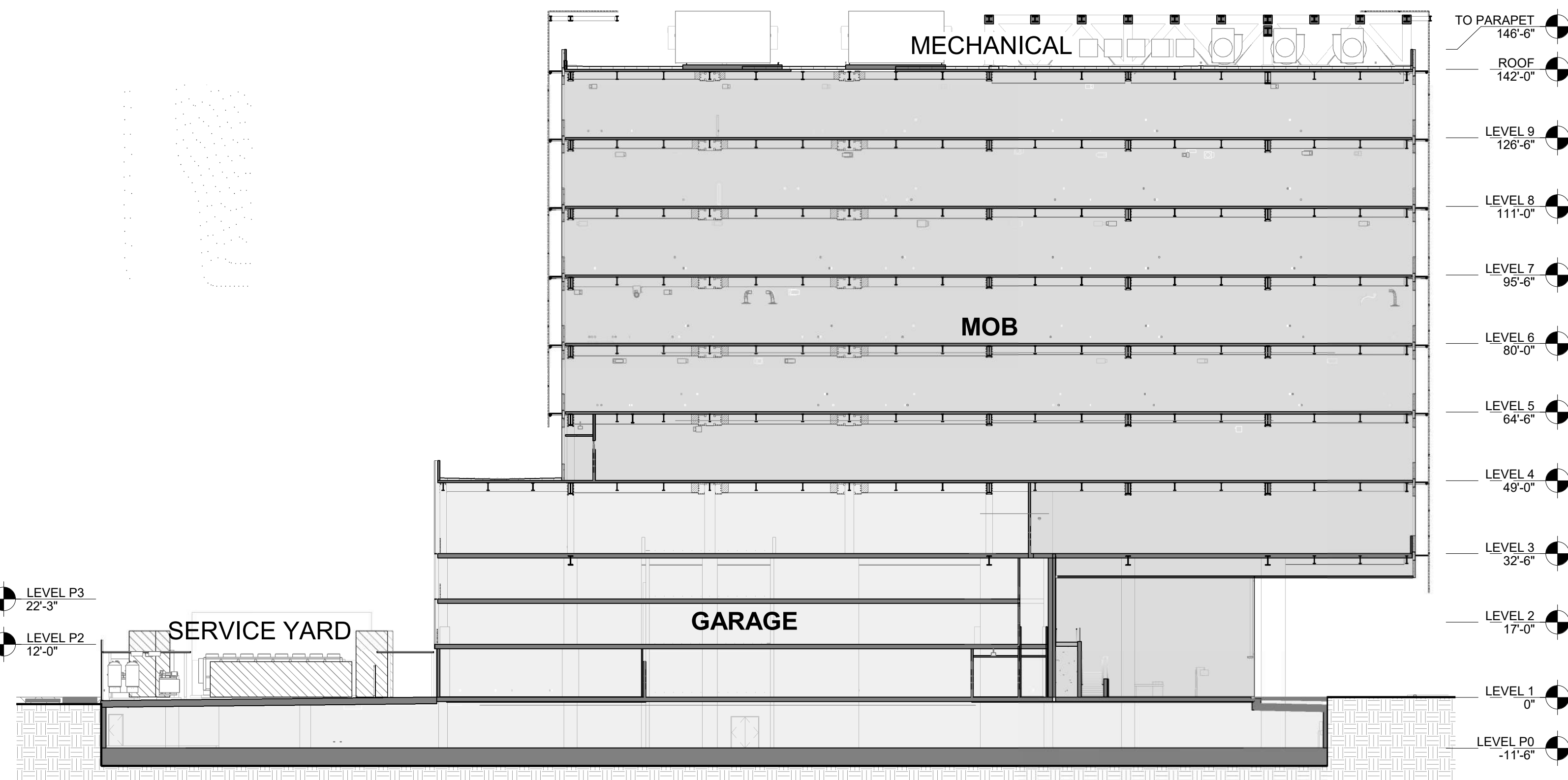
**3 N-S BUILDING SECTION 2**  
3/64" = 1'-0"



**4 N-S BUILDING SECTION**  
3/64" = 1'-0"



**1 E-W BUILDING SECTION 2**  
3/64" = 1'-0"



**2 E-W BUILDING SECTION**  
3/64" = 1'-0"

## LEGEND

- MOB
- GARAGE

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**WRNSSTUDIO**

PROJECT TITLE:  
**STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING**

ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
3/64" = 1'-0"

SHEET TITLE:  
**MOB-E BUILDING SECTIONS**

SHEET NO:  
**A.1-331**



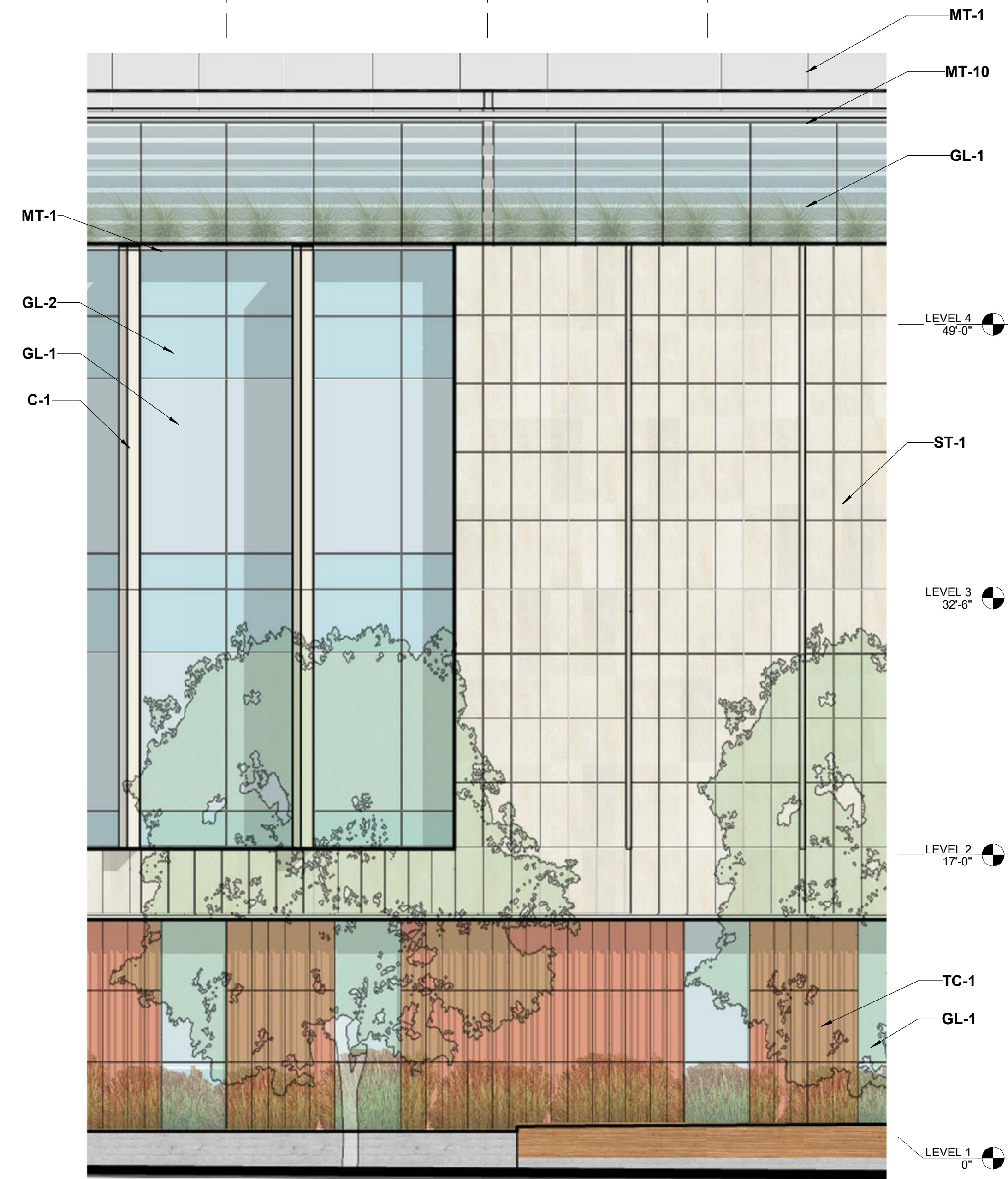
9/17/2019 1:53:47 PM

#### 4 ENLARGED ELEVATION - PLINTH

3/16" = 1'-0"

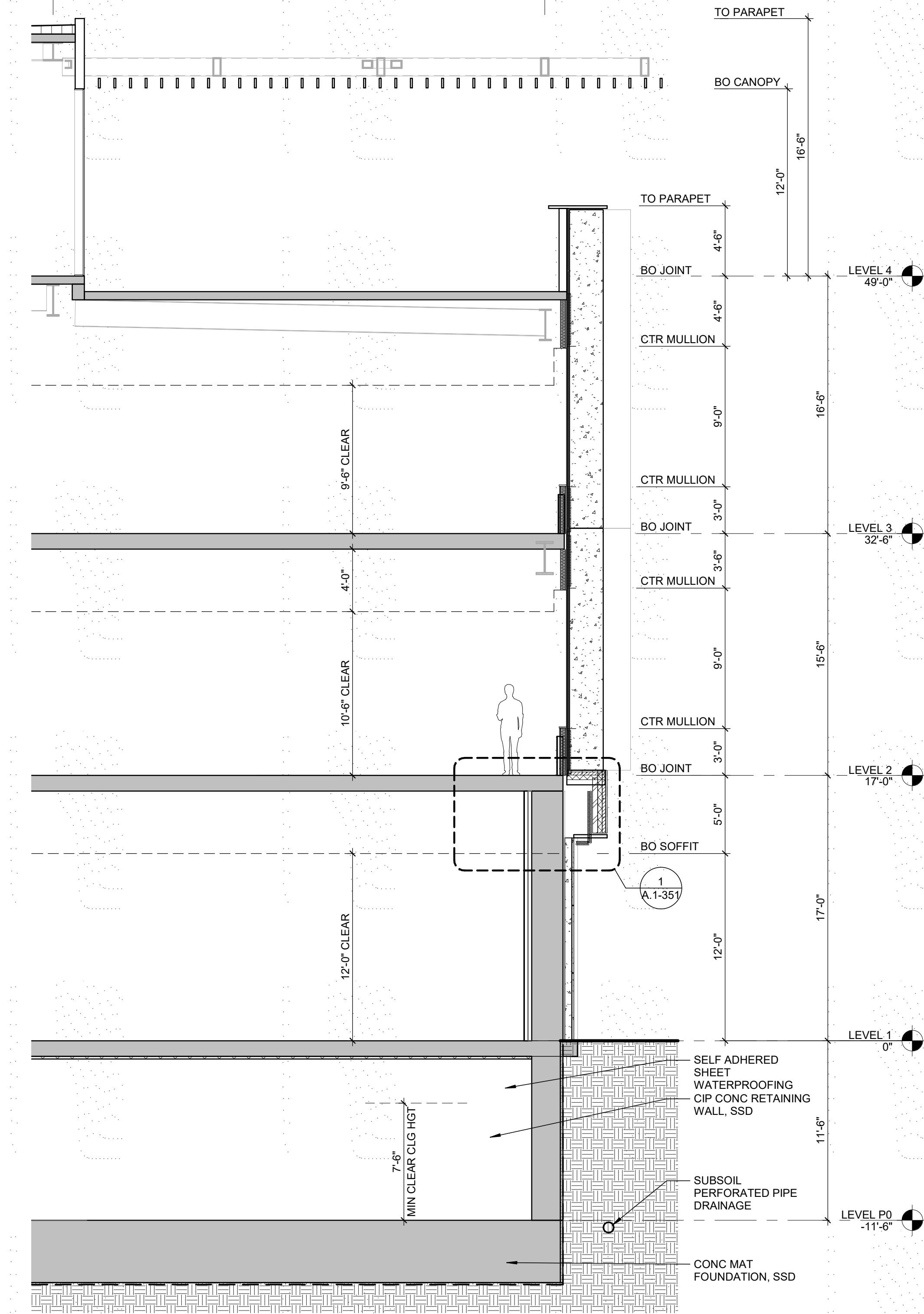
##### KEYNOTE LEGEND

C-1	PRECAST CONCRETE FIN	MT-10	PAINTED METAL
GL-1	INSULATED GLASS, CLEAR	ST-1	LIMESTONE, SMOOTH
GL-2	INSULATED GLASS, SPANDREL	TC-1	RED TERRA COTTA
MT-1	METAL PANEL		



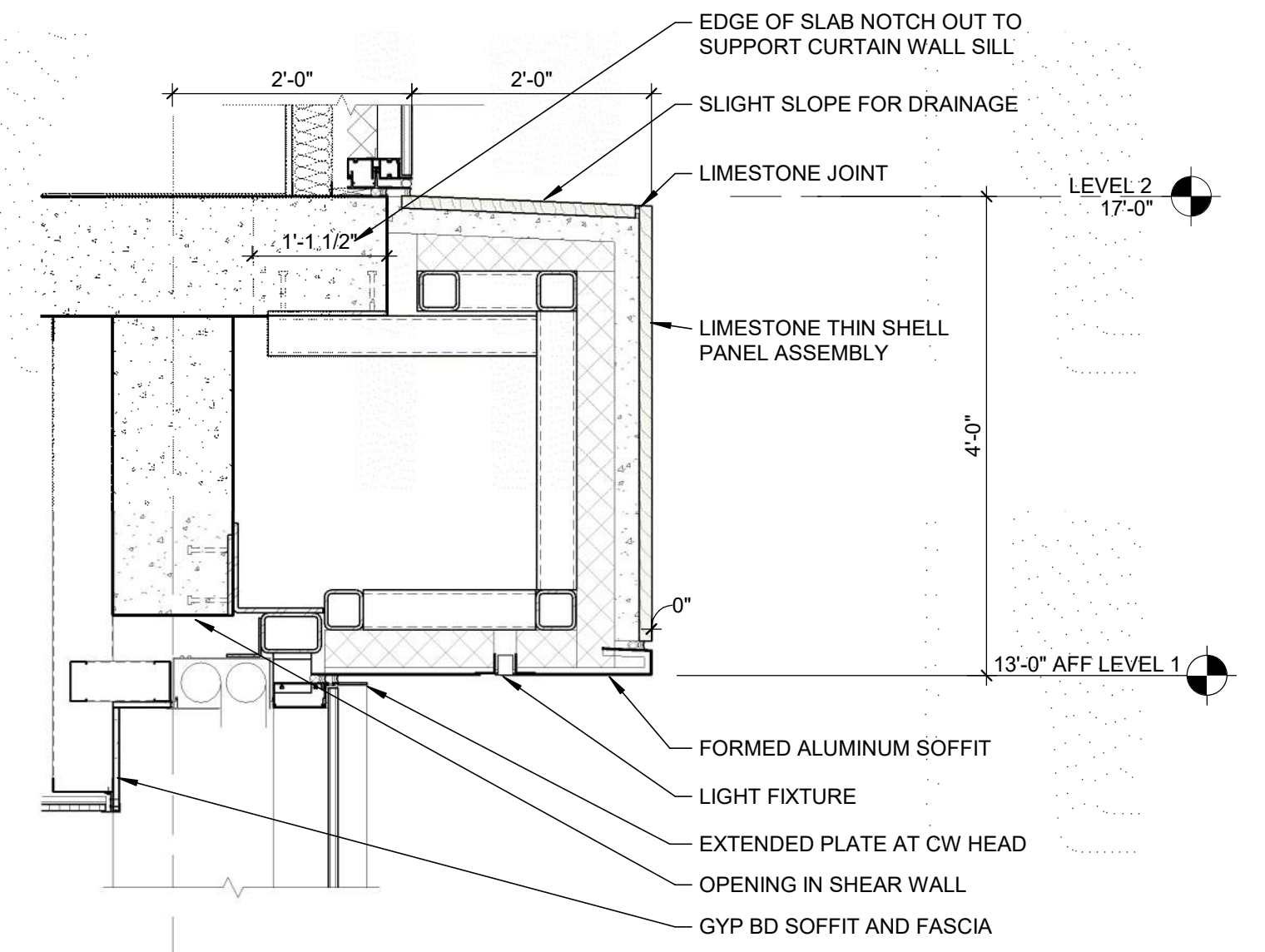
#### 3 WALL SECTION PLINTH SOUTH

3/16" = 1'-0"



#### 1 WALL DETAIL - PLINTH

3/4" = 1'-0"



#### 2 MATERIAL - PLINTH

1/8" = 1'-0"





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#### 4 ENLARGED ELEVATION - GARAGE

3/16" = 1'-0"

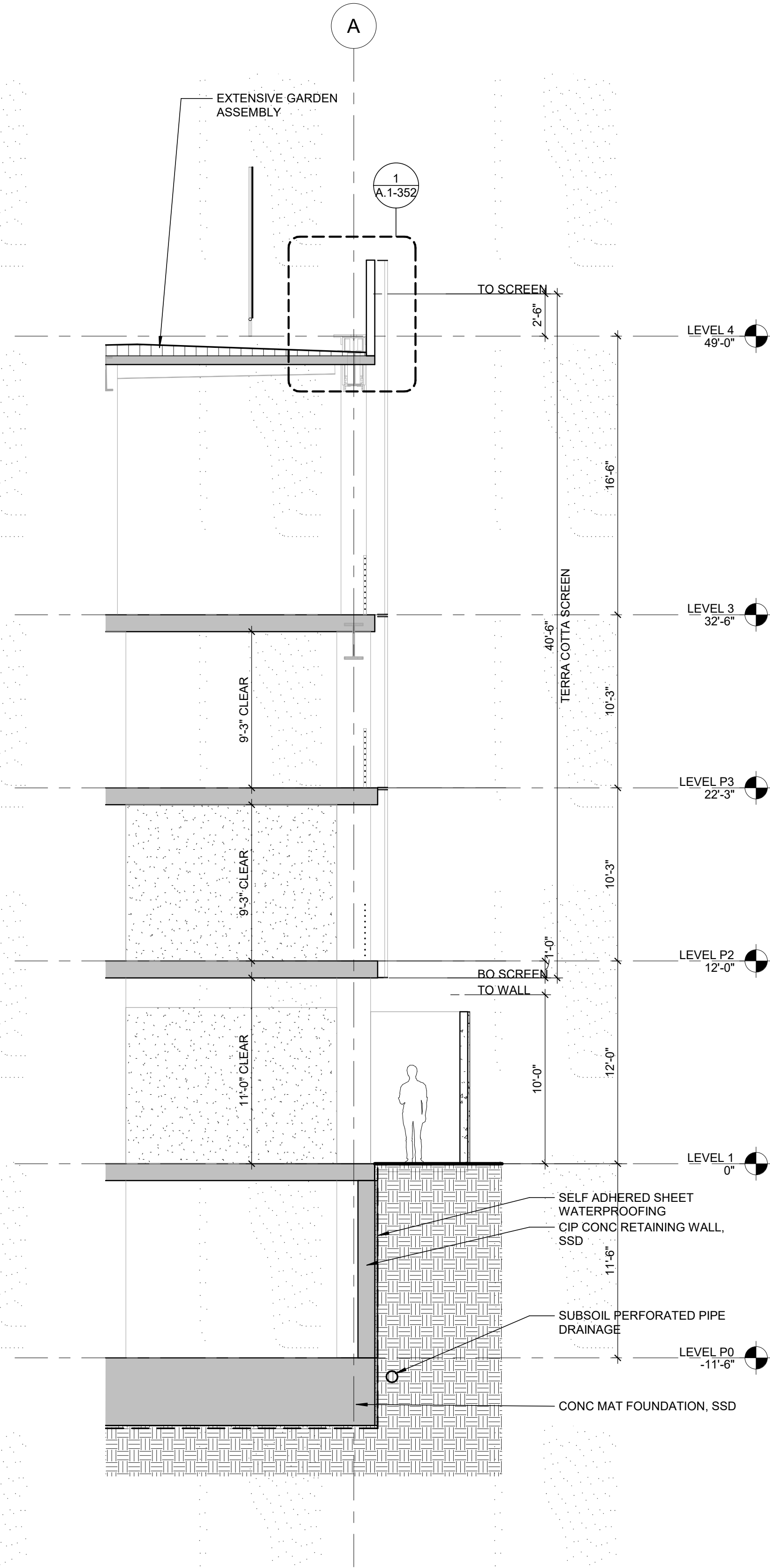
#### KEYNOTE LEGEND

FC-1	CHAINLINK FENCE
FC-2	PERFORATED METAL PANEL FENCE
MT-2	ALUMINUM BAGUETTE
TC-1	RED TERRA COTTA



#### 3 WALL SECTION - GARAGE

3/16" = 1'-0"



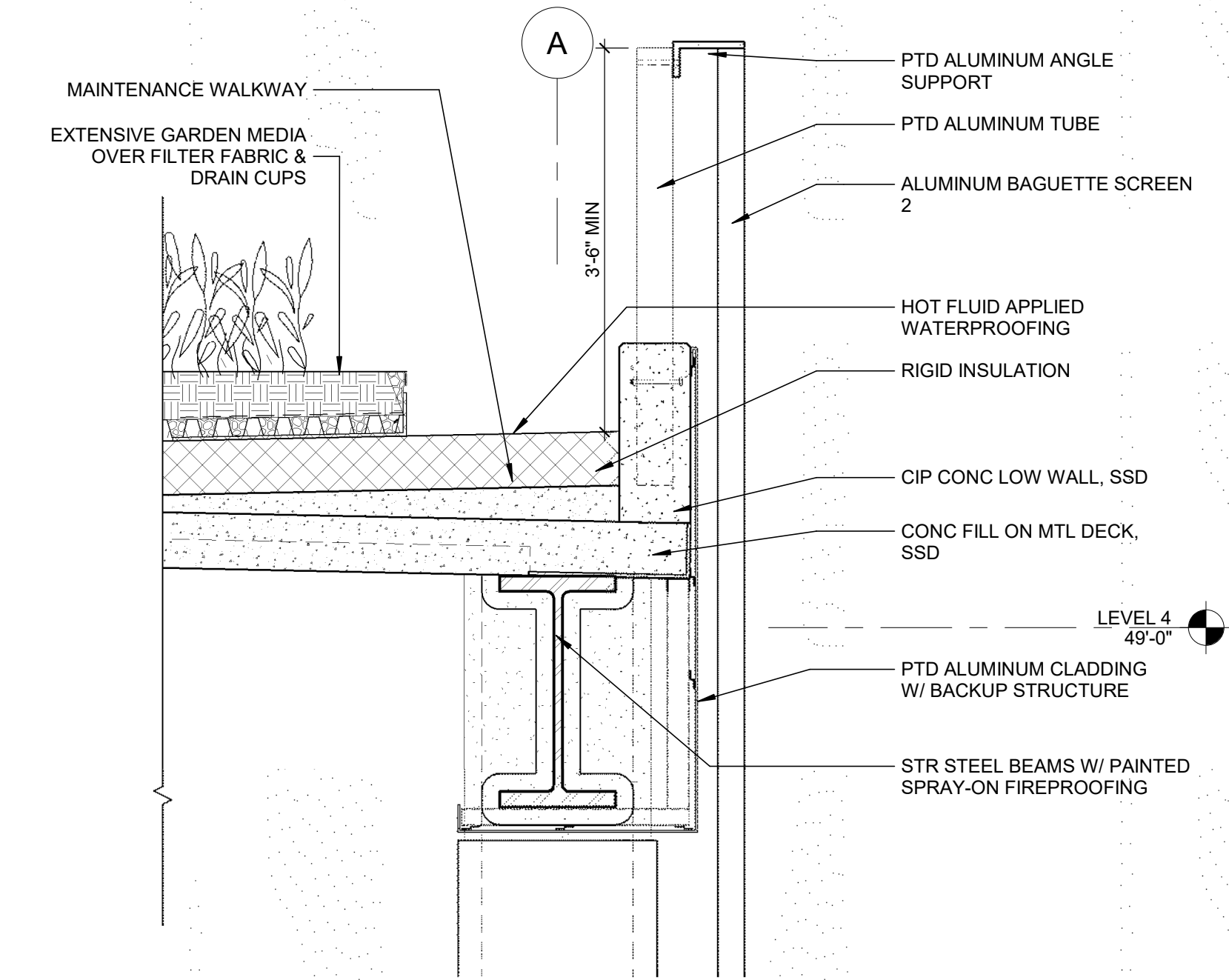
#### 5 MATERIAL - GARAGE

1/8" = 1'-0"



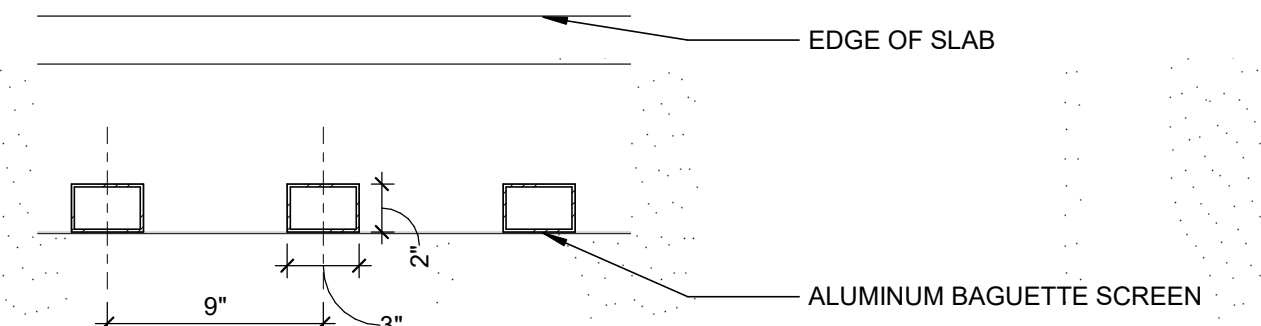
#### 1 WALL DETAIL - GARAGE

3/4" = 1'-0"



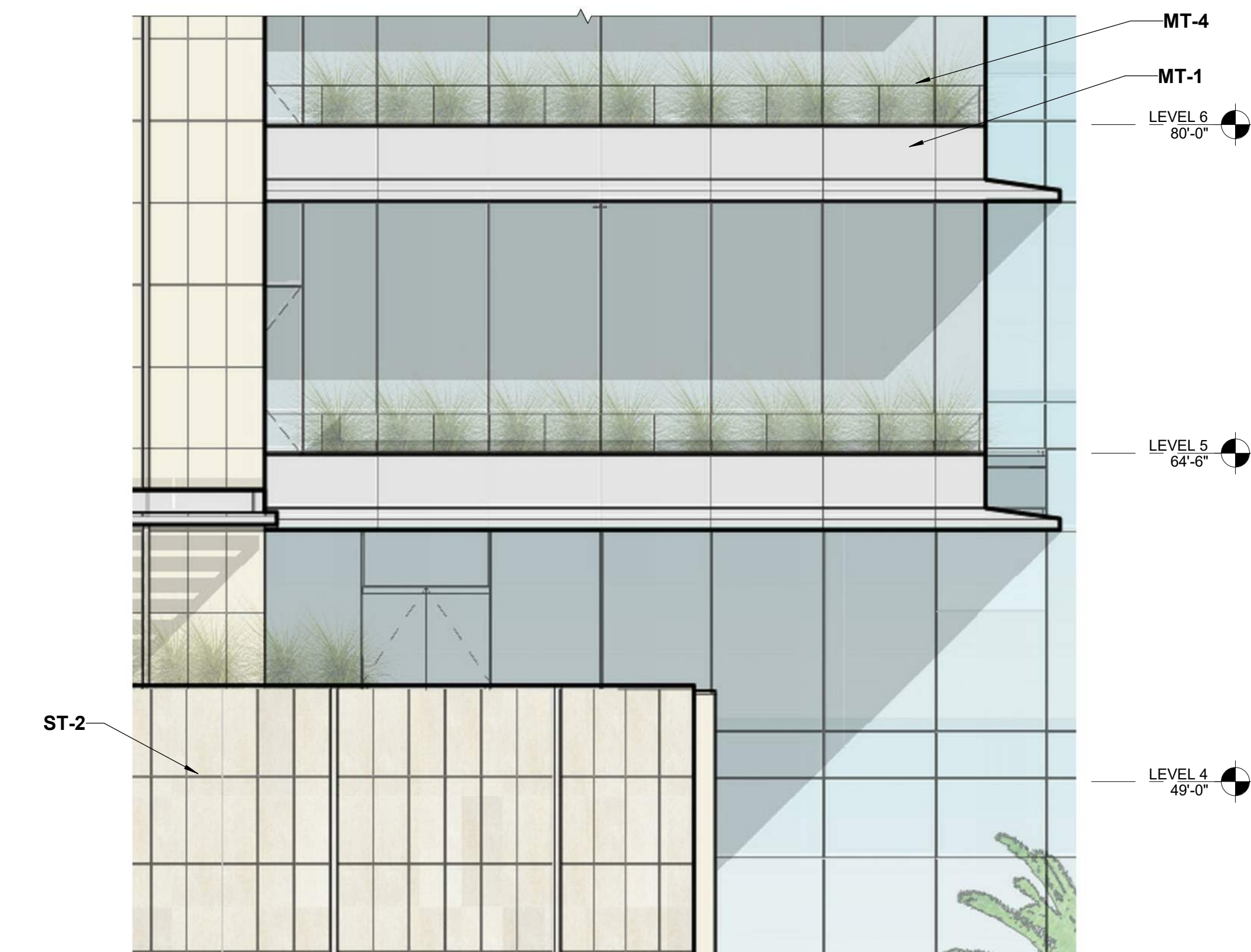
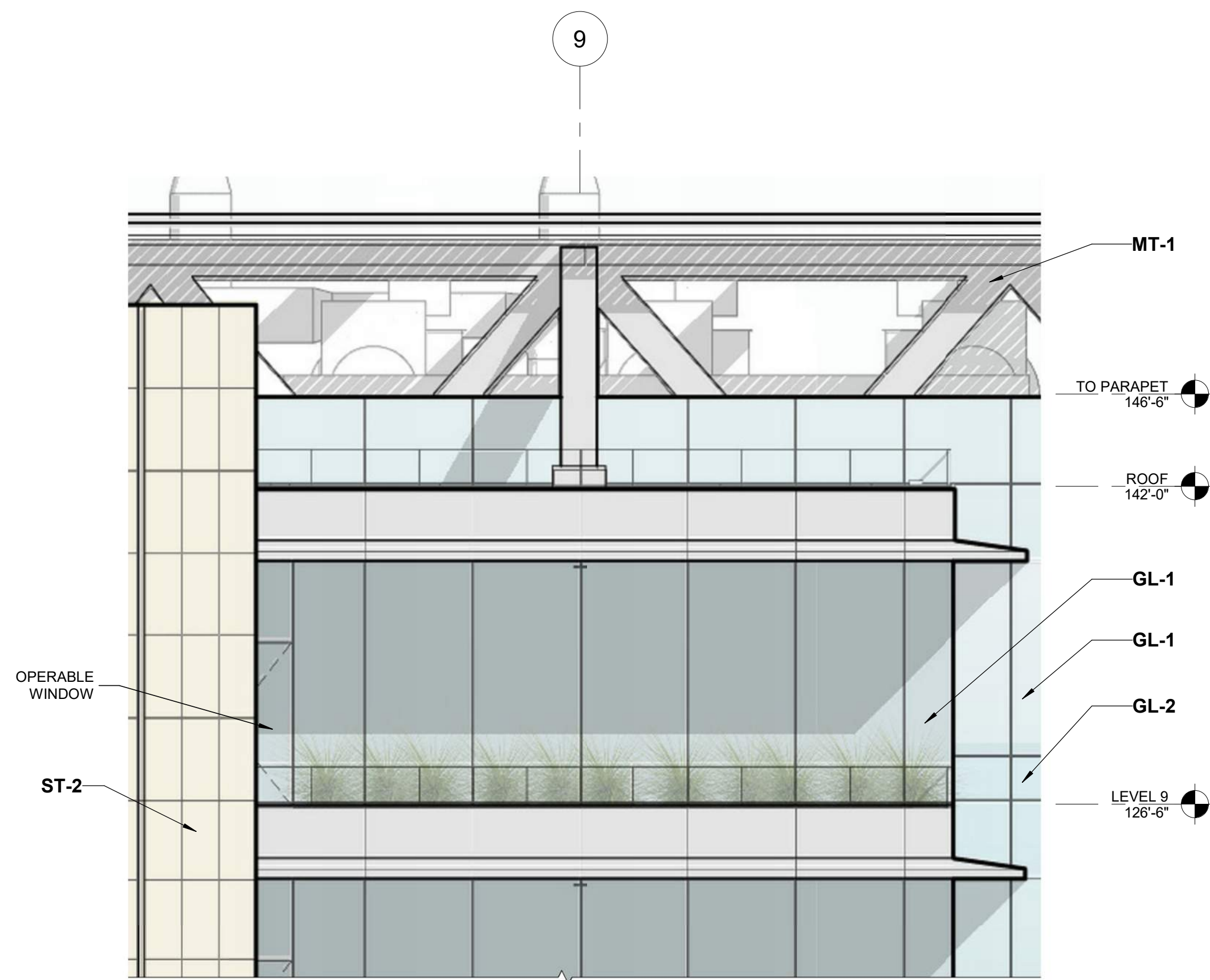
#### 2 GARAGE - ENLARGED PLAN

1 1/2" = 1'-0"





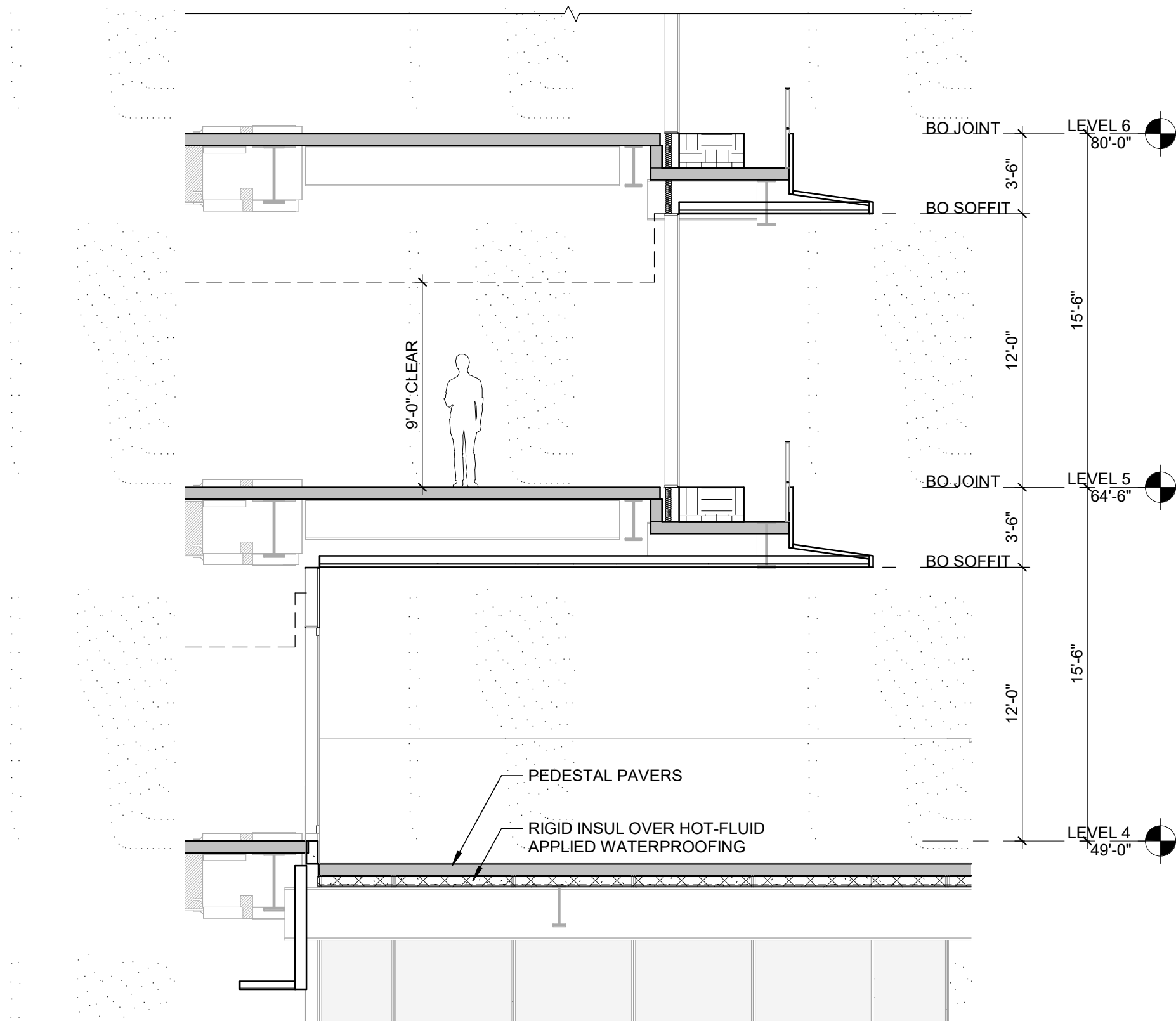
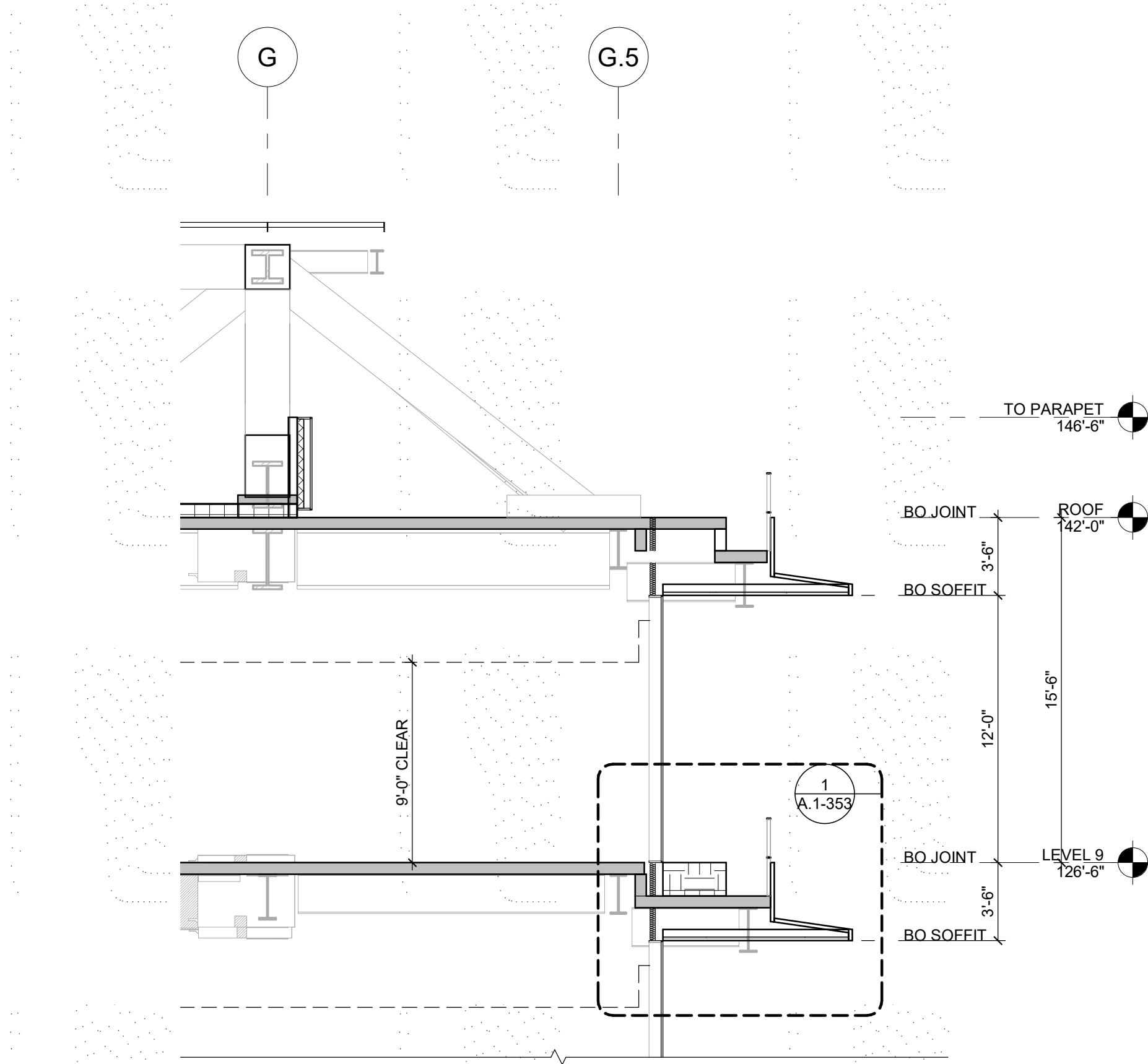
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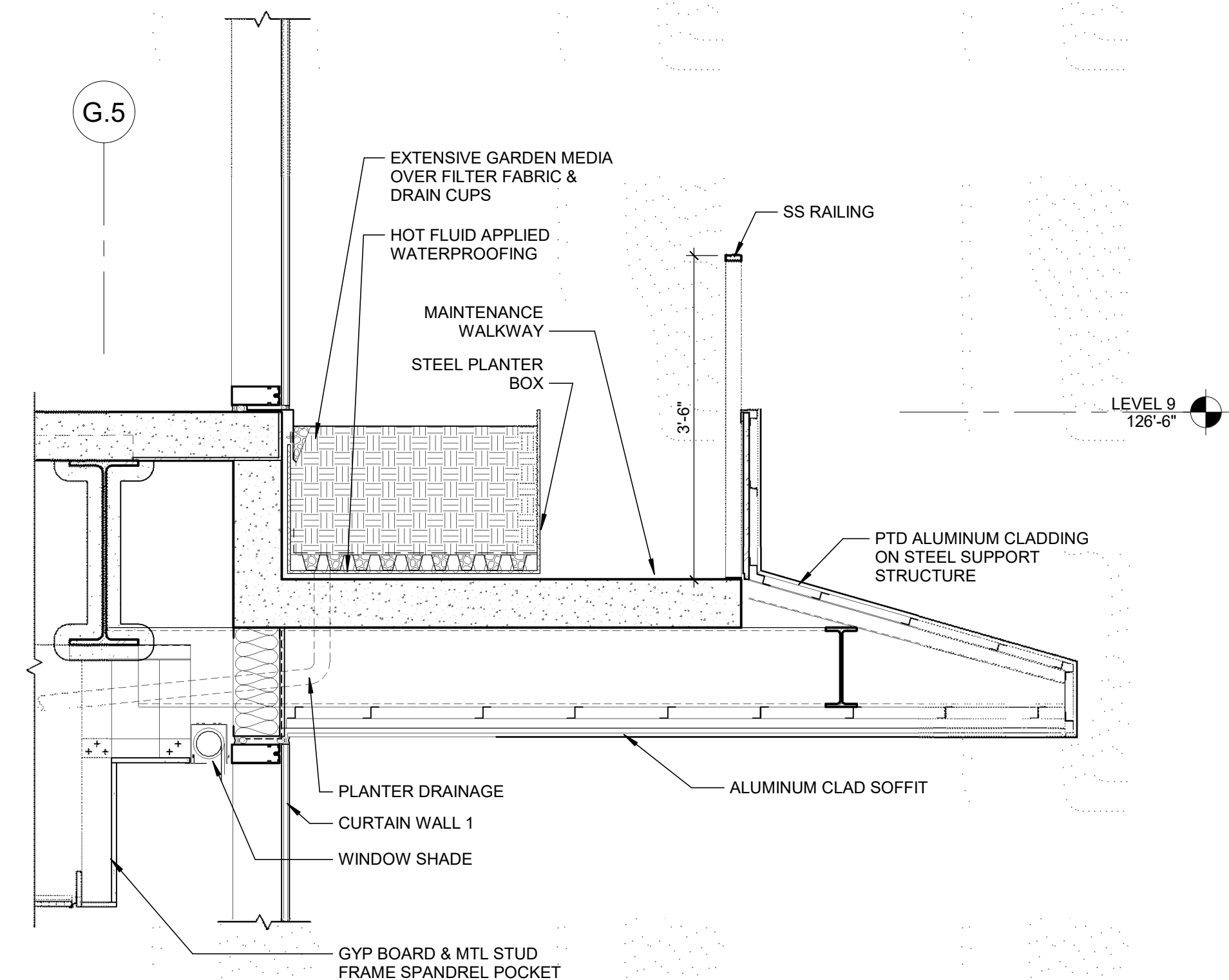
4 ENLARGED ELEVATION - TOWER SOUTH  
3/16" = 1'-0"

#### KEYNOTE LEGEND

GL-1	INSULATED GLASS, CLEAR	ST-2	GLASS-FIBER-REINFORCED CONCRETE
GL-2	INSULATED GLASS, SPANDREL		
MT-1	METAL PANEL		
MT-4	STAINLESS STEEL GUARDRAIL		



3 WALL SECTION - TOWER SOUTH  
3/16" = 1'-0"



1 WALL DETAIL - TOWER SOUTH  
3/4" = 1'-0"



2 MATERIAL - TOWER SOUTH  
1/8" = 1'-0"

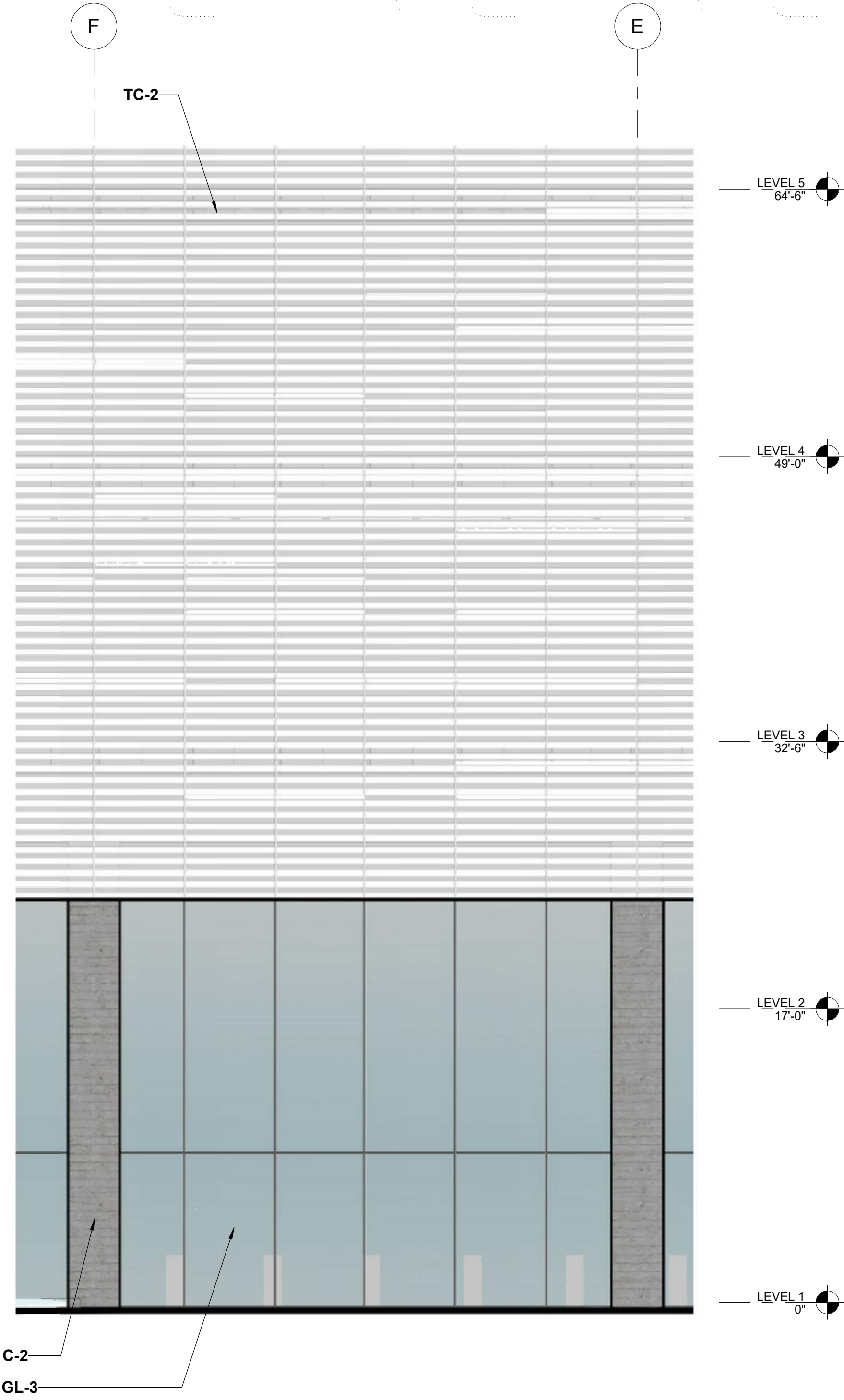


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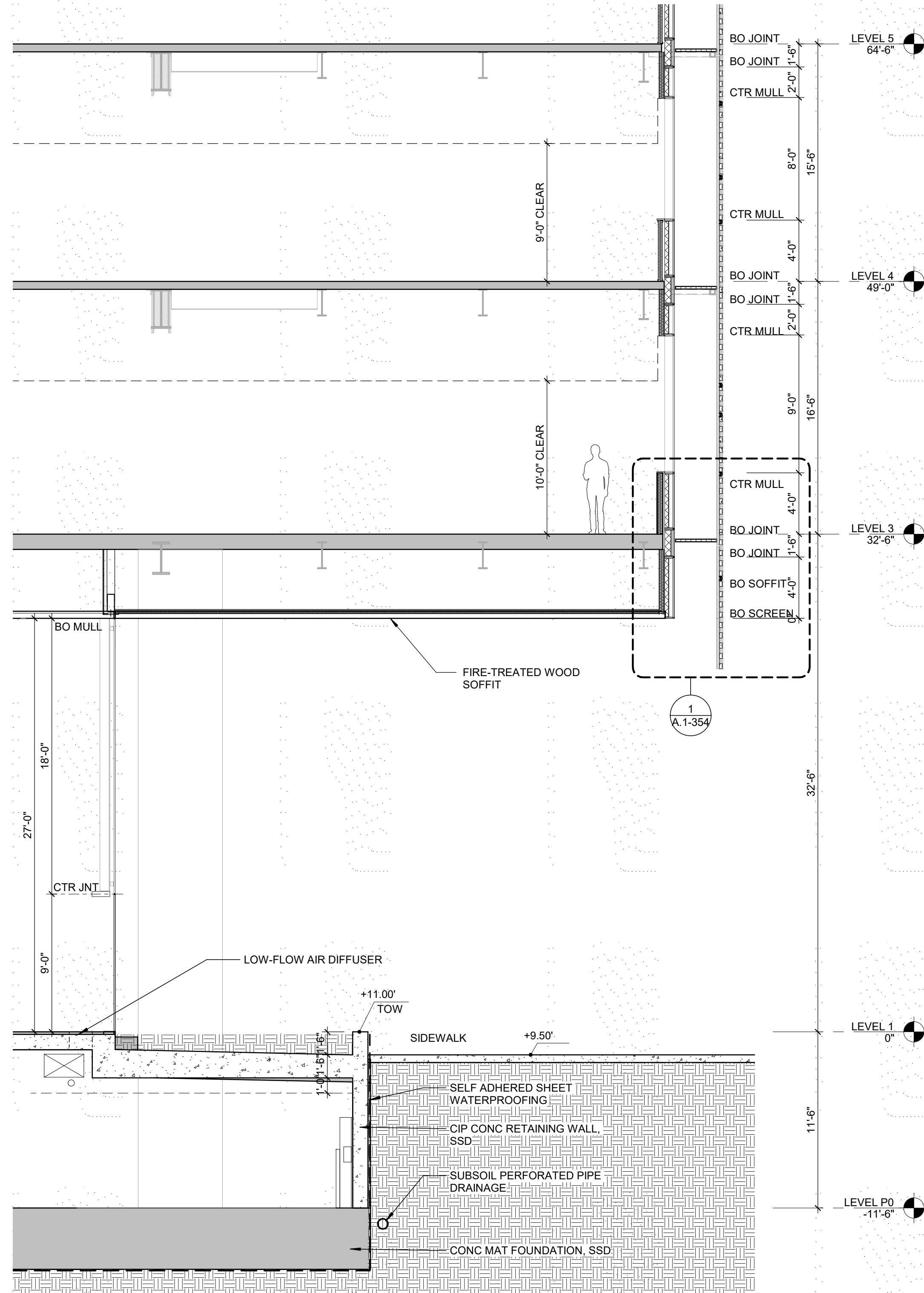
4 ENLARGED ELEVATION - LOBBY  
3/16" = 1'-0"

KEYNOTE LEGEND

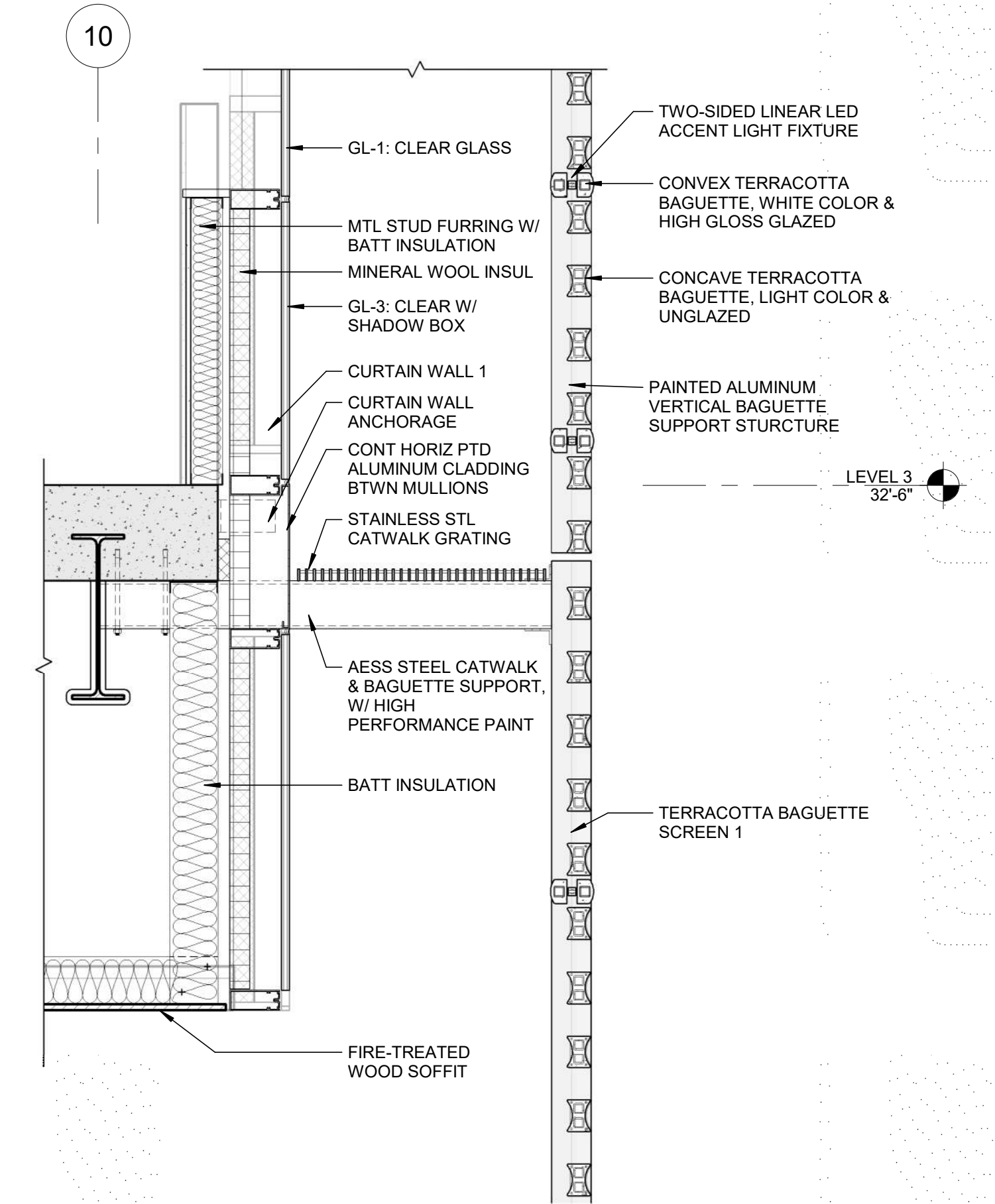
C-2	BOARD-FORMED CONCRETE
GL-3	INSULATED GLASS, CLEAR
TC-2	WHITE TERRA COTTA



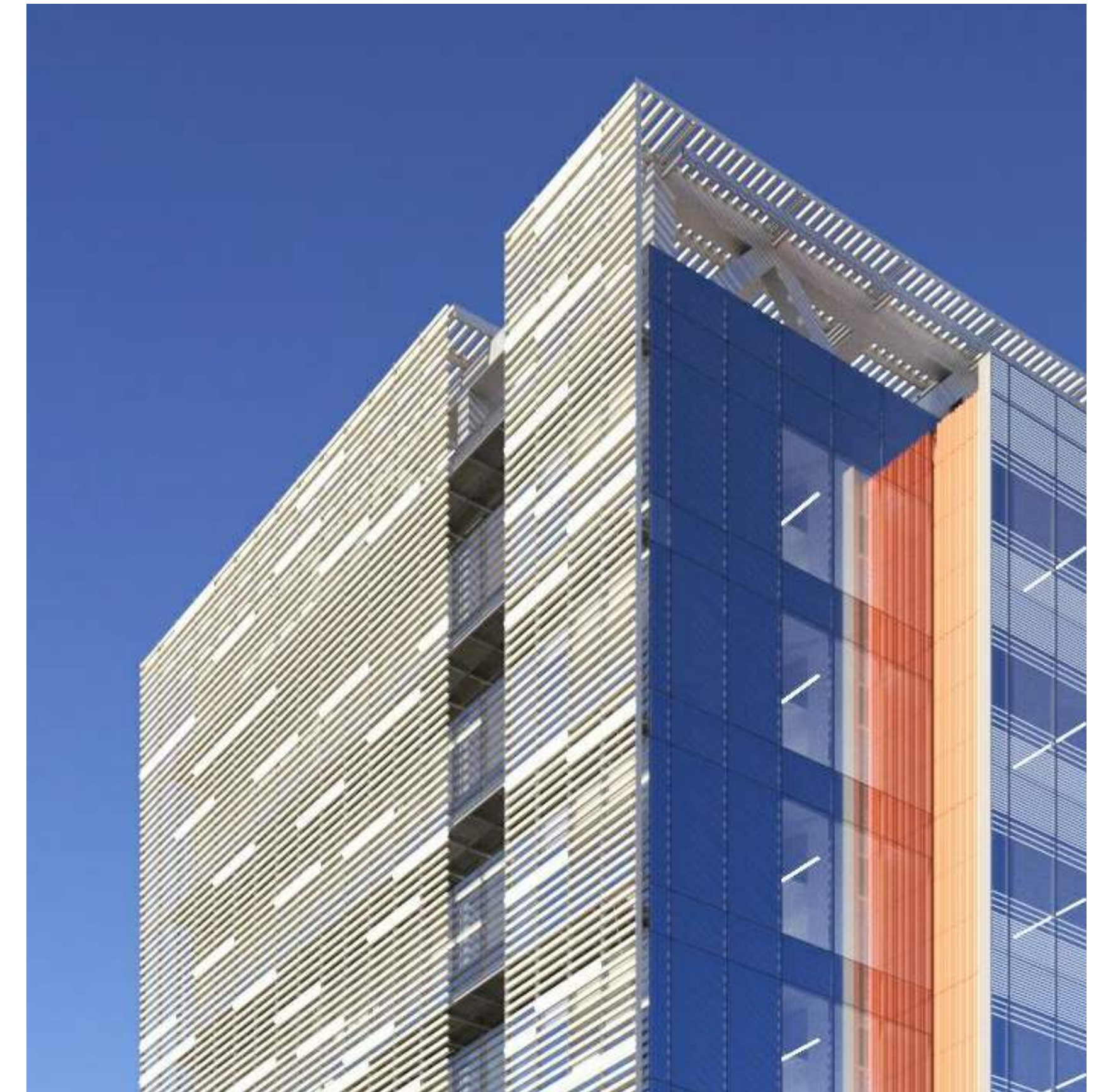
3 WALL SECTION PLINTH LOBBY  
3/16" = 1'-0"



1 WALL DETAIL - TOWER SCREEN & LOBBY  
3/4" = 1'-0"



5 TOWER SCREEN & LOBBY  
1/8" = 1'-0"



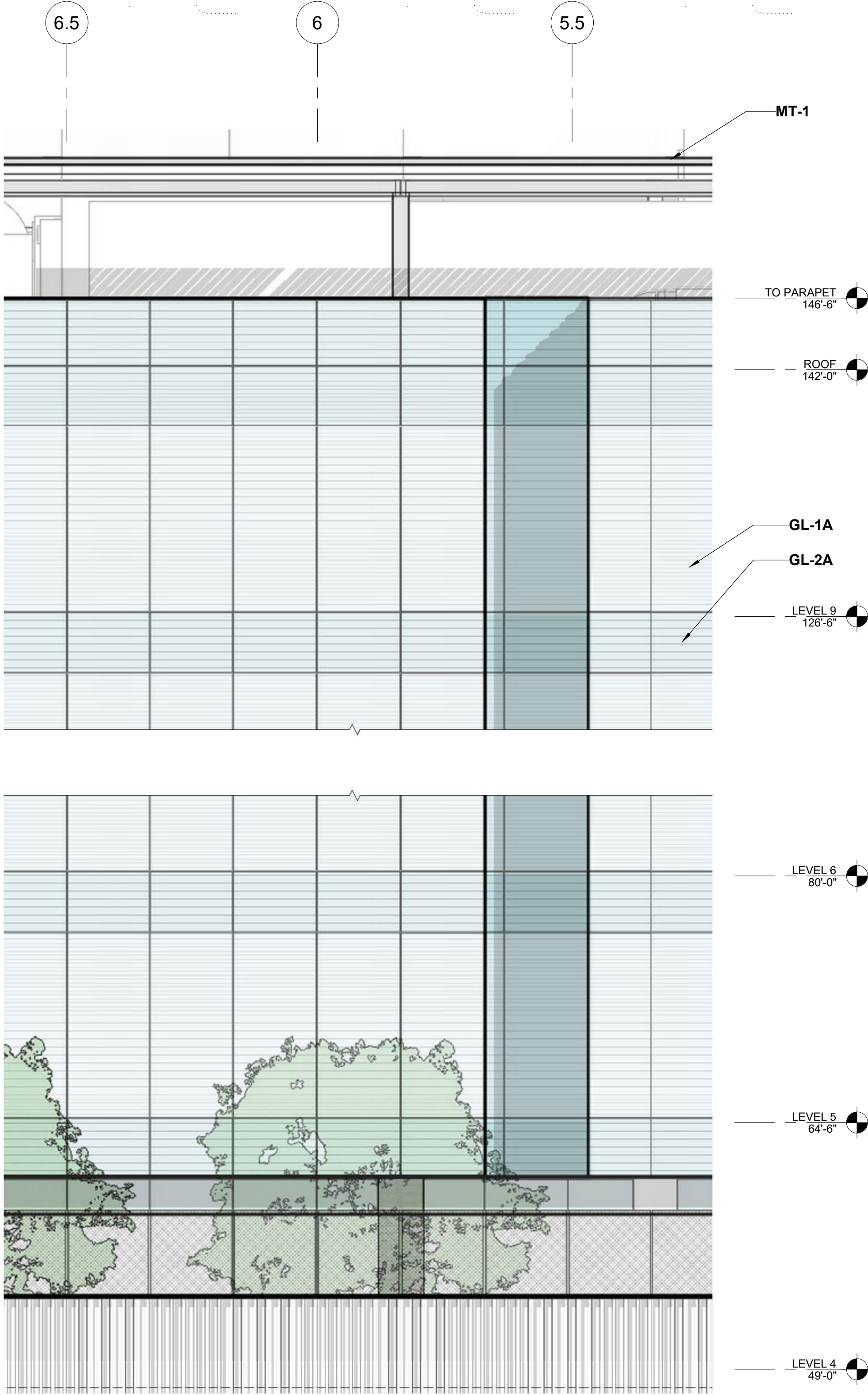


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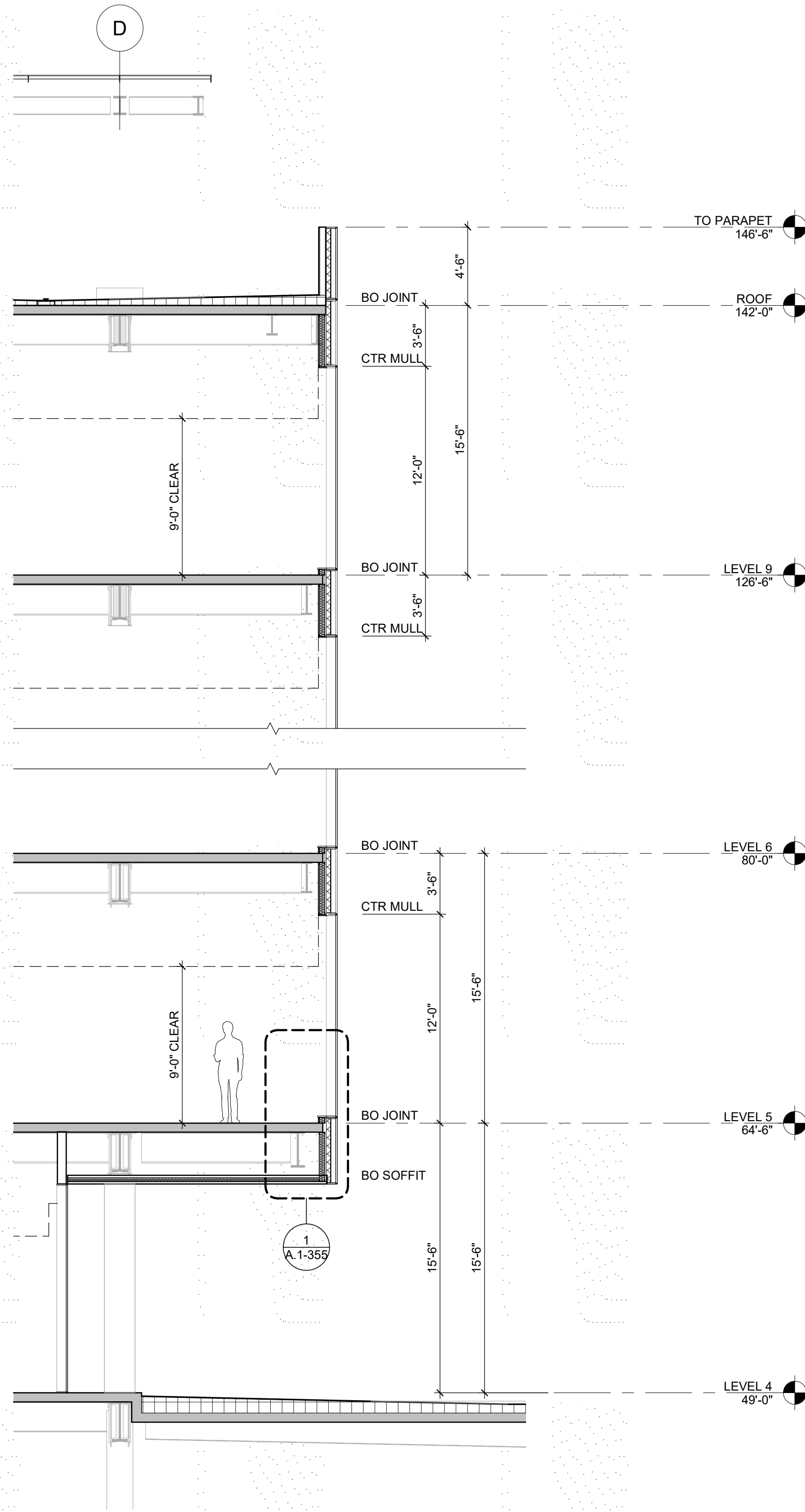
4 ENLARGED ELEVATION - NORTH BAY  
3/16" = 1'-0"

KEYNOTE LEGEND

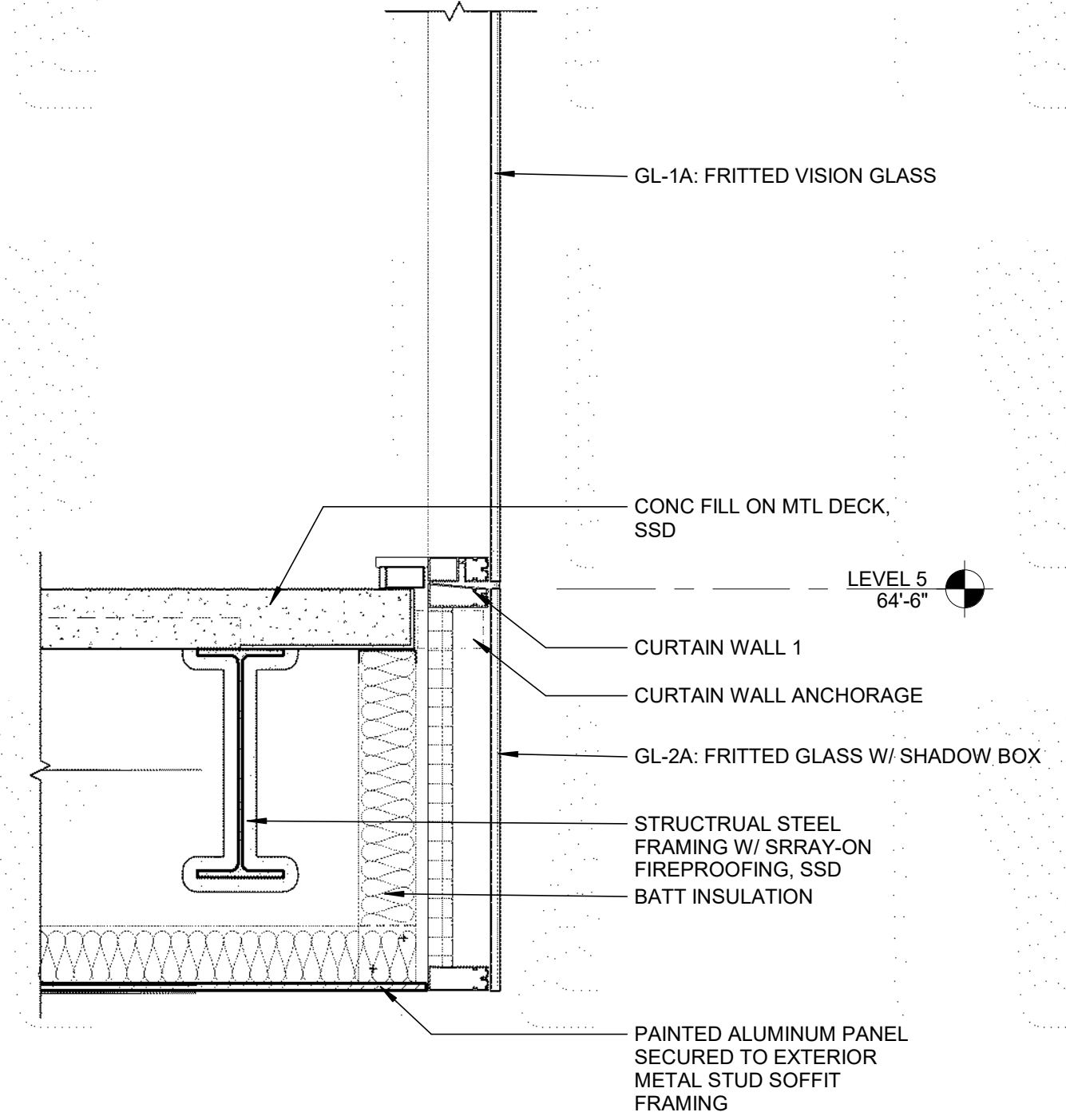
GL-1A INSULATED GLASS, FRITTED  
GL-2A INSULATED GLASS, FRITTED SPANDREL  
MT-1 METAL PANEL



3 WALL SECTION TOWER BAY  
3/16" = 1'-0"



1 WALL DETAIL - NORTH BAY 2  
3/4" = 1'-0"



2 MATERIAL - NORTH BAY  
1/8" = 1'-0"





9/16/2019 5:26:17 PM

BUILDING DIMENSIONS

MAXIMUM BUILDING DIMENSIONS:

1. PARKING STRUCTURES SHALL BE NO GREATER THAN 275 FEET ALONG SIDE STREETS.  
\* DOES NOT FRONT OF SIDE STREET: MAXIMUM BUILDING DIMENSION REQUIREMENTS NOT APPLICABLE

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WRNSSTUDIO

PROJECT TITLE:  
BLOCK E PARKING STRUCTURE

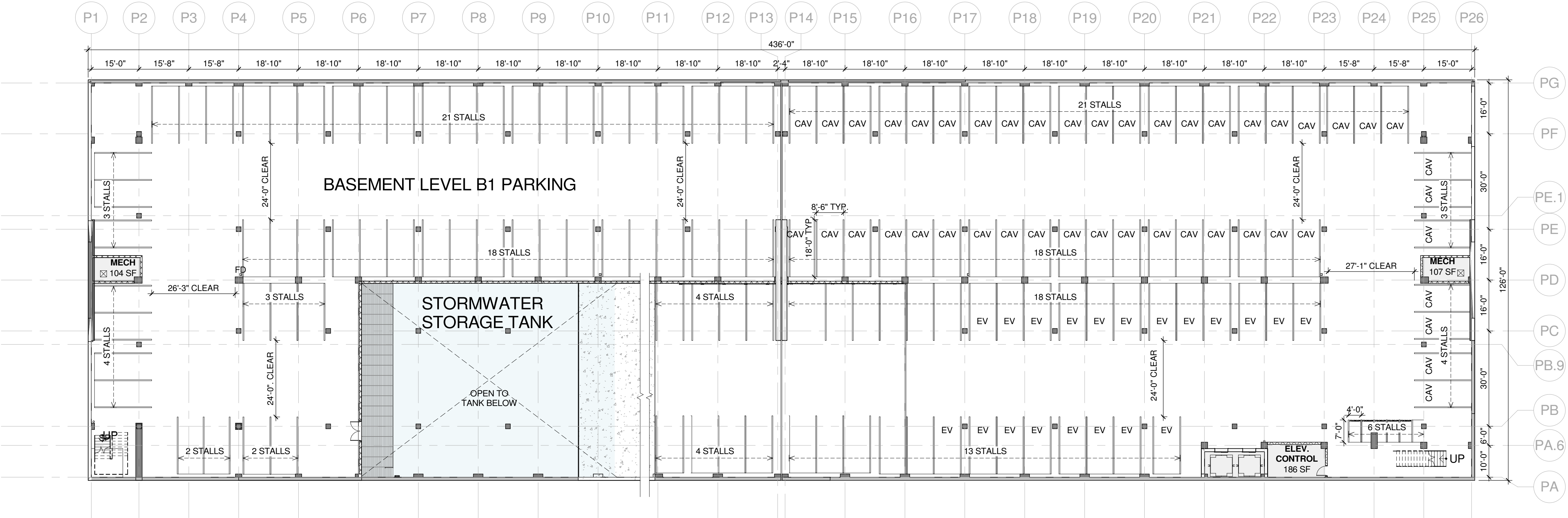
ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 20'-0"

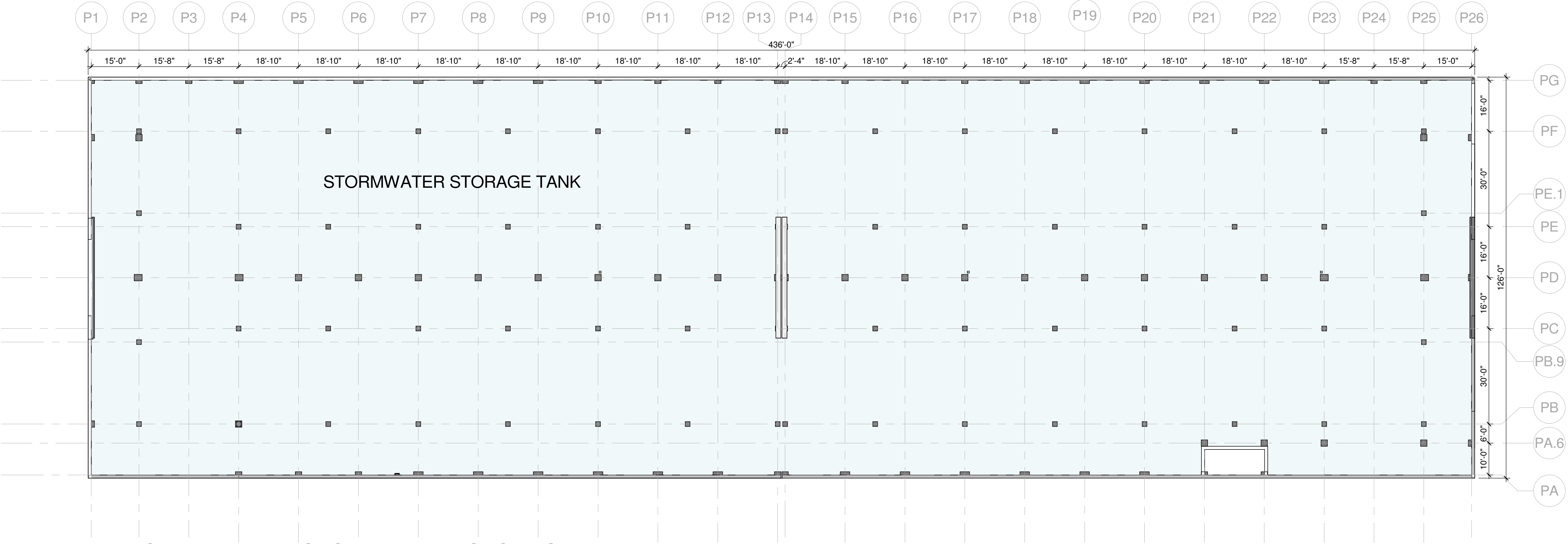
SHEET TITLE:  
PS-E FLOOR PLAN - LEVEL B2 & B1

SHEET NO:  
A.2-100



2 PS-E FLOOR PLAN - LEVEL B1  
1" = 20'-0"

PARKING STRUCTURE - LEVEL B1			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	73	8'-6" x 18'-0"	
CAV	46	8'-6" x 18'-0"	
EV	20	8'-6" x 18'-0"	
MOTORCYCLE	6	4'-0" x 6'-0"	
TOTAL	145		



1 PS-E LEVEL B2 (STORMWATER STORAGE TANK)  
1" = 20'-0"



9/16/2019 5:26:26 PM

BUILDING DIMENSIONS

MAXIMUM BUILDING DIMENSIONS:

1. PARKING STRUCTURES SHALL BE NO GREATER THAN 275 FEET ALONG SIDE STREETS.  
\* DOES NOT FRONT OF SIDE STREET: MAXIMUM BUILDING DIMENSION REQUIREMENTS NOT APPLICABLE



WRNSSTUDIO

PROJECT TITLE:  
BLOCK E PARKING STRUCTURE

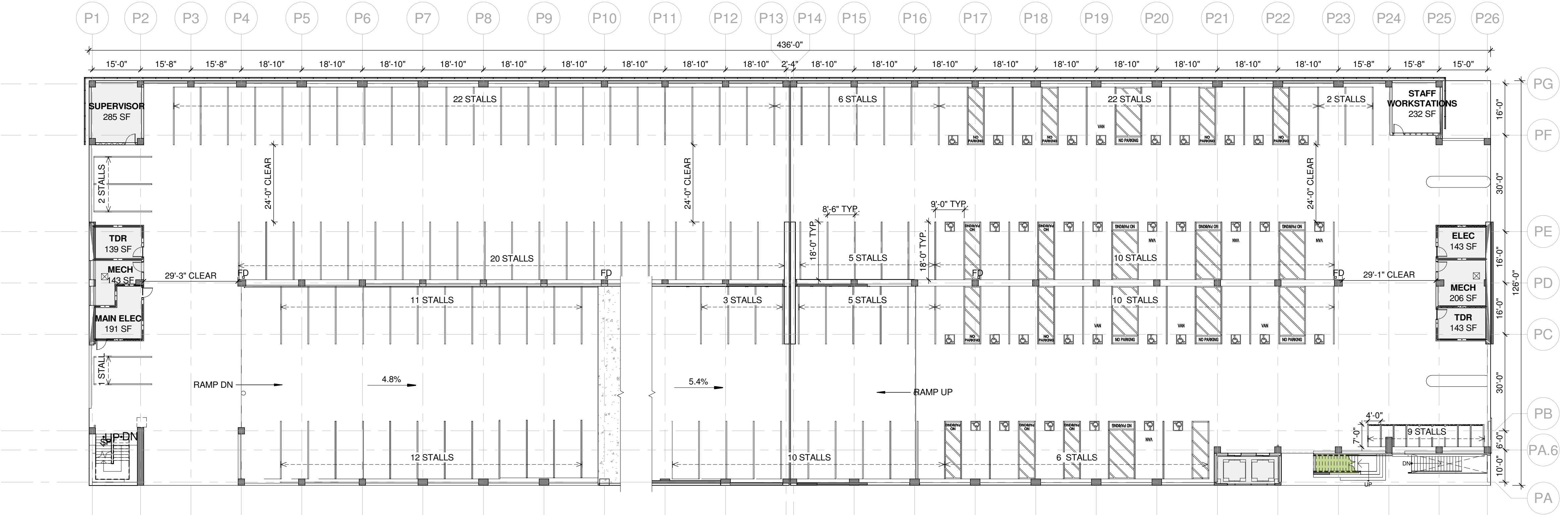
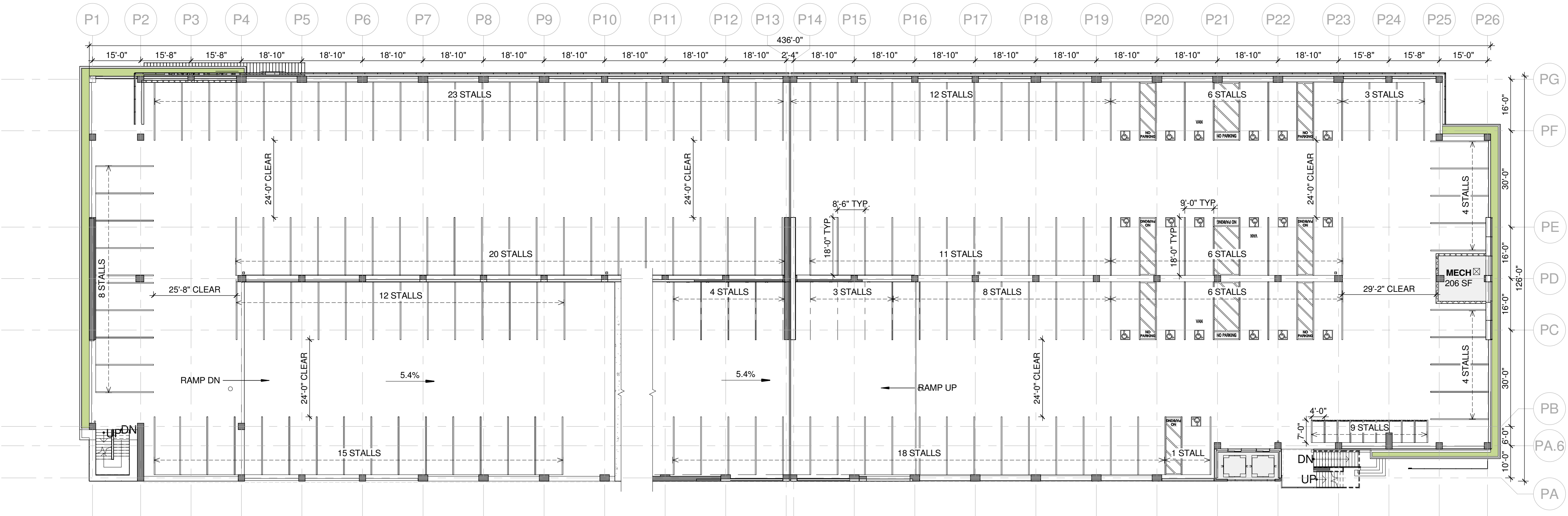
ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 20'-0"

SHEET TITLE:  
PS-E FLOOR PLAN - LEVEL 1 & 2

SHEET NO:  
A.2-101





9/16/2019 5:26:29 PM

BUILDING DIMENSIONS

MAXIMUM BUILDING DIMENSIONS:

1. PARKING STRUCTURES SHALL BE NO GREATER THAN 275 FEET ALONG SIDE STREETS.  
\* DOES NOT FRONT OF SIDE STREET: MAXIMUM BUILDING DIMENSION REQUIREMENTS NOT APPLICABLE

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PROJECT TITLE:  
BLOCK E PARKING STRUCTURE

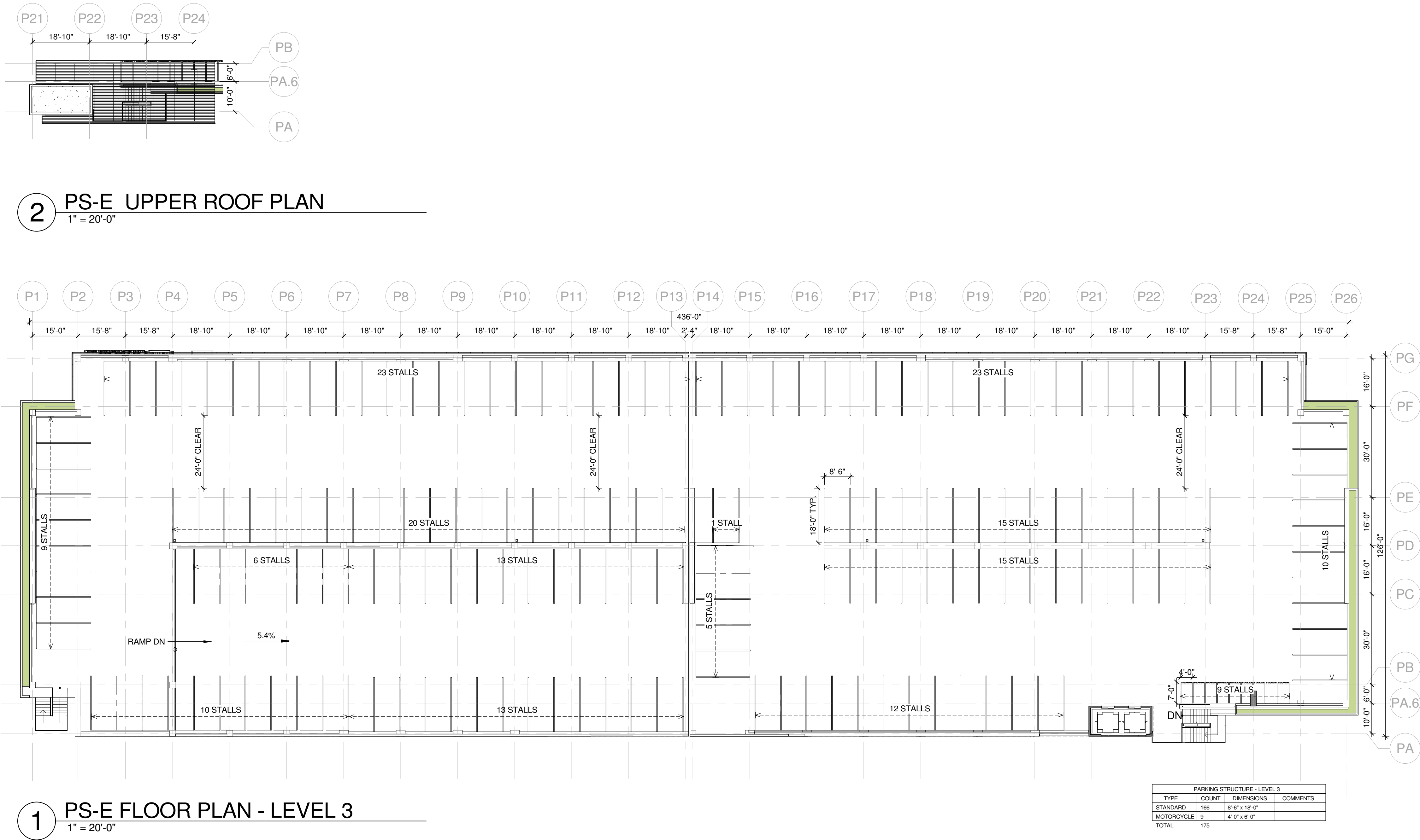
ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 20'-0"

SHEET TITLE:  
PS-E FLOOR PLAN - LEVEL 3 & ROOF

SHEET NO:  
A.2-102

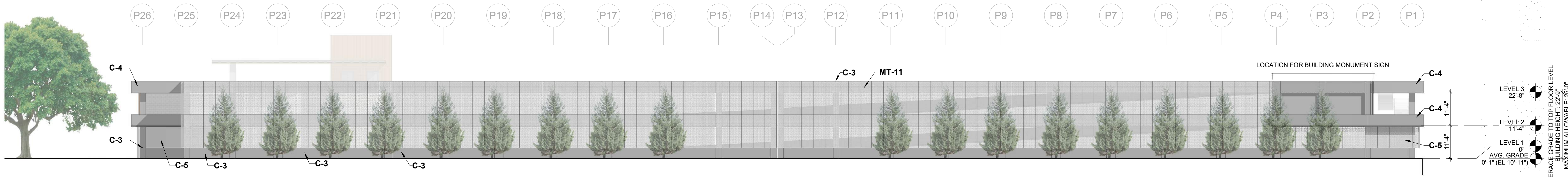


2 PS-E UPPER ROOF PLAN  
1" = 20'-0"

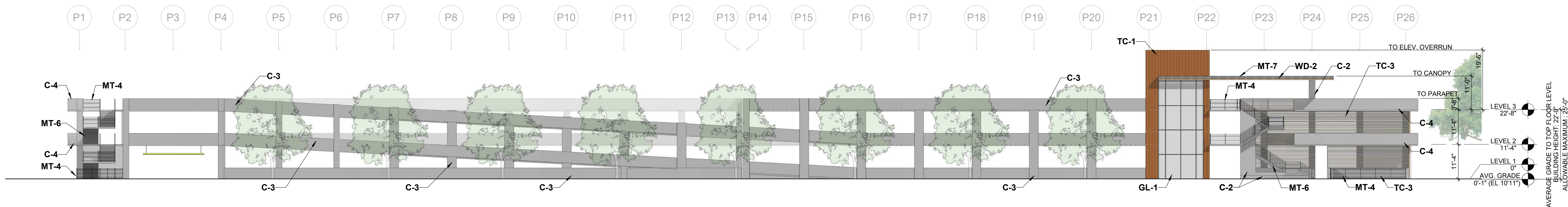
1 PS-E FLOOR PLAN - LEVEL 3  
1" = 20'-0"

PARKING STRUCTURE - LEVEL 3			
TYPE	COUNT	DIMENSIONS	COMMENTS
STANDARD	166	8'-0" x 15'-0"	
MOTORCYCLE	9	4'-0" x 6'-0"	
TOTAL	175		

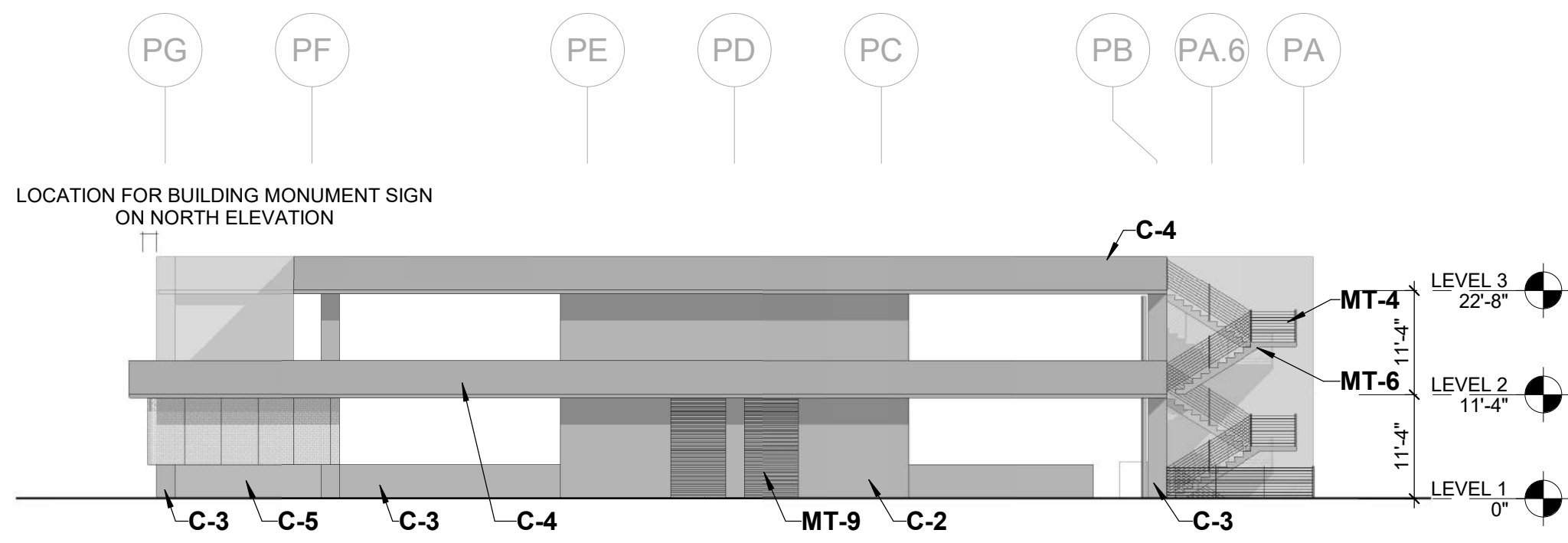




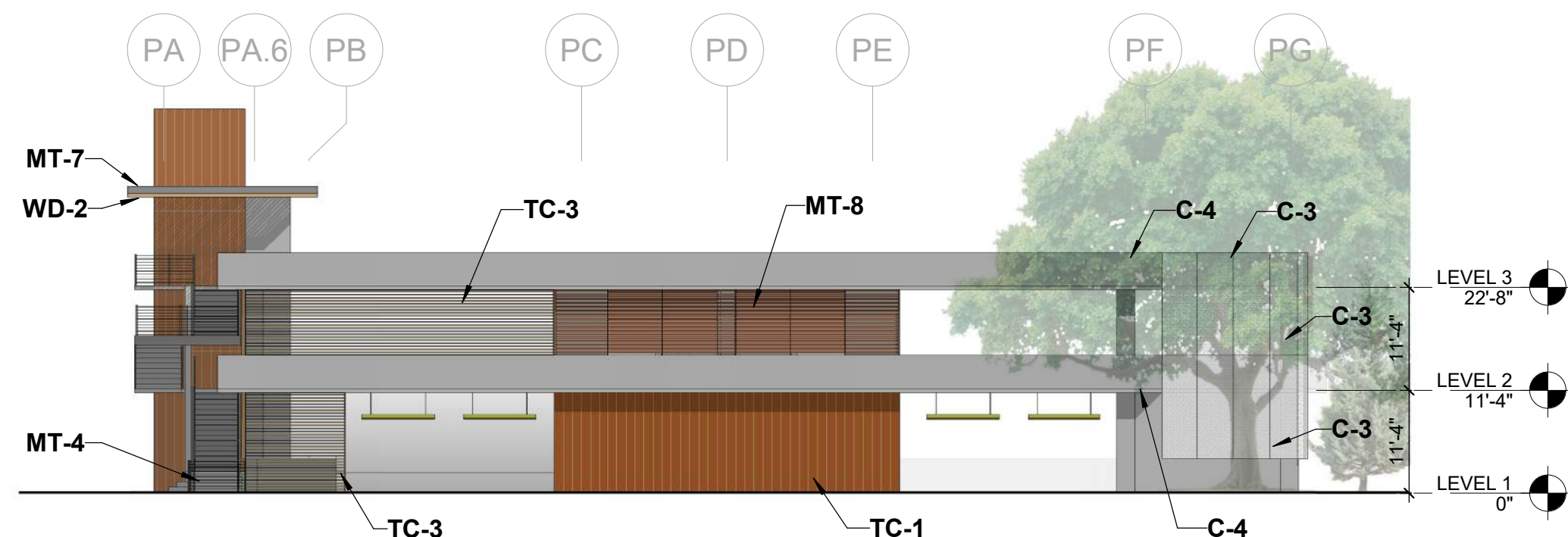
1 NORTH ELEVATION  
1/16" = 1'-0"



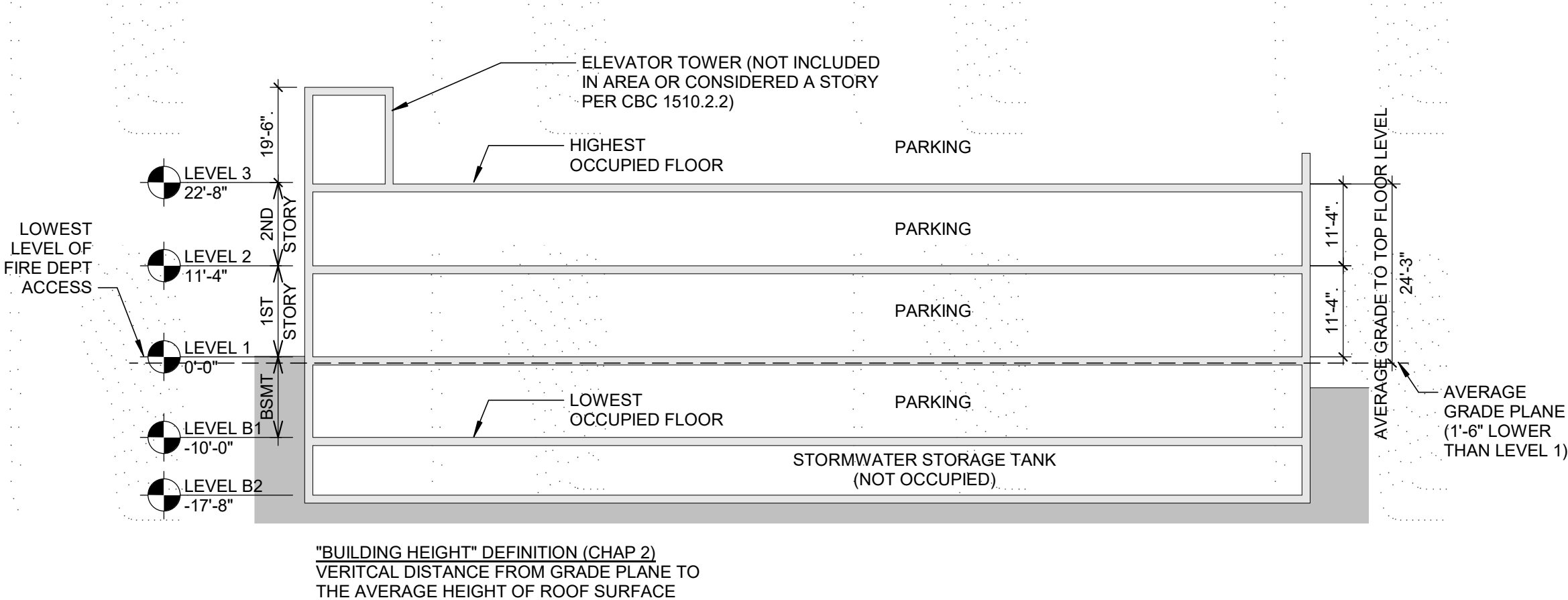
2 SOUTH ELEVATION  
1/16" = 1'-0"



3 WEST ELEVATION  
1/16" = 1'-0"



4 EAST ELEVATION  
1/16" = 1'-0"



5 BUILDING HEIGHT DIAGRAM  
1/32" = 1'-0"

MATERIAL KEYNOTES

C-2	BOARD-FORMED CONCRETE
C-3	CAST-IN PLACE CONCRETE W/ INTEGRAL PLASTER FINISH
C-4	CAST-IN PLACE CONCRETE PLANTER BOX INTEGRATED INTO STRUCTURE
C-5	CONCRETE MASONRY UNIT
GL-1	INSULATED GLASS, CLEAR
MT-4	STAINLESS STEEL GUARDRAIL
MT-6	PAINTED STEEL STAIRS
MT-7	HSS SUPPORT STRUCTURE
MT-8	ALUMINUM WALL LOUVER CUSTOM PAINTED TO MATCH TERRA COTTA
MT-9	ALUMINUM WALL LOUVER CUSTOM PAINTED TO MATCH CONCRETE
MT-11	EXPANDED PAINTED METAL
TC-1	RED TERRA COTTA
TC-3	RED TERRA COTTA SCREEN
WD-2	WOOD SOFFIT

PRECISE PLAN REQUIREMENTS

MAXIMUM BUILDING HEIGHT:

BLOCK E

- 75' WITHIN 100' OF BROADWAY
- 120' GREATER THAN 100' FROM BROADWAY AND GREATER THAN 200' FROM US-101
- 20' WITHIN 200' OF US-101

MAXIMUM HEIGHT EXCEPTIONS:

SECTION D.1 - ABOVE SUBSURFACE PARKING

THE MAXIMUM BUILDING HEIGHT MAY BE EXCEEDED BY UP TO 5' WHERE SUBSURFACE PARKING IS PROVIDED; SUBSURFACE STRUCTURES SHALL EXTEND NO HIGHER THAN 5' ABOVE FINISHED GRADE.

SECTION D.2 - SPECIAL ARCHITECTURAL FORMS

SPECIAL ARCHITECTURAL FORMS... ARE ENCOURAGED AND MAY BE PERMITTED TO EXCEED HEIGHT LIMITS SUBJECT TO CITY REVIEW.

SECTION D.4 - BLOCKS B,C AND E

ONE BUILDING ON EACH OF THESE BLOCKS MAY BE ALLOWED TO EXCEED HEIGHT LIMITS BY UP TO 30 FEET, SUBJECT TO CITY REVIEW AND APPROVAL  
BLOCK E, ONE BUILDING: 120' + 30' = 150' MAXIMUM BUILDING HEIGHT

9/17/2019 3:29:14 PM

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WRNSSTUDIO

PROJECT TITLE:  
BLOCK E PARKING STRUCTURE

ISSUES  
ENTITLMENT APPLICATION  
RESUBMITTAL 01

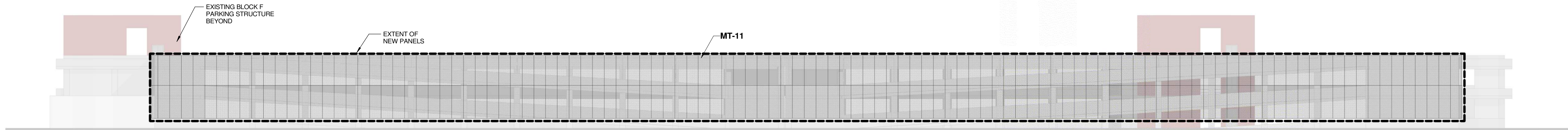
DATE  
07/19/2019  
09/18/2019

SCALE:  
As indicated

SHEET TITLE:  
PS-E ELEVATIONS

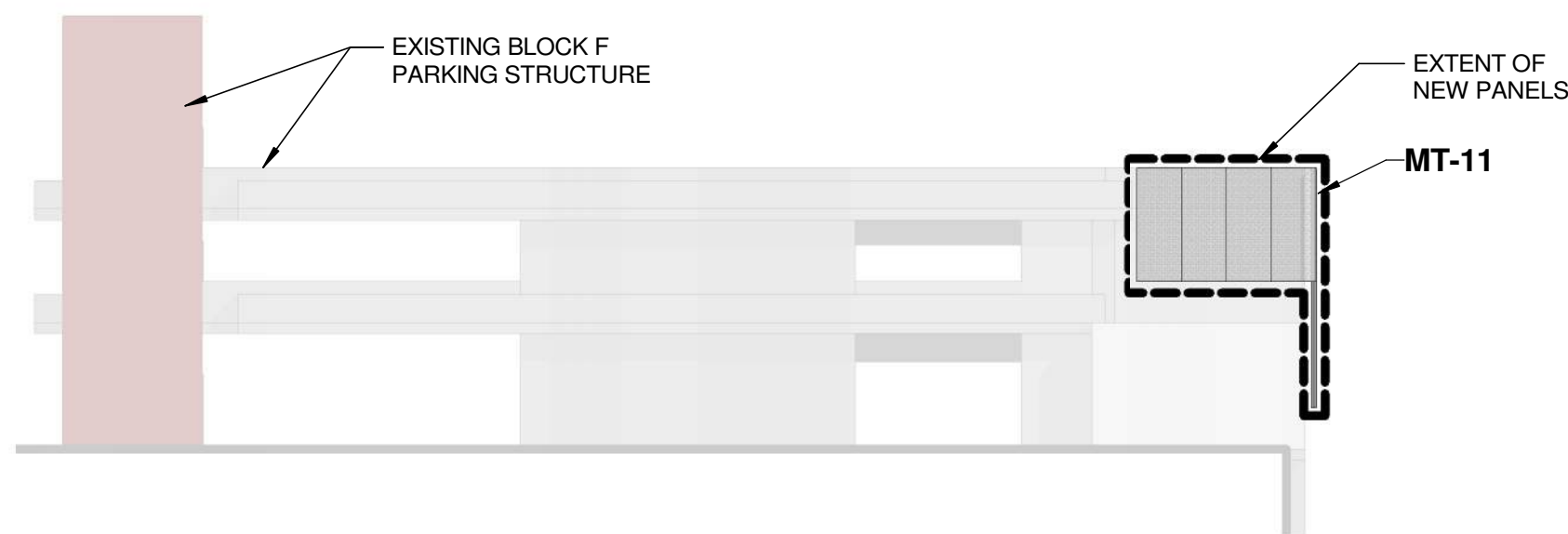
SHEET NO:  
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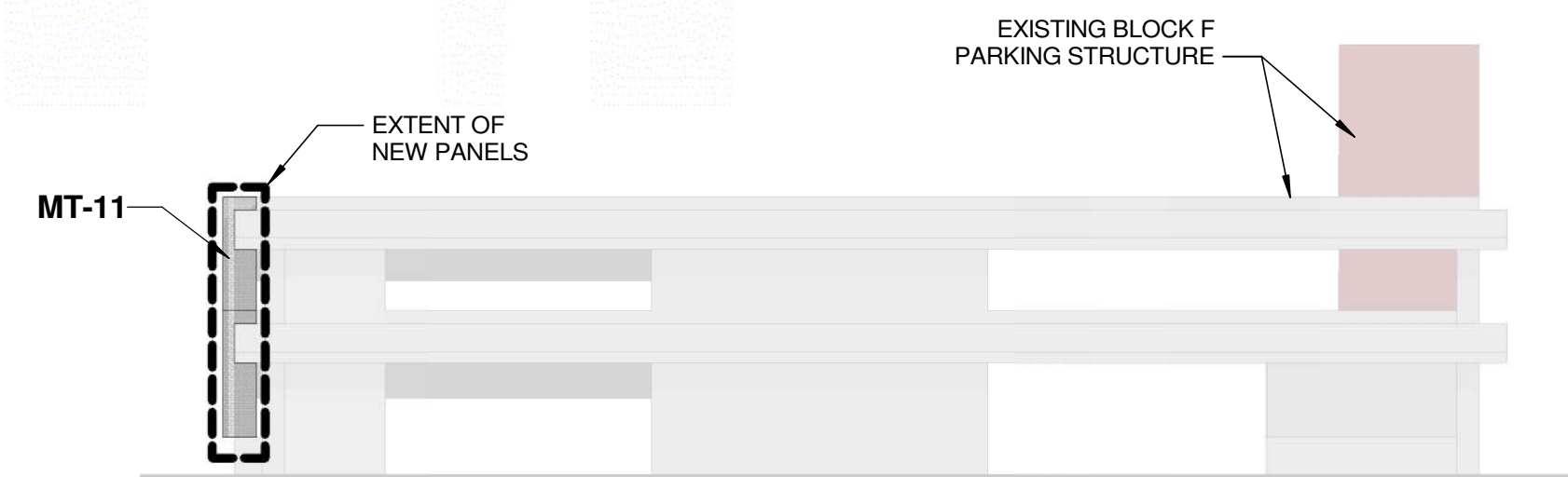
1 PS-F - NORTH ELEVATION

1/16" = 1'-0"



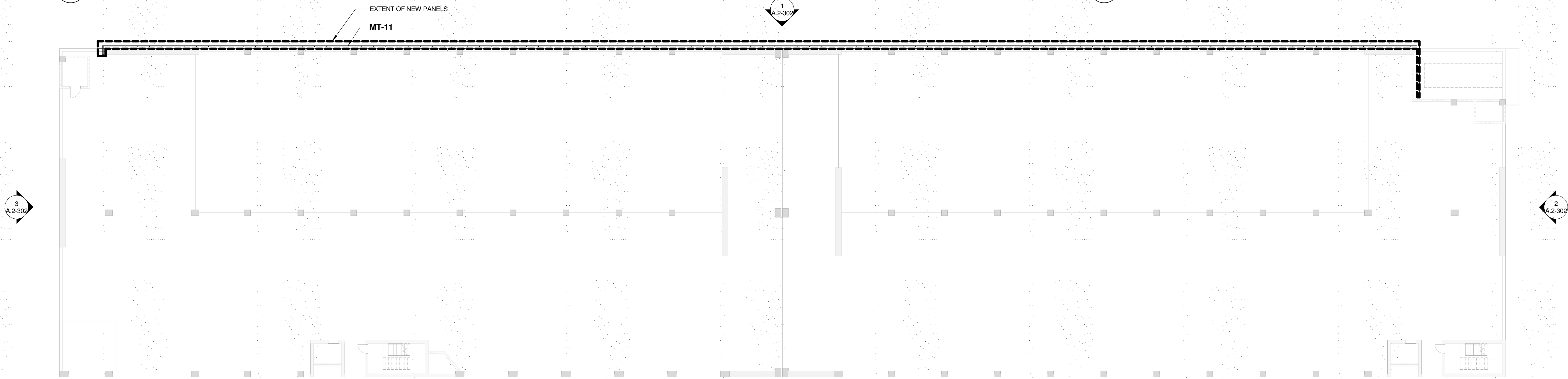
2 PS-F - EAST ELEVATION

1/16" = 1'-0"



3 PS-F - WEST ELEVATION

1/16" = 1'-0"



4 PS-F - LEVEL 1

1/16" = 1'-0"

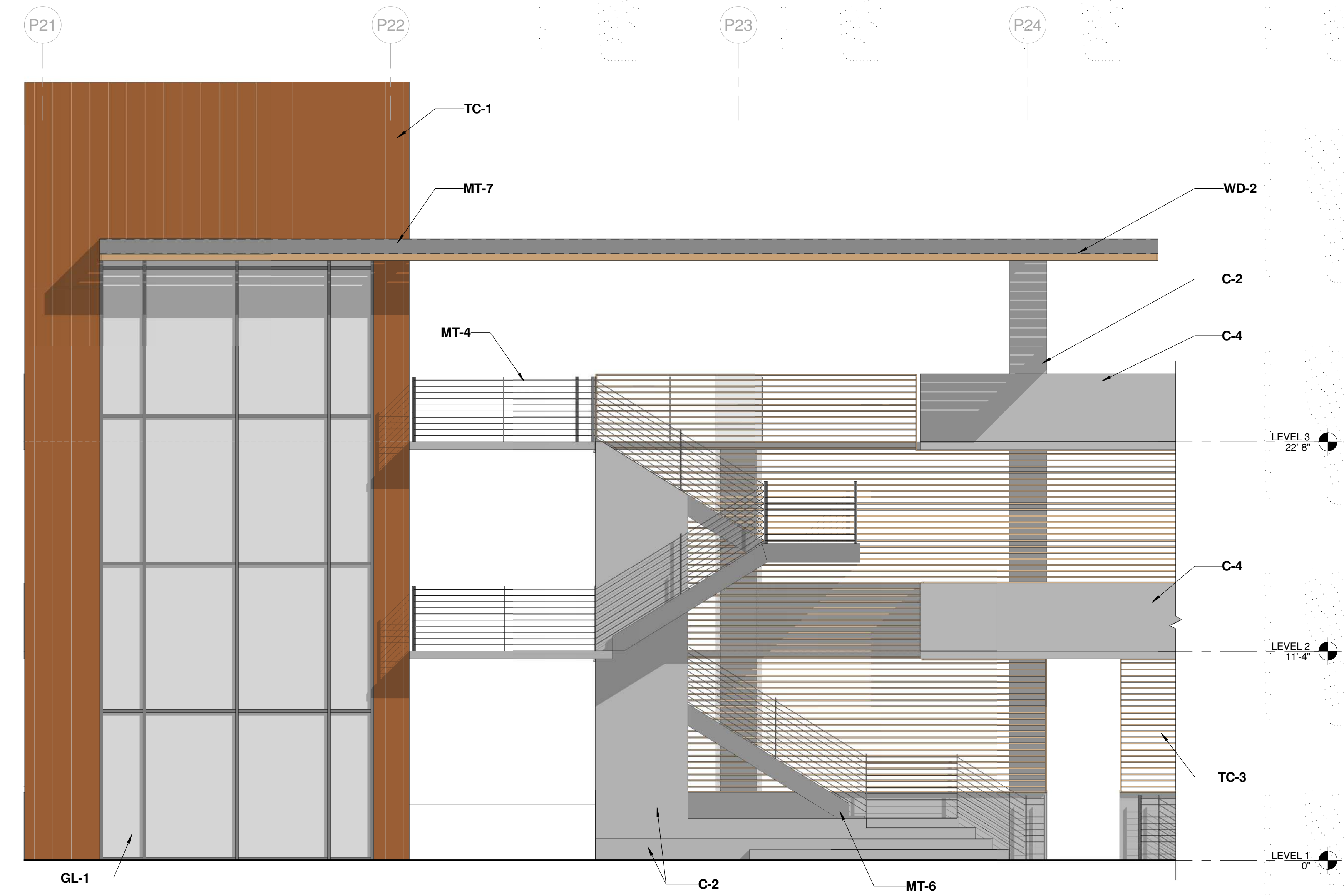
MATERIAL KEYNOTES

MT-11 EXPANDED PAINTED METAL

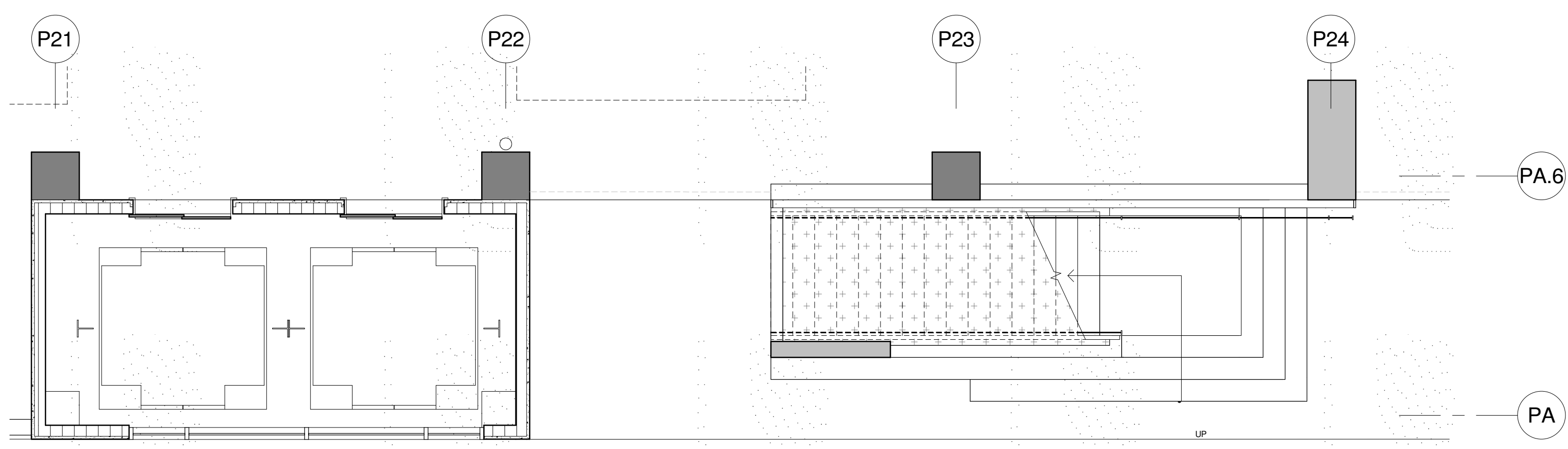
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9/16/2019 5:26:43 PM

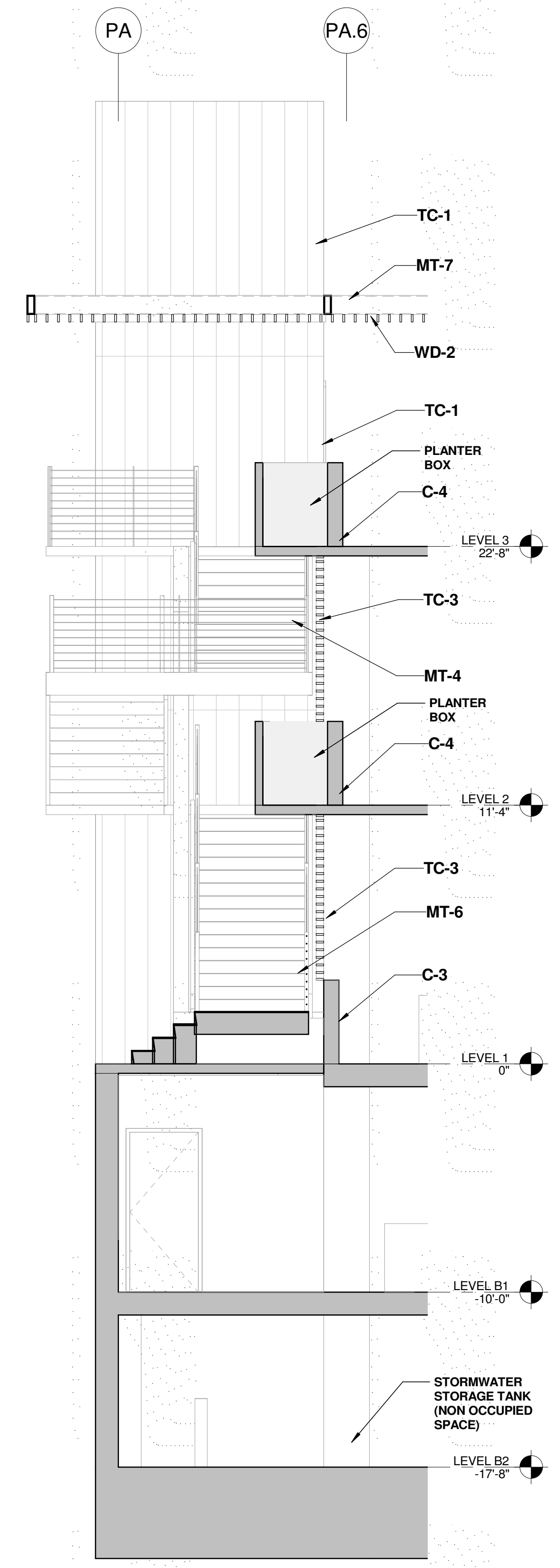


1 ENLARGED SOUTH ELEVATION  
1/4" = 1'-0"



2 ENLARGED FLOOR PLAN - LEVEL 1  
1/4" = 1'-0"

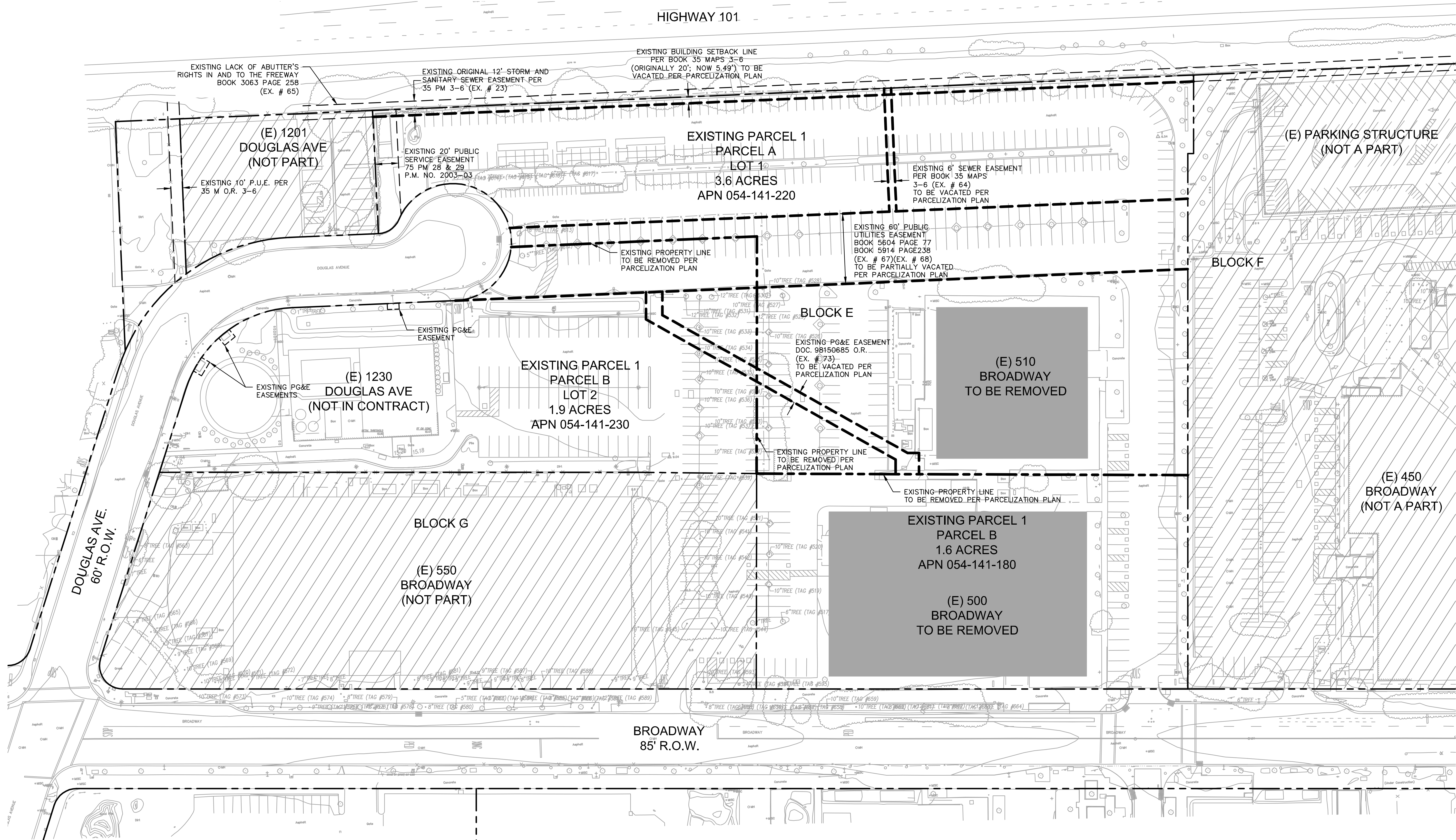
MATERIAL KEYNOTES	
C-2	BOARD-FORMED CONCRETE
C-3	CAST-IN PLACE CONCRETE W/ INTEGRAL PLASTER FINISH
C-4	CAST-IN PLACE CONCRETE PLANTER BOX INTEGRATED INTO STRUCTURE
GL-1	INSULATED GLASS, CLEAR
MT-4	STAINLESS STEEL GUARDRAIL
MT-6	PAINTED STEEL STAIRS
MT-7	HSS SUPPORT STRUCTURE
TC-1	RED TERRA COTTA
TC-3	RED TERRA COTTA SCREEN
WD-2	WOOD SOFFIT



4 WALL SECTION - STAIR  
1/4" = 1'-0"



06/28/2019 10:48:02 AM



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PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

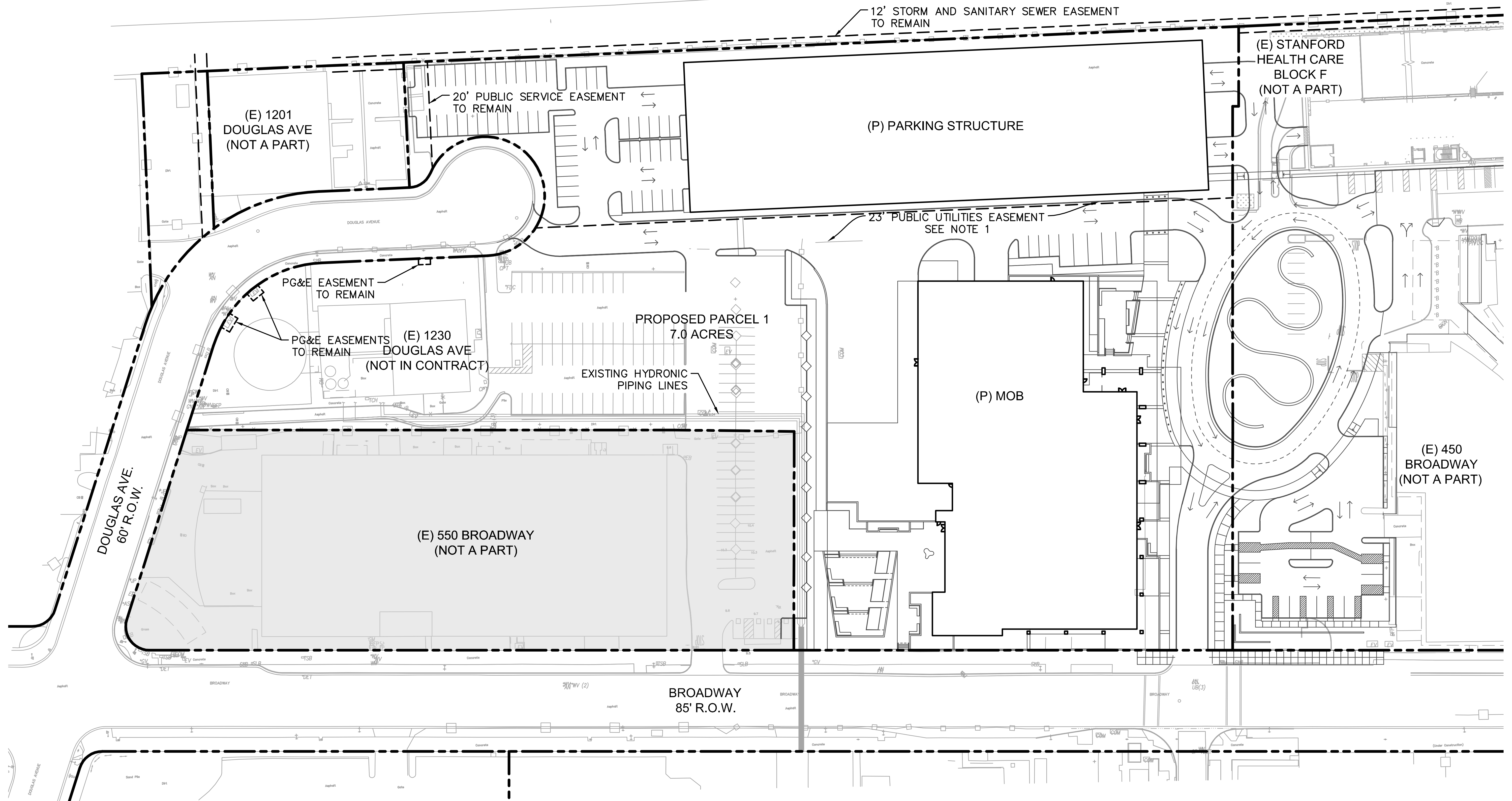
SCALE:  
1" = 40'

SHEET TITLE:  
SITE EXISTING CONDITIONS

SHEET NO:  
C-100



06/28/2019 10:48:02 AM



**LEGEND:**

- PROPERTY LINE
- - - EASEMENT LINE

**NOTES:**

- EXISTING PUBLIC UTILITIES EASEMENT TO BE PARTIALLY VACATED. LIMITS OF EASEMENT VACATION TO BE CONFIRMED BY STANFORD HEALTH CARE, COUNTY OF SAN MATEO FAIR OAKS SEWER MAINTENANCE DISTRICT AND CITY OF REDWOOD CITY.
- ALL PRIVATE EASEMENTS BETWEEN PARCELS, SUCH AS PG&E EASEMENTS, SHALL BE ADDRESSED PER SEPARATE LEGAL INSTRUMENTS AT A LATER DATE.
- FUTURE BUILDING LOCATIONS ARE PRELIMINARY AND SHOWN FOR REFERENCE ONLY.



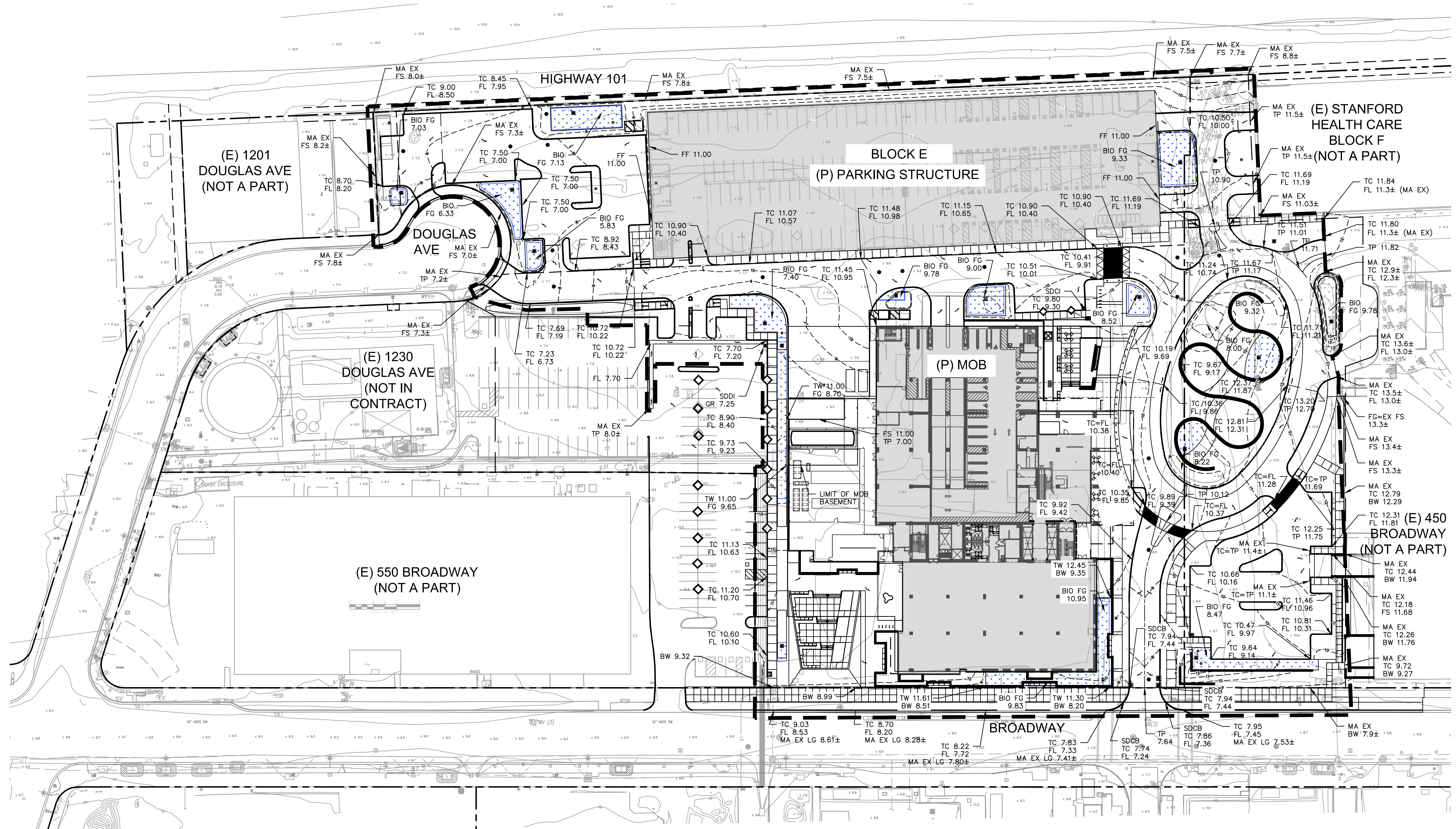
GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



06/28/2019 10:48:02 AM



**LEGEND**

- RAIN WATER LEADER
- PNEUMATIC TUBE FOR REFERENCE ONLY
- GRADING LIMIT
- SELF-RETAINED AREA
- GRADE BREAK
- BIORETENTION AREA
- SLOPE DIRECTION
- PROPOSED CONTOUR
- PROPOSED CONTOUR

**ABBREVIATIONS**

- |      |                        |      |                        |
|------|------------------------|------|------------------------|
| BIO  | BIORETENTION AREA      | SDCI | STORM DRAIN CURB INLET |
| BW   | BACK OF WALL           | SS   | SANITARY SEWER         |
| EX   | EXISTING               | TC   | TOP OF CURB            |
| FF   | FINISH FLOOR           | TP   | TOP OF PAVEMENT        |
| FG   | FINISH GRADE           | (P)  | PROPOSED               |
| FL   | FLOW LINE              |      |                        |
| FS   | FINISH SURFACE         |      |                        |
| FW   | FIRE WATER             |      |                        |
| GR   | GRATE                  |      |                        |
| HP   | HIGH POINT             |      |                        |
| INV  | INVERT                 |      |                        |
| LP   | LOW POINT              |      |                        |
| MA   | MATCH                  |      |                        |
| SDCI | STORM DRAIN CURB INLET |      |                        |



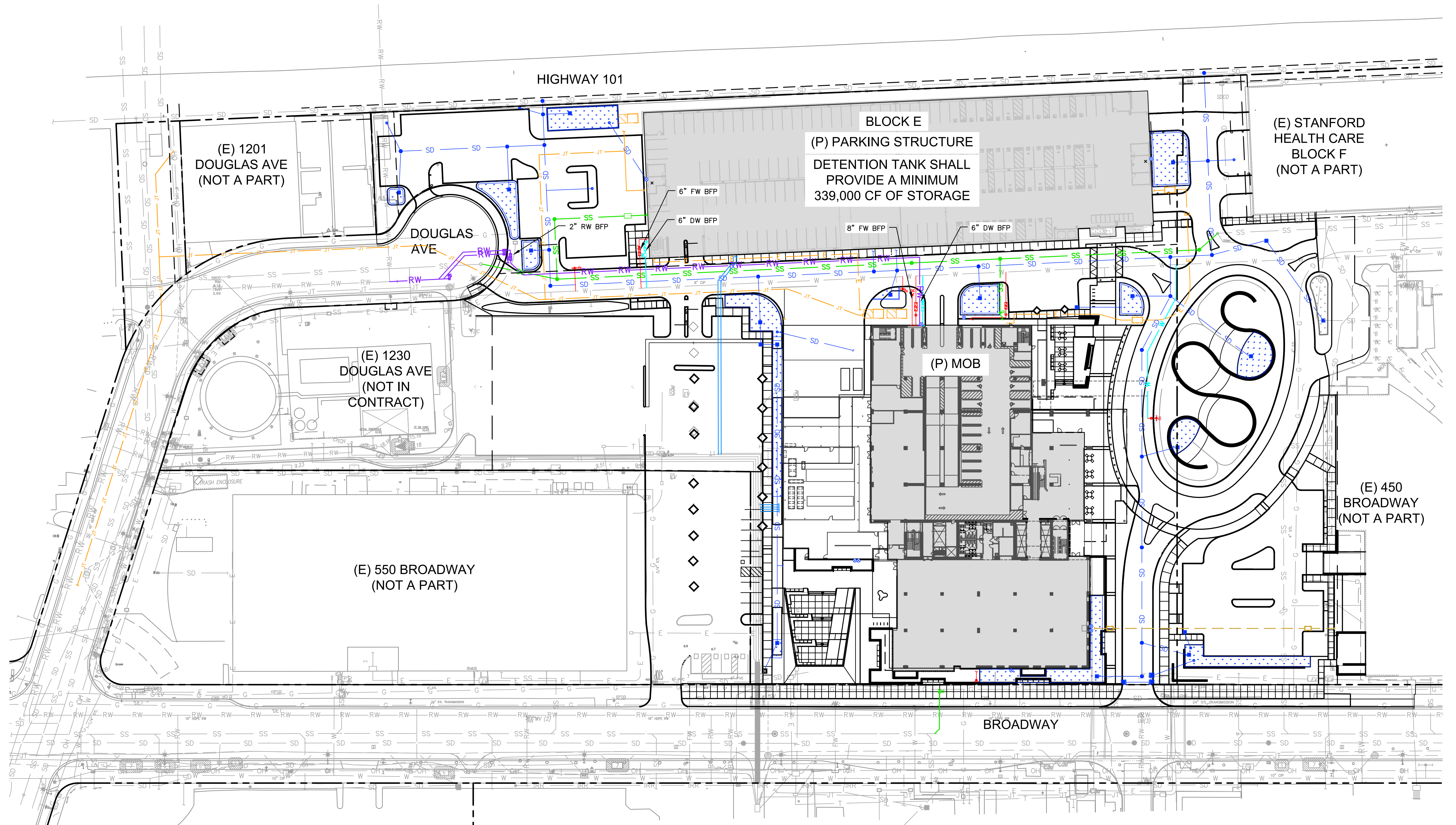
GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



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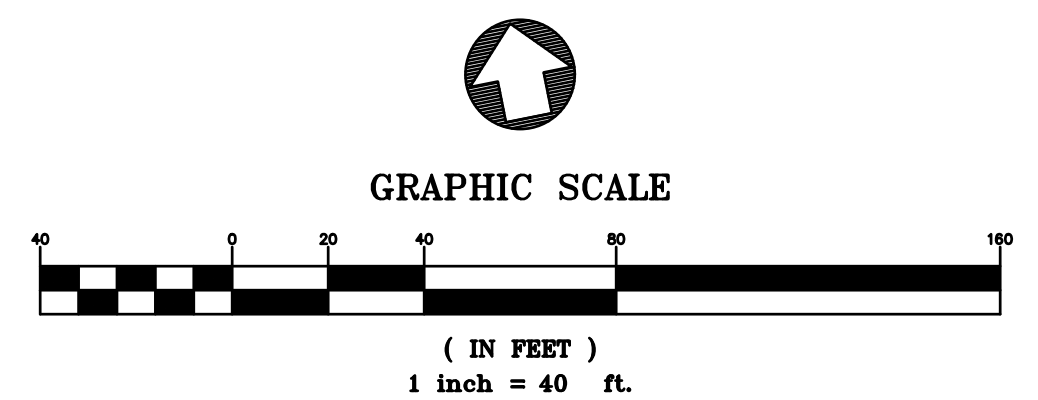


**LEGEND**

	PROPERTY LINE		JOINT TRENCH AND COMMUNICATIONS FOR REF. ONLY
	DOMESTIC WATER		STANFORD IT, FOR REFERENCE ONLY
	FIRE WATER		CHILLED/HOT WATER SERVICE/RETURN
	RECLAIMED WATER		SANITARY SEWER MANHOLE
	SANITARY SEWER		STORM DRAIN MANHOLE
	STORM DRAIN		

	STORM DRAIN CATCH BASIN
	STORM DRAIN CURB INLET
	POP-UP DRAINAGE EMITTER
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	BACKFLOW PREVENTER

	STANFORD IT 4'x8' COMMUNICATIONS VAULT FOR REFERENCE ONLY
	BIORETENTION AREA WITH STRUCTURAL RETAINING WALLS
	NON-STRUCTURAL BIORETENTION AREA
	RAIN WATER LEADER
	PNEUMATIC TUBE FOR REFERENCE ONLY



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PROJECT TITLE:  
**STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING**

ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

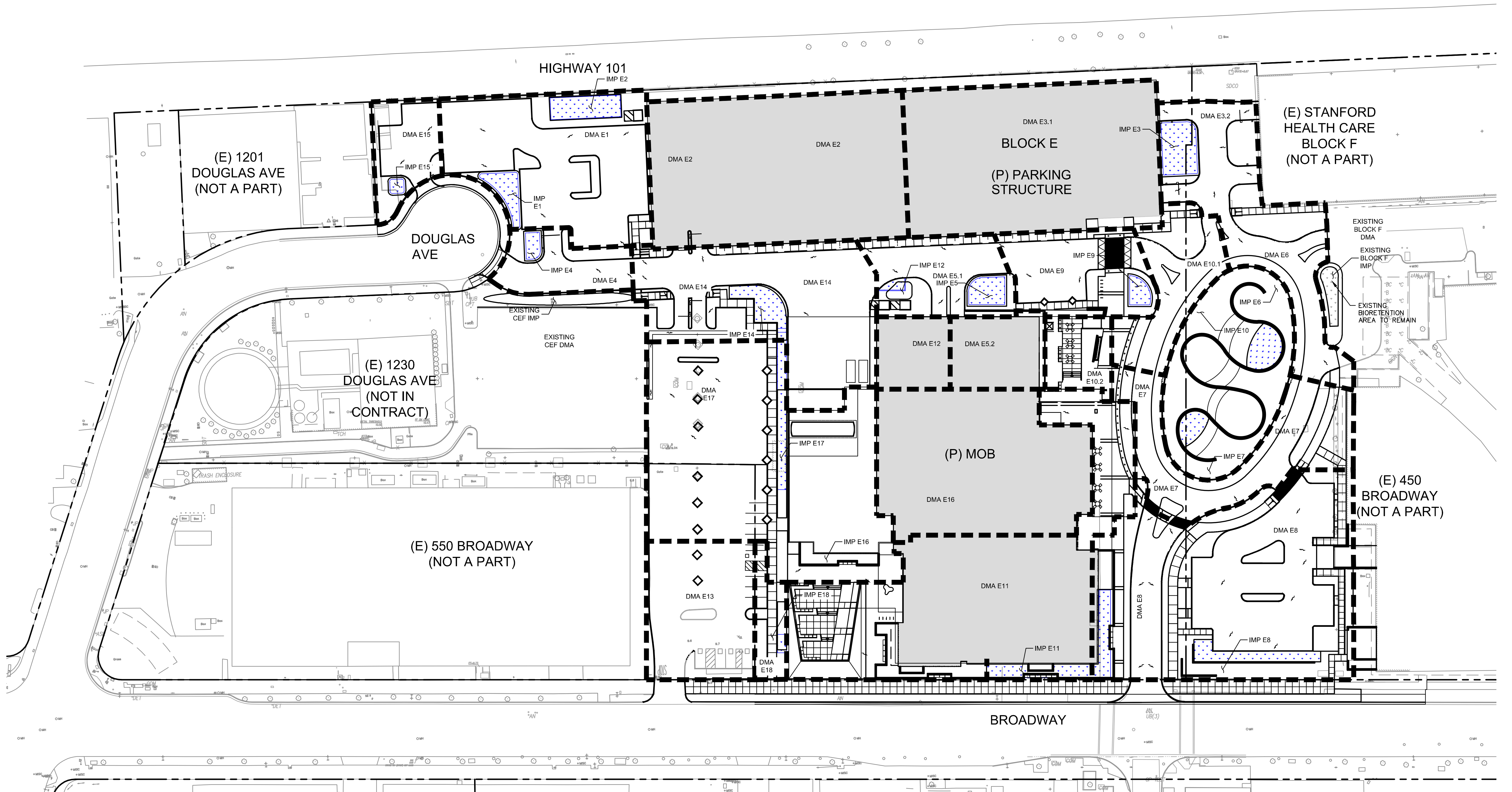
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1" = 40'

SHEET TITLE:  
**UTILITY PLAN**

SHEET NO:  
**C-400**



06/28/2019 10:48:02 AM



#### LEGEND

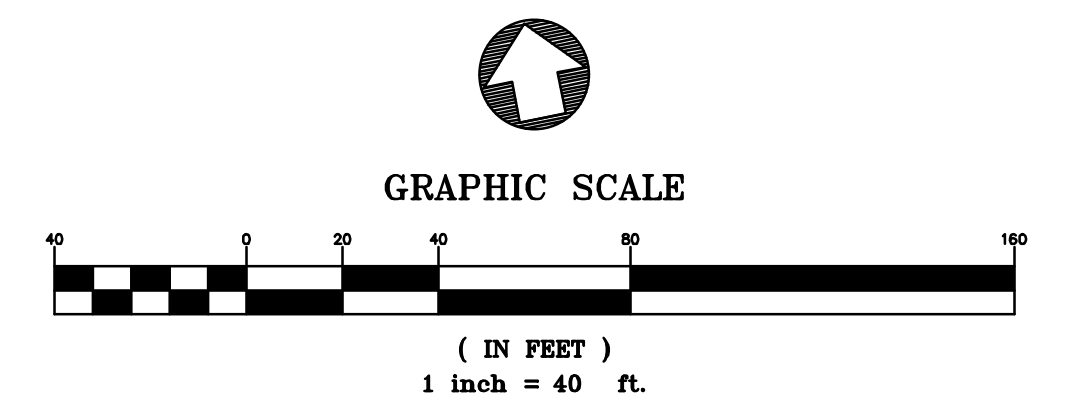
- PROPERTY LINE
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- BIORETENTION AREA (IMP)
- FLOW DIRECTION
- SELF-RETAINED AREA

Block E Integrated Management Practice (Bioretention Area) Sizing						Description
DMA/IMP #	Total Area (SF)	Impervious Area (SF)	Pervious Area (SF)	Bioretention Area Required (SF)	Bioretention Area Provided (SF)	
E1	19,340	16,290	3,050	664	700	Surface lot
E2	27,569	27,569	-	1,103	1,110	Parking structure
E3	34,587	31,857	2,730	1,285	1,292	Parking structure & Surface lot
E4	5,205	3,712	1,493	154	266	Access Road
E5	15,895	12,139	3,756	501	683	Access Road, MOB Roof, and Plaza
E6	7,287	6,062	1,225	247	263	Super oval
E7	11,712	10,837	875	437	439	Super oval
E8	34,486	25,530	8,956	1,057	1,121	Surface lot and Warrington
E9	8,672	6,871	1,801	282	365	Access Road
E10	11,019	9,819	1,200	398	464	Super Oval and Northeast Plaza
E11	37,917	27,917	10,000	1,157	1,732	MOB Roof and Plaza

DMA/IMP #	Total Area (SF)	Impervious Area (SF)	Pervious Area (SF)	Bioretention Area Required (SF)	Bioretention Area Provided (SF)	Description
E12	3,000	3,000	-	120	157	MOB Roof
E13	34,063	34,063	-	-	-	Existing area to remain untreated (not tributary to site).
E14	22,143	20,803	1,340	837	840	MOB Service Yard and Access Road
E15	4,807	3,039	1,768	129	141	Parking Lot
E16	16,000	16,000	-	640	650	MOB roof
E17	35,850	35,850	-	1,045	1,050	West side of MOB and tributary site area.
E18	2,648	1,920	728	80	320	West side of MOB.

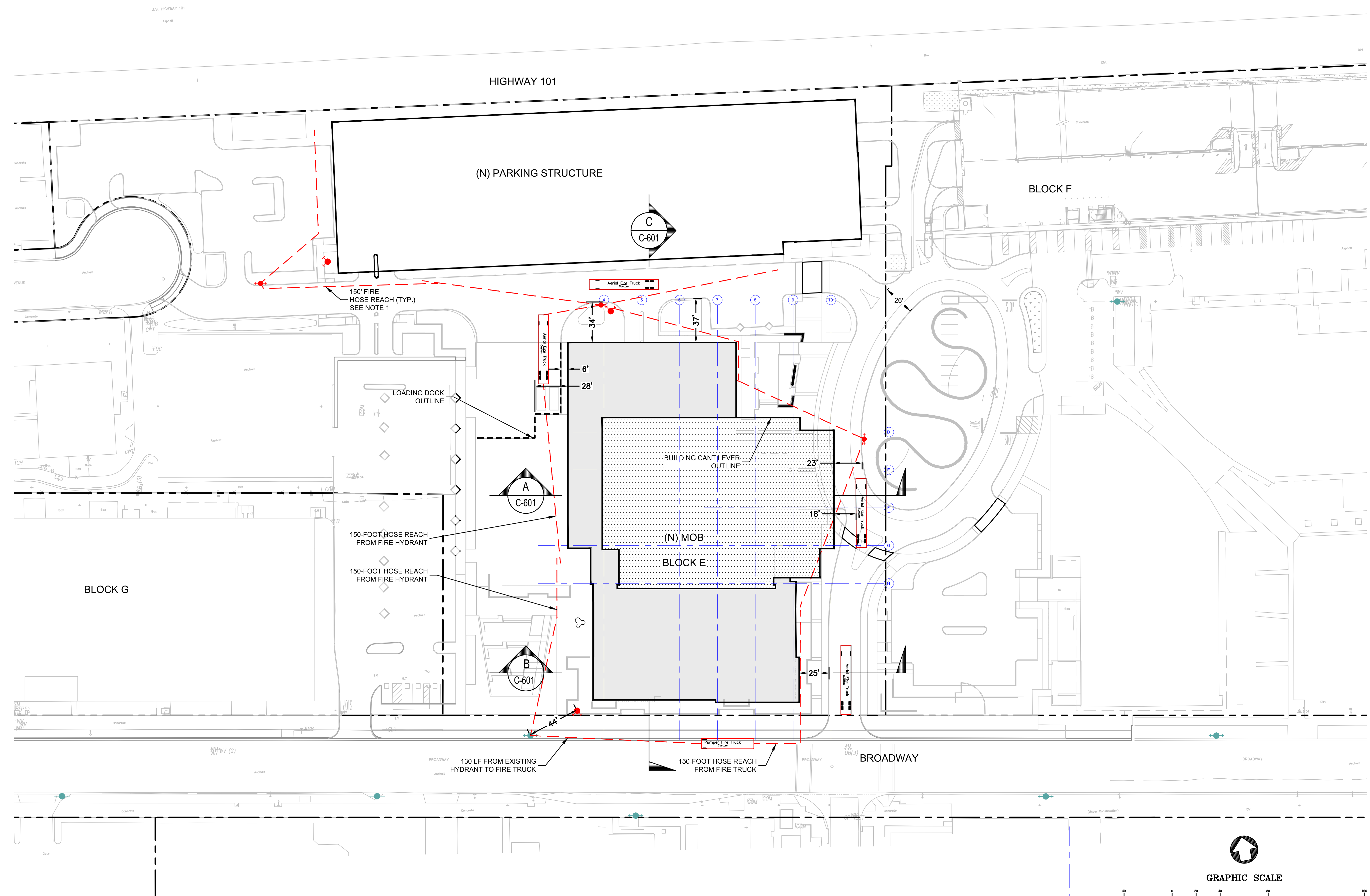
#### Notes:

1) Bioretention areas were sized using the "4 percent method" flow-based and combination flow-volume-based sizing criteria in the 2016 San Mateo County C.3 Stormwater Technical Guidance Handbook.





EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
FIRE DEPARTMENT CONNECTION  
150-FOOT HOSE LENGTH REACH  
BUILDING FOOTPRINT  
BUILDING HIGH-RISE OUTLINE  
BUILDING CANTILEVER OUTLINE  
BUILDING GRID LINE  
AERIAL FIRE TRUCK

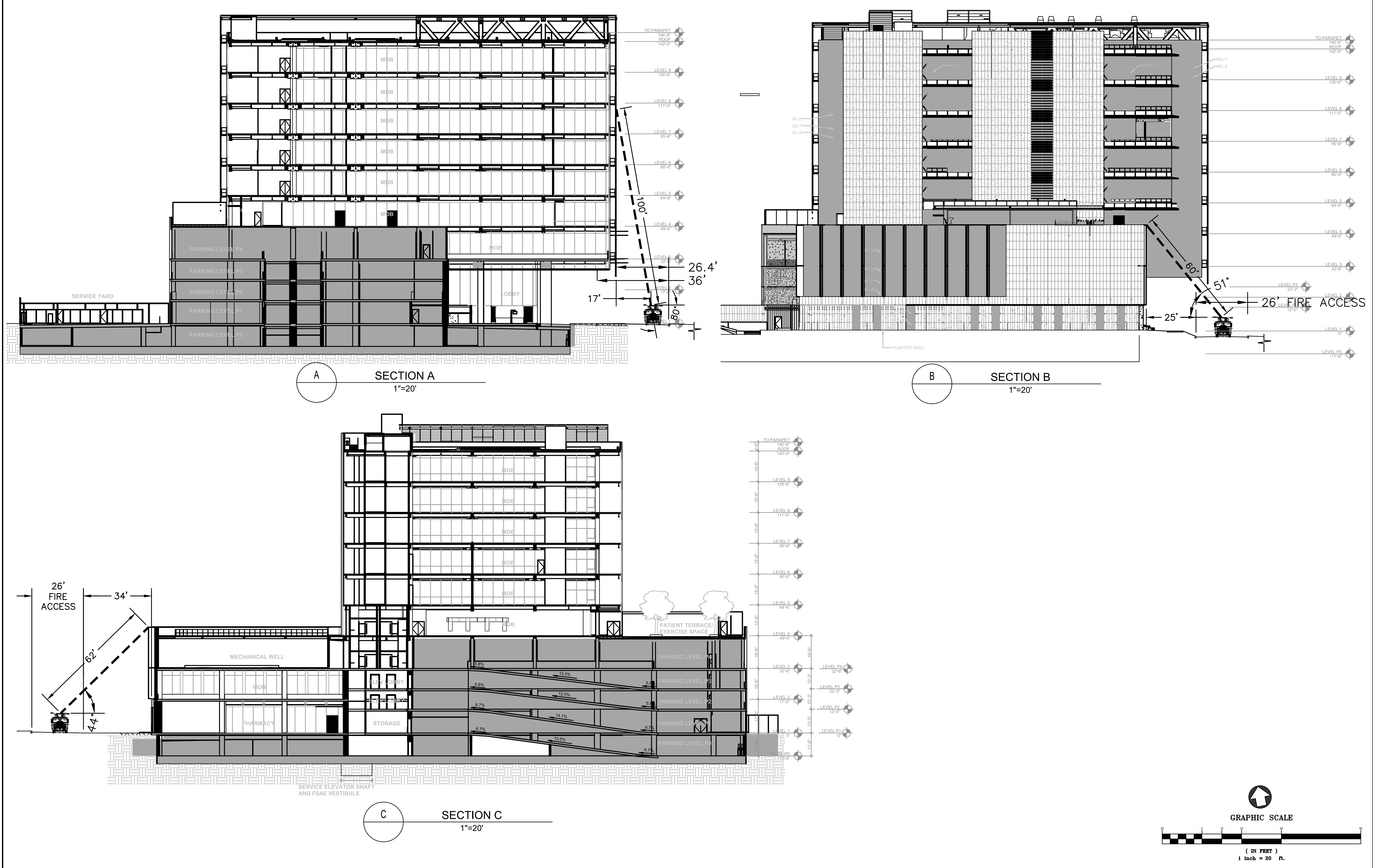


SHEET NO:

**C-600**



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PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

ISSUES	DATE
ENTITLEMENT APPLICATION	07/19/2019
RESUBMITTAL 01	09/18/2019

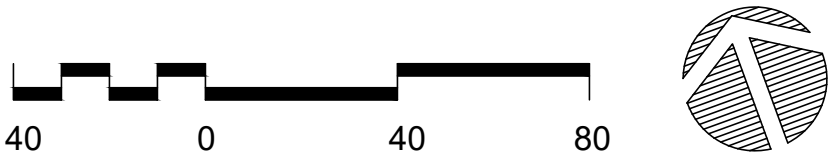
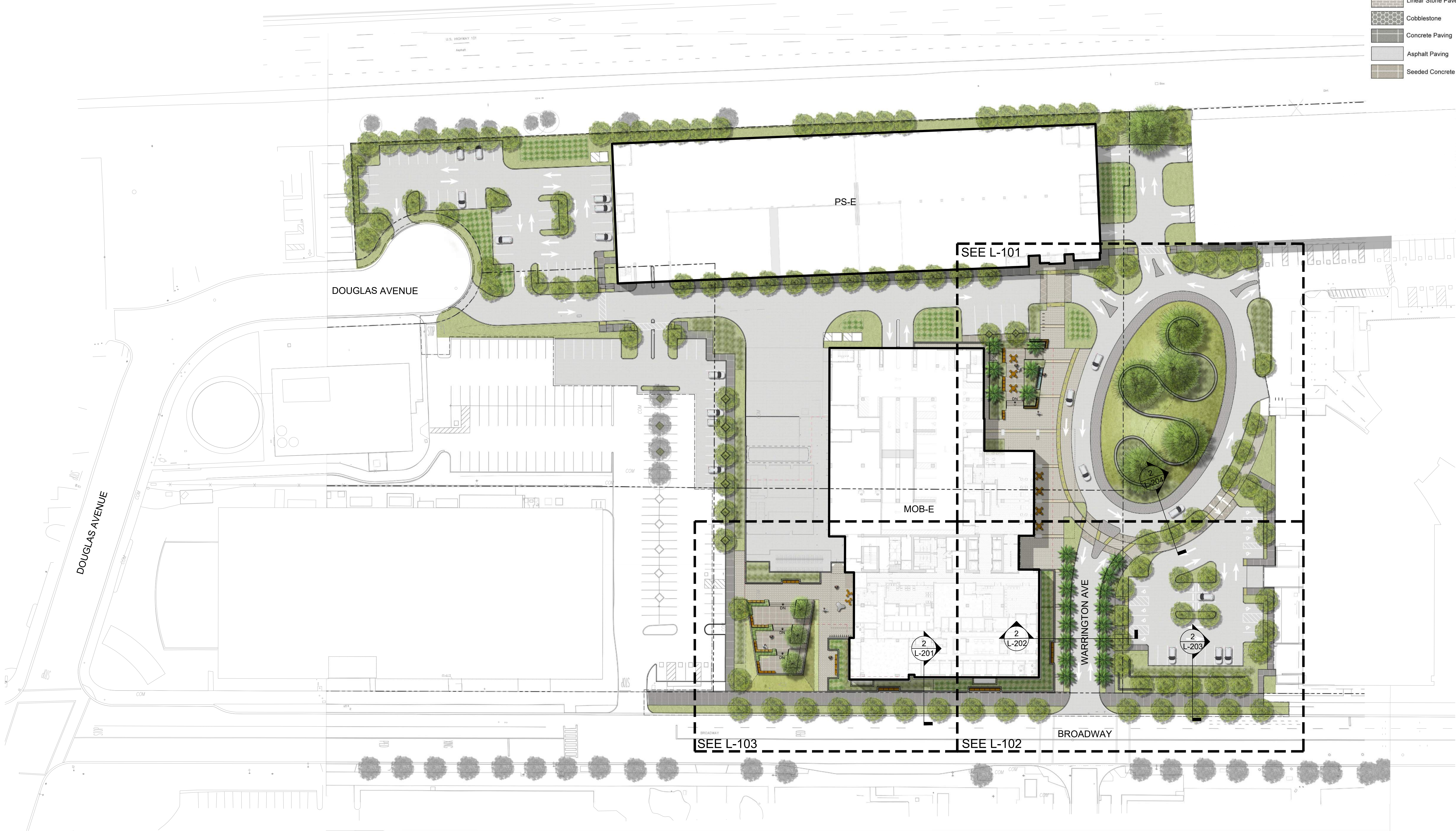
SCALE:  
AS SHOWN

SHEET TITLE:  
**FIRE ACCESS CROSS SECTIONS**

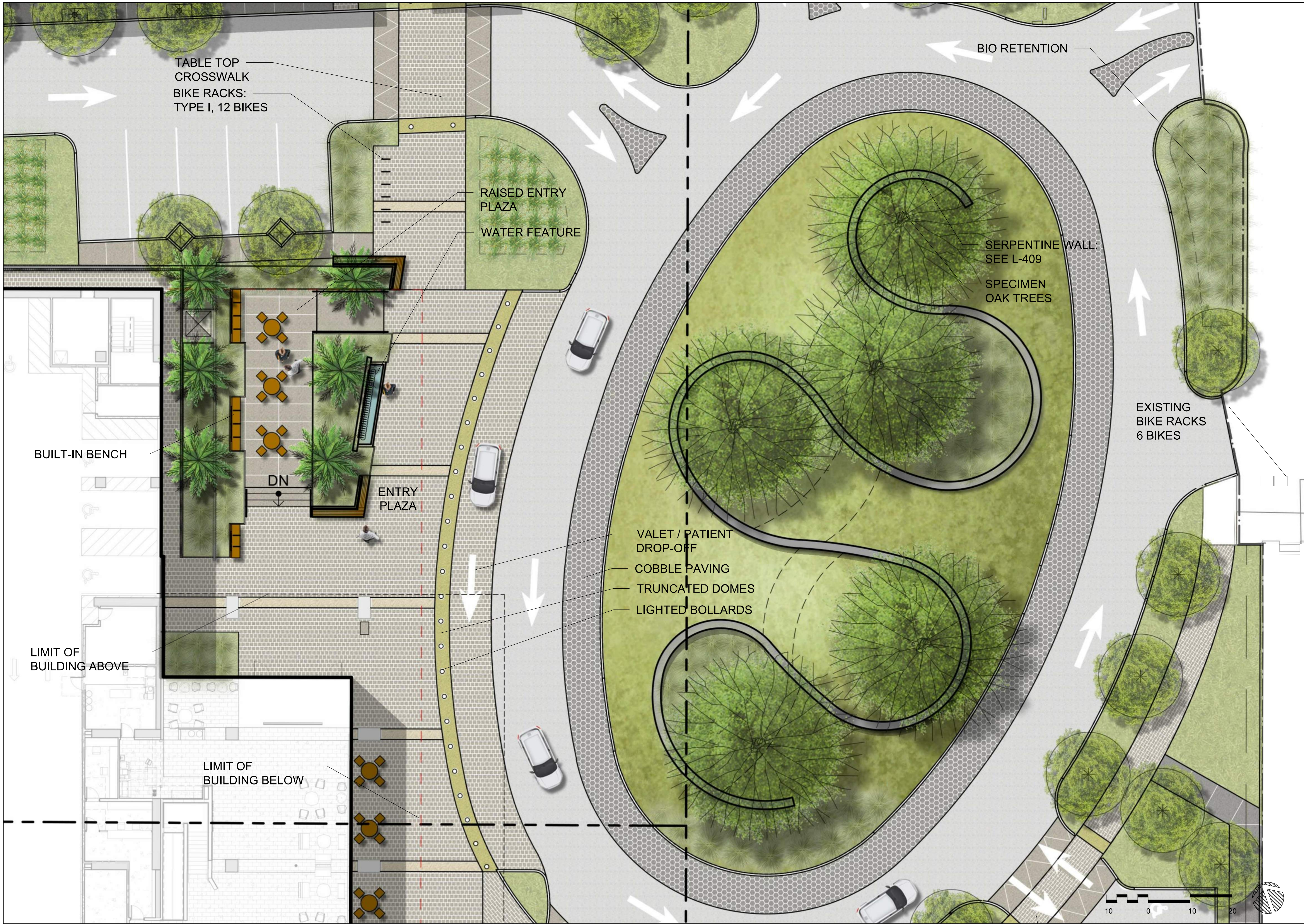
SHEET NO:  
**C-601**



PAVING LEGEND	
	Stone Pavers
	Linear Stone Pavers
	Cobblestone
	Concrete Paving
	Asphalt Paving
	Seeded Concrete

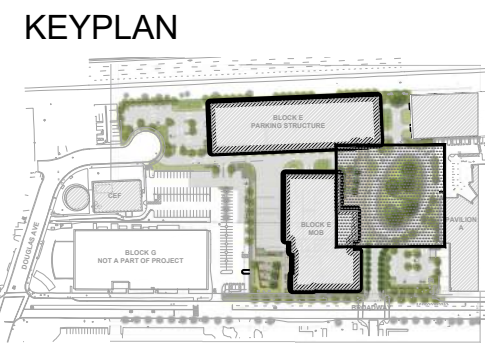






PAVING LEGEND

	Stone Pavers
	Linear Stone Pavers
	Cobblestone
	Concrete Paving
	Asphalt Paving
	Seeded Concrete



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**WRNSSTUDIO**

PROJECT TITLE:  
**STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING**

ISSUES	DATE
ENTITLEMENT APPLICATION RESUBMITTAL 01	07/19/2019 09/18/2019

SCALE:  
1" = 10'-0"

SHEET TITLE:  
**LANDSCAPE SITE PLAN ENLARGEMENT**

SHEET NO:  
**L-101**



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WRNSSTUDIO

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STANFORD HEALTH CARE BLOCK E  
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ISSUES  
ENTITLEMENT APPLICATION  
RESUBMITTAL 01

DATE  
07/19/2019  
09/18/2019

SCALE:  
1" = 10'-0"

SHEET TITLE:  
LANDSCAPE SITE PLAN ENLARGEMENT

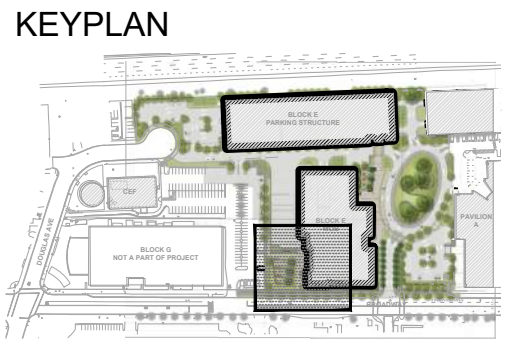
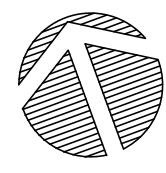
SHEET NO:  
L-102





PAVING LEGEND

	Stone Pavers
	Linear Stone Pavers
	Cobblestone
	Concrete Paving
	Asphalt Paving
	Seeded Concrete



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**WRNSSTUDIO**

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**STANFORD HEALTH CARE BLOCK E  
 MEDICAL OFFICE BUILDING**

ISSUES  
 ENTITLEMENT APPLICATION  
 RESUBMITTAL 01

DATE  
 07/19/2019  
 09/18/2019

SCALE:  
 1" = 10'-0"

SHEET TITLE:  
**LANDSCAPE SITE PLAN ENLARGEMENT**

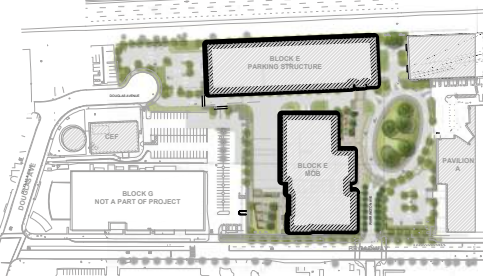
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**L-103**

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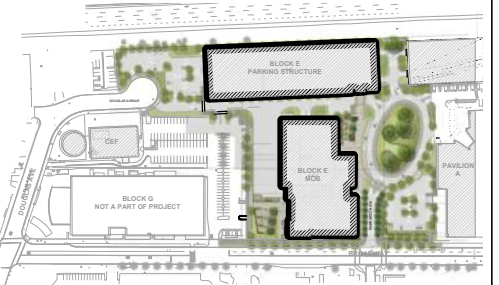
KEYPLAN



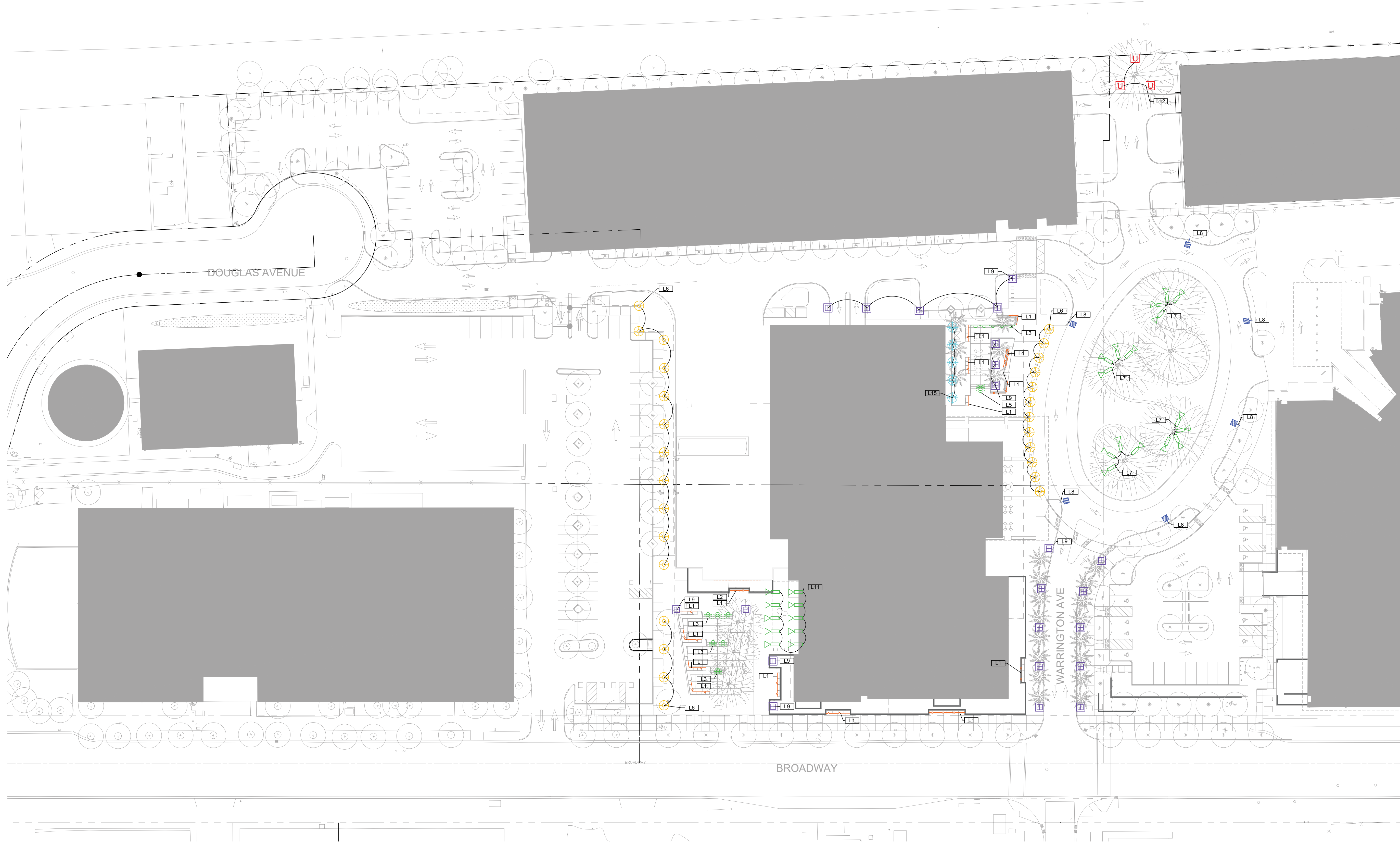




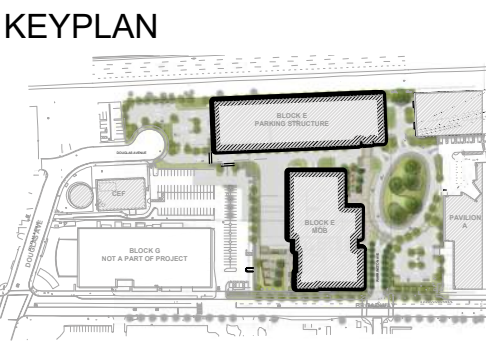
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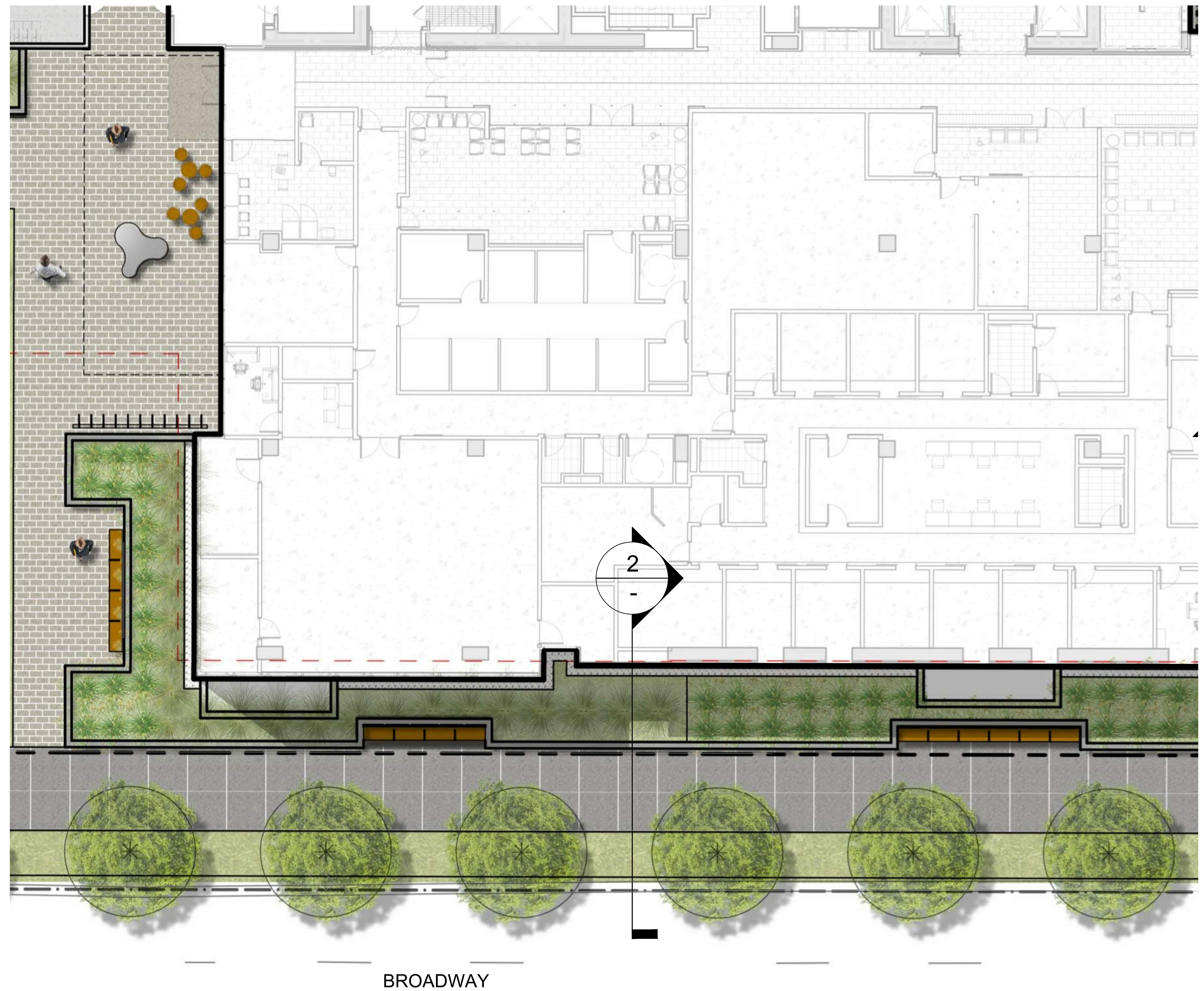
FIXTURE LEGEND	
SYM TYPE	FIXTURE
L1	Bench Light: QTran 'SW24/3.0'
L2	Uplight @ Planter Wall: Boca Flasher 'HPNLS-LO'
L3	Recessed Step Light in Planter Walls: Bega '33055'
L4	Linear Fixture @ Water Fixture: Boca Flasher 'HP Submersible'
L5	Recessed Step Light in Stair Step: Bega '33055'
L6	Illuminated Bollard: Bega '99570'
L7	Tree-Mounted Monopoints: BK 'Delta-Star'
L8	Roadway Luminaire @ Traffic Oval: Ligman 'Light Linear PT3'
L9	Pedestrian Luminaire: Bega '88309'
L10	360° Bollard: Bega '99570'
L11	Monopoint @ Trellises: BK 'Delta Star'
L12	Monopoint - Tree Uplight: BK 'Nite Star II'
L13	Submersible Linear Fixture: Boca Flasher 'HP Submersible'
L14	Recessed Step Light: Lucifer 'Double Impact'
L15	Bollard: Bega '99056'
L16	Linear Uplight in Planters: Boca Flasher 'HPNLS-LO'
L17	Facade Lights at Screen Glints: TBD
L18	Facade Light at Terra Cotta: Boca Flasher 'HPNLS-LO'







2 Section  
1/4" = 1'

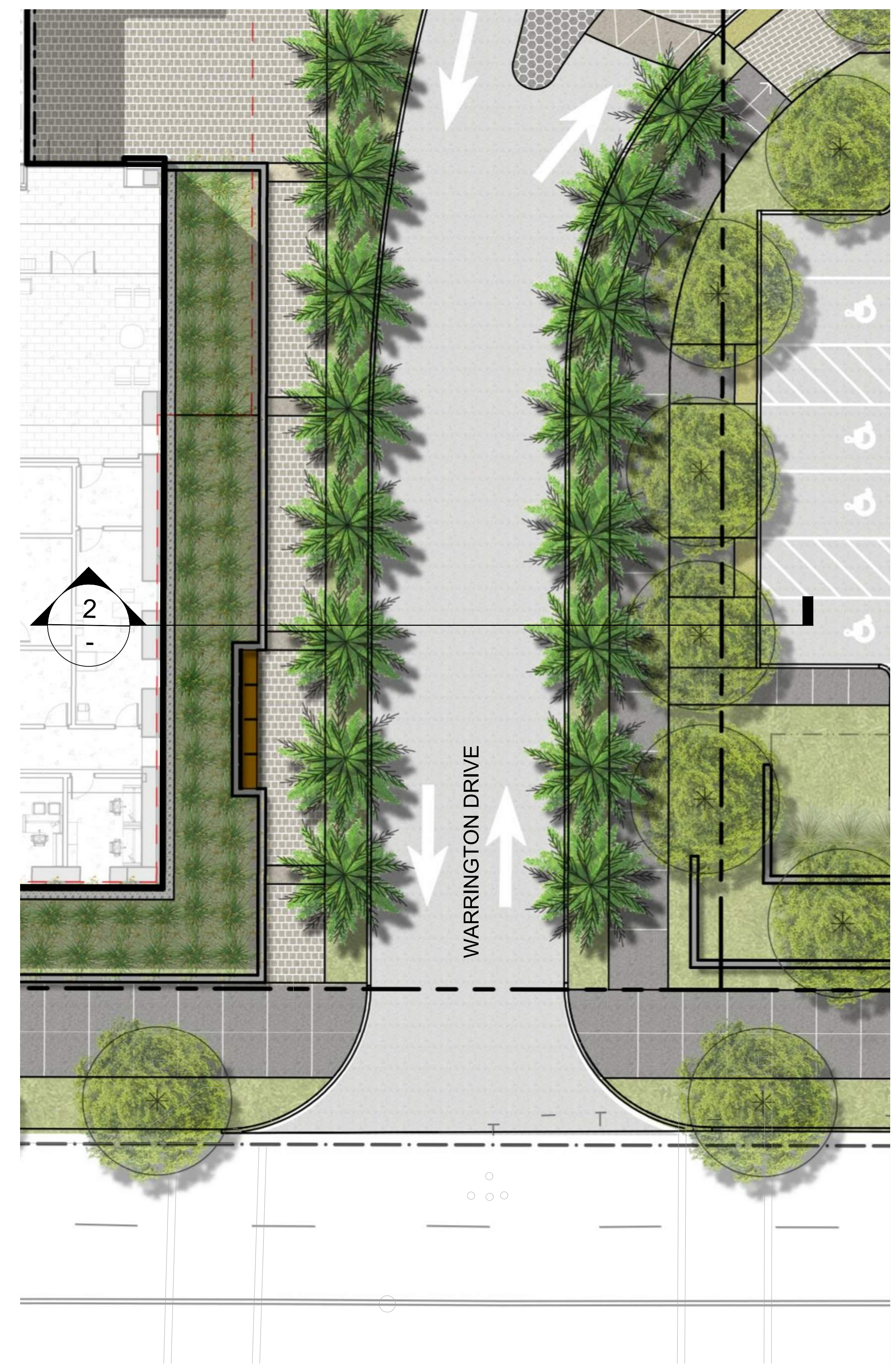


1 Broadway West Enlargement Plan  
1" = 10'





**2** Section  
1/4" = 1'

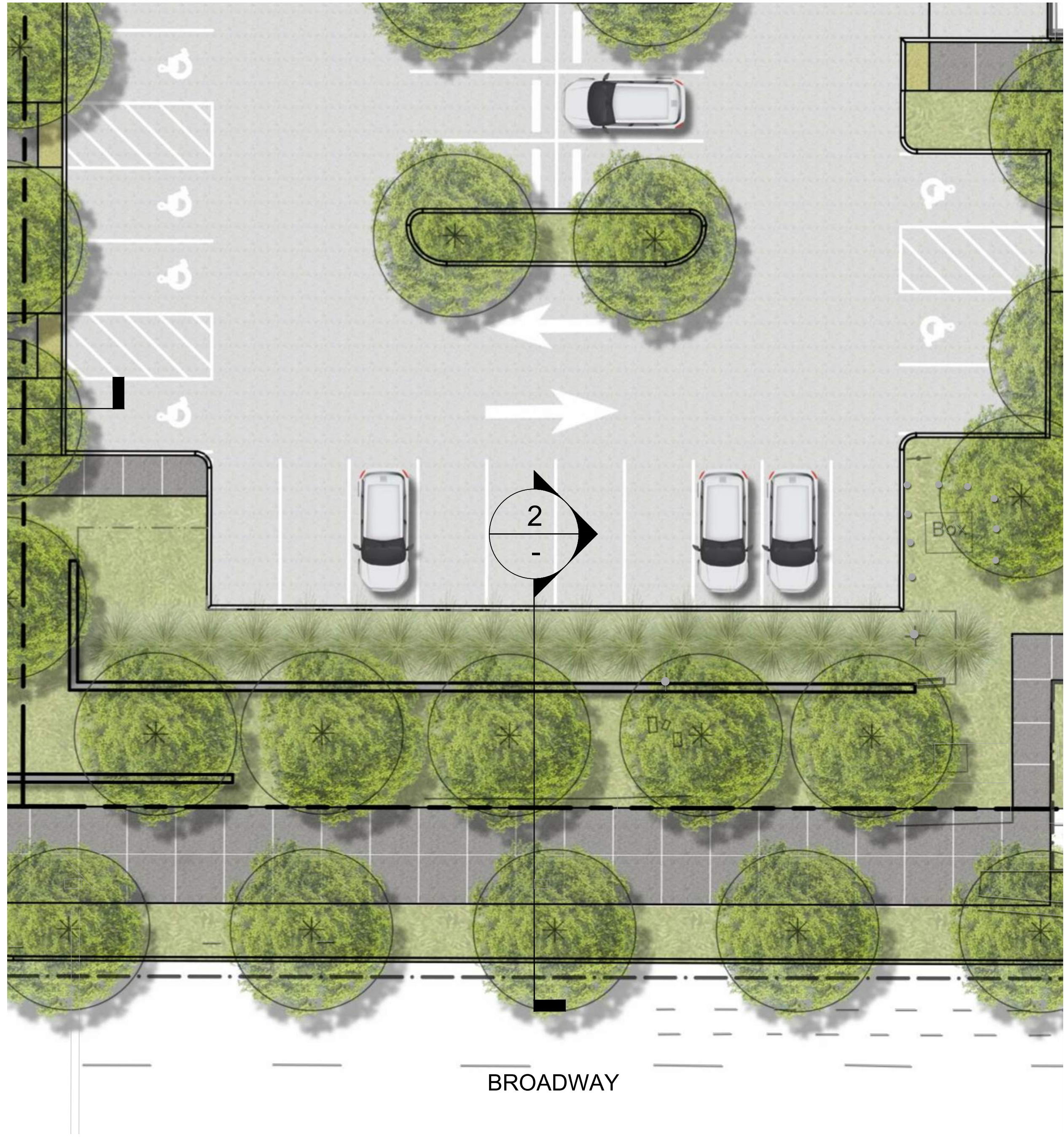


**1** Warrington Enlargement Plan  
1" = 10'





2 Section  
1/4" = 1'



1 Broadway East Enlargement Plan  
1" = 10'

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WRNSSTUDIO

PROJECT TITLE:  
STANFORD HEALTH CARE BLOCK E  
MEDICAL OFFICE BUILDING

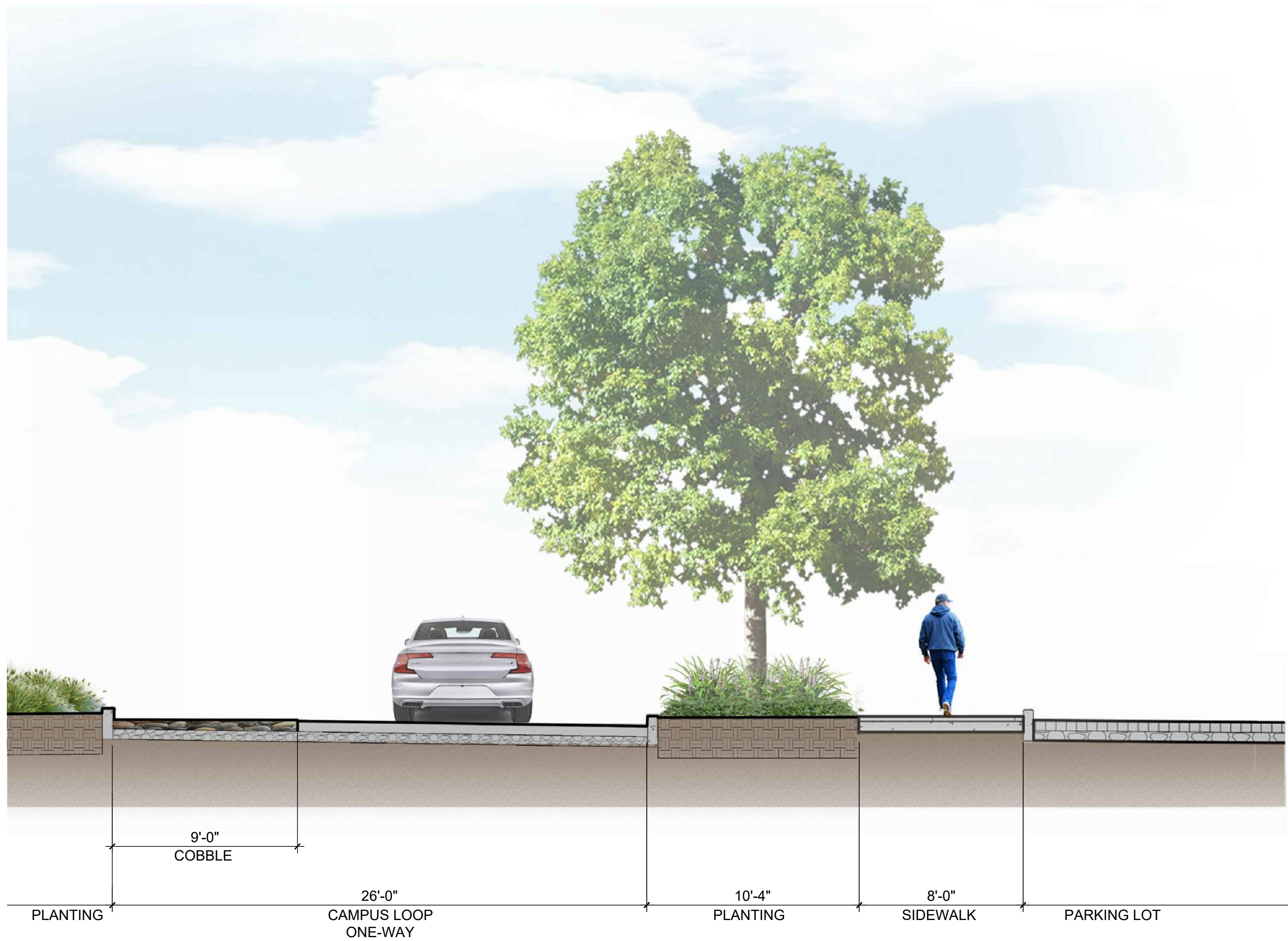
ISSUES	DATE
ENTITLEMENT APPLICATION	07/19/2019
RESUBMITTAL 01	09/18/2019

SCALE:  
AS SHOWN

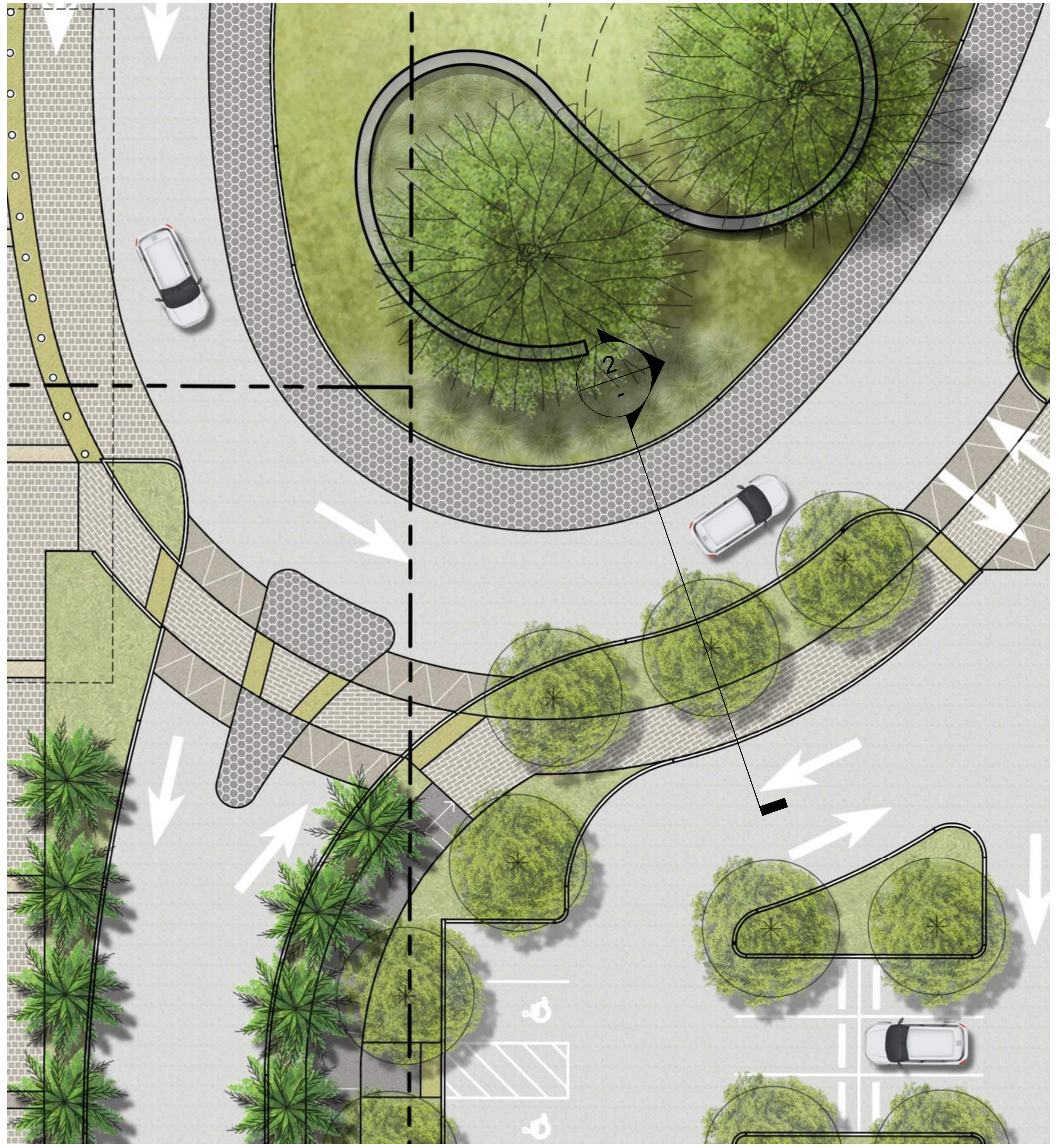
SHEET TITLE:  
SITE SECTION

SHEET NO:  
L-203





2 Section  
1/4" = 1'



1 Oval Driveway Enlargement Plan  
1" = 10'

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DATE  
07/19/2019  
09/18/2019

SCALE:  
AS SHOWN

SHEET TITLE:  
SITE SECTION

SHEET NO:  
L-204



Tree Summary

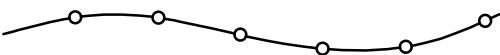


Number of Trees to Remain by Species*	Protected	Non-Protected	Total
California pepper	0	1	1
Canary Island Pine	0	1	1
Chinese elm	0	5	5
London plane	0	4	4
Silver dollar gum	0	2	2
TOTAL	0	13	13

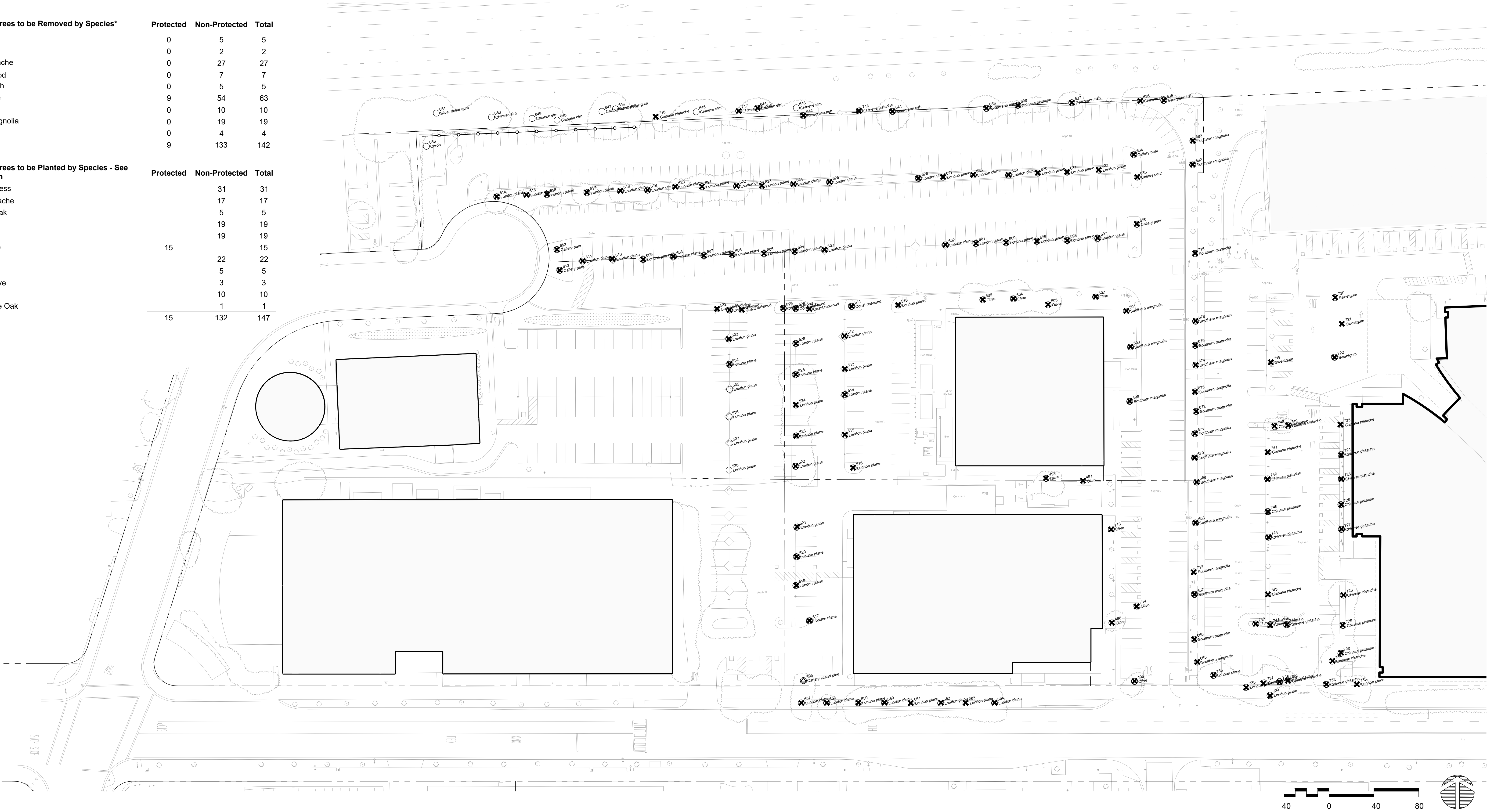
Number of Trees to be Relocated by Species*	Protected	Non-Protected	Total
Carob	0	1	1
TOTAL	0	1	1

Number of Trees to be Removed by Species*	Protected	Non-Protected	Total
Callery pear	0	5	5
Chinese elm	0	2	2
Chinese pistache	0	27	27
Coast redwood	0	7	7
Evergreen ash	0	5	5
London plane	9	54	63
Olive	0	10	10
Southern magnolia	0	19	19
Sweetgum	0	4	4
TOTAL	9	133	142

Number of Trees to be Planted by Species - See Planting Plan	Protected	Non-Protected	Total
Arizona Cypress		31	31
Chinese Pistache		17	17
Coast Live Oak		5	5
Crepe Myrtle		19	19
Frontier Elm		19	19
London plane	15	15	15
Palm		22	22
Paperbark		5	5
Swan Hill Olive		3	3
Sweet Bay		10	10
Southern Live Oak		1	1
TOTAL	15	132	147

Plan Legend

-  Tree Protection Fence: See Arborist Report.
-  Tree to be Removed
-  Tree to be Relocated









GENERAL NOTES

PRECISE PLAN REQUIREMENT:

Lots shall be planted with shading trees at a minimum ratio of 1 tree for every 3 parking stalls. "Orchard" and/or other non-typical tree layouts shall be employed as feasible to maximize screening from adjacent buildings and properties. Tree plantings shall be designed in such a way that trees may be removed and relocated when parking areas are redeveloped.

TREE PLANTING PROVIDED:

The quantity of proposed trees exceeds the ratio of 1 tree for every 3 parking stalls. Trees are spaced to provide as much shade and screening as possible given space constraints. Trees could be relocated at a later date when parking areas are redeveloped.

TREE LEGEND

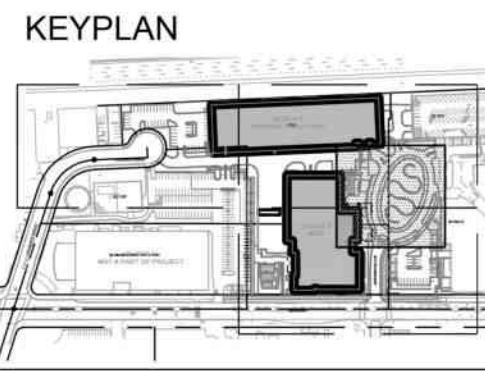
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
VL	Ca	Cupressus arizonica v. glabra 'Blue Ice'	Arizona Cypress	4" caliper	B&B
L	Li	Lagerstroemia indica 'Dynamite'	Crepe Myrtle	36" Box	Standard
L	Ln	Laurus nobilis 'Saratoga'	Sweet Bay	36" Box	Multi-trunked, 3 canes min.
L	Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	60" Box	Multi-tunk
L	Pc	Pistacia chinensis	Chinese Pistache	36" Box	Standard
L	Pa	Platanus acerfolia	London Plane	36" Box	Standard
L	Qa	Quercus agrifolia	Coast Live Oak	108" Box	Specimen
L	Qv	Quercus virginiana	Southern Live Oak	60" Box	Standard, Specimen
L	Up	Ulmus parvifolia	Lacebark Elm	36" Box	Standard, Specimen
L	Wf	Washingtonia filibusta	Palm	15' Clear Trunk	

PLANTING LEGEND

- Limit of Work Line
- Bioretention Planting
- Oval Planting
- Building Frontage Planting
- Parking Median Planting
- East Entry Plaza Planting
- West Entry Plaza Planting



SEE SHEET L-402





TREE LEGEND

*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
VL	Ca	Cupressus arizonica v. glabra 'Blue Ice'	Arizona Cypress	4" caliper	B&B
L	Li	Lagerstroemia indica 'Dynamite'	Crepe Myrtle	36" Box	Standard
L	Ln	Laurus nobilis 'Saratoga'	Sweet Bay	36" Box	Multi-trunked, 3 canes min.
L	Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	60" Box	Multi-tunk
L	Pc	Pistacia chinensis	Chinese Pistache	36" Box	Standard
L	Pa	Platanus acerfolia	London Plane	36" Box	Standard
L	Qa	Quercus agrifolia	Coast Live Oak	108" Box	Specimen
L	Qv	Quercus virginiana	Southern Live Oak	60" Box	Standard, Specimen
L	Up	Ulmus parvifolia	Lacebark Elm	36" Box	Standard, Specimen
L	Wf	Washingtonia filibusta	Palm	15' Clear Trunk	

PLANTING LEGEND

- Limit of Work Line
- Bioretention Planting
  - Oval Planting
  - Building Frontage Planting
  - Parking Median Planting
  - East Entry Plaza Planting
  - West Entry Plaza Planting





GENERAL NOTES

PRECISE PLAN REQUIREMENT:

Lots shall be planted with shading trees at a minimum ratio of 1 tree for every 3 parking stalls. "Orchard" and/or other non-typical tree layouts shall be employed as feasible to maximize screening from adjacent buildings and properties. Tree plantings shall be designed in such a way that trees may be removed and relocated when parking areas are redeveloped.

TREE PLANTING PROVIDED:

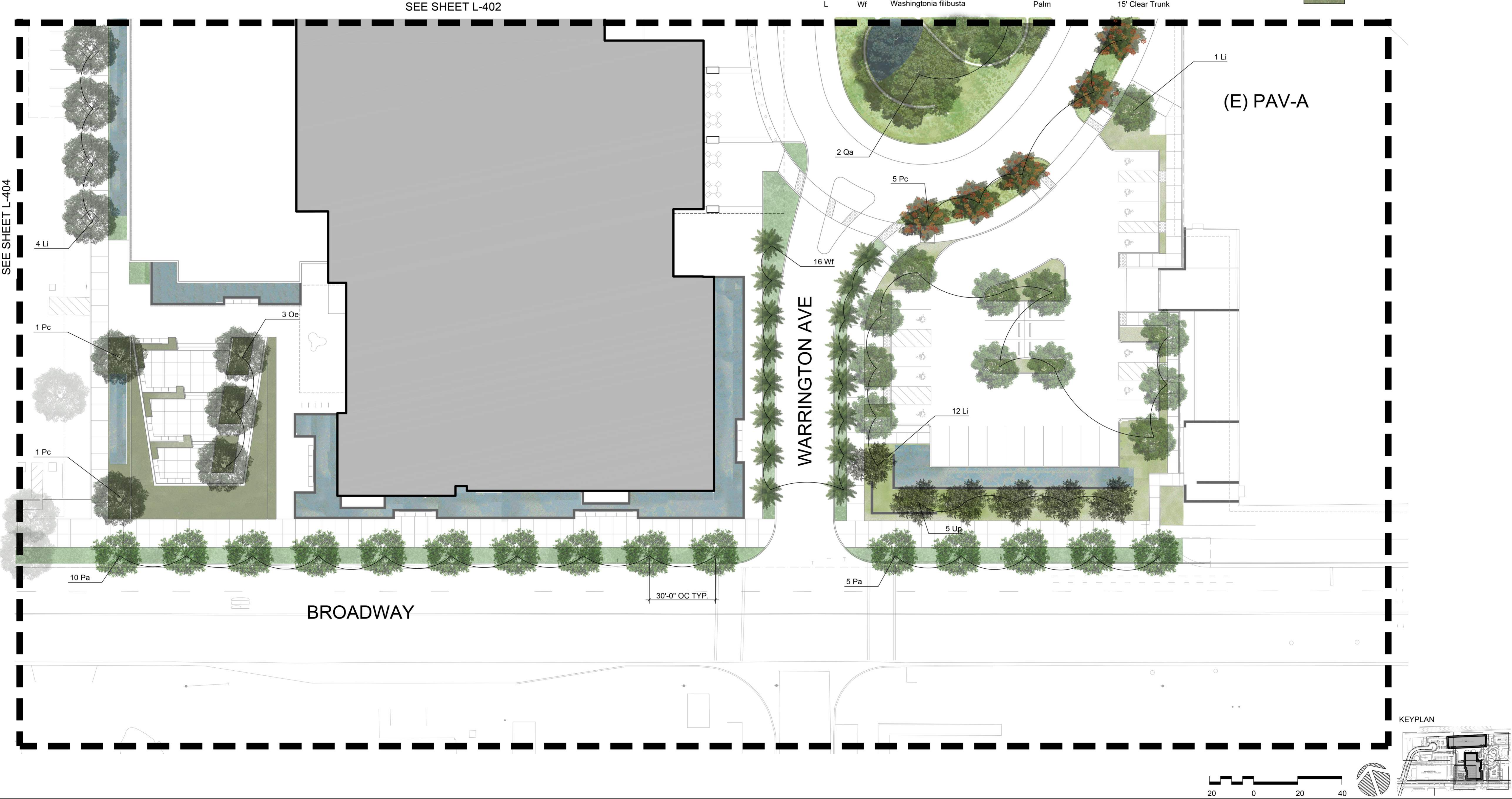
The quantity of proposed trees exceeds the ratio of 1 tree for every 3 parking stalls. Trees are spaced to provide as much shade and screening as possible given space constraints. Trees could be relocated at a later date when parking areas are redeveloped.

TREE LEGEND

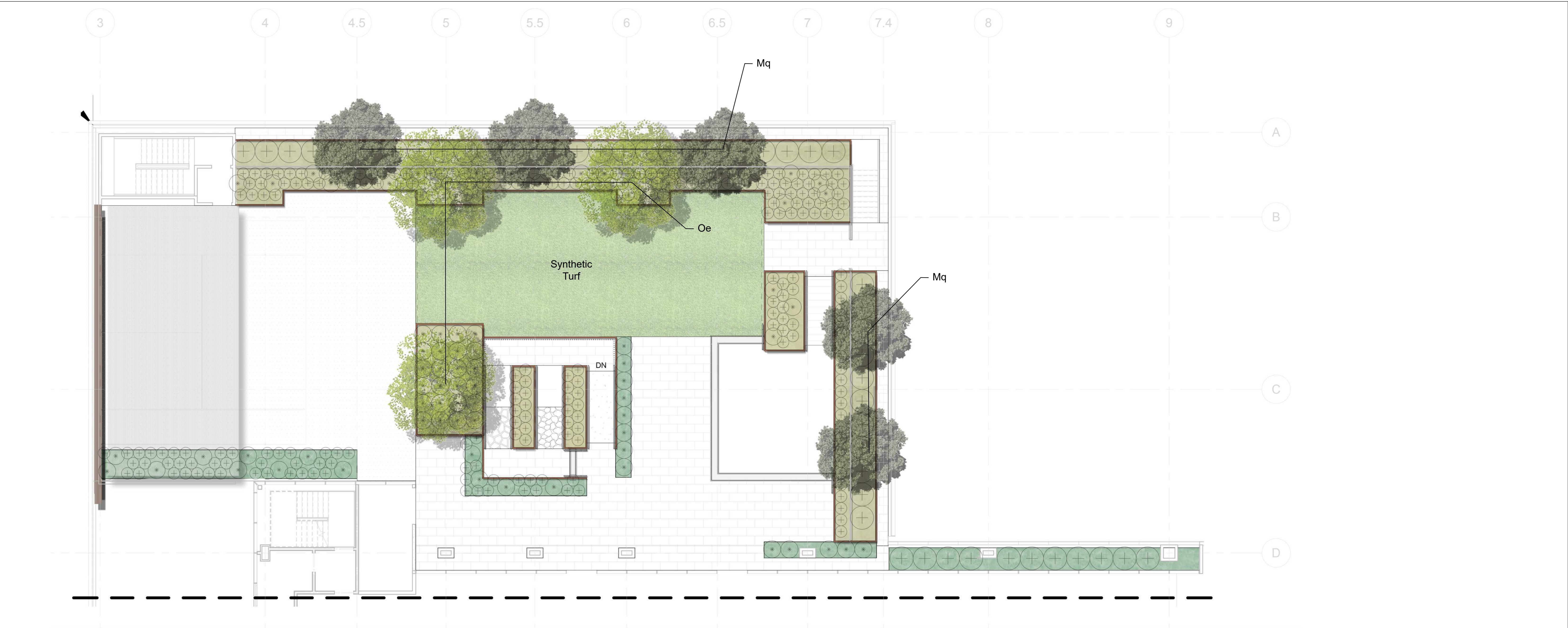
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
VL	Ca	Cupressus arizonica v. glabra 'Blue Ice'	Arizona Cypress	4" caliper	B&B
L	Li	Lagerstroemia indica 'Dynamite'	Crepe Myrtle	36" Box	Standard
L	Ln	Laurus nobilis 'Saratoga'	Sweet Bay	36" Box	Multi-trunked, 3 canes min.
L	Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	60" Box	Multi-tunk
L	Pc	Pistacia chinensis	Chinese Pistache	36" Box	Standard
L	Pa	Platanus acerfolia	London Plane	36" Box	Standard
L	Qa	Quercus agrifolia	Coast Live Oak	108" Box	Specimen
L	Qv	Quercus virginiana	Southern Live Oak	60" Box	Standard, Specimen
L	Up	Ulmus parvifolia	Lacebark Elm	36" Box	Standard, Specimen
L	Wf	Washingtonia filibusta	Palm	15' Clear Trunk	

PLANTING LEGEND

- Limit of Work Line
- Bioretention Planting
  - Oval Planting
  - Building Frontage Planting
  - Parking Median Planting
  - East Entry Plaza Planting
  - West Entry Plaza Planting

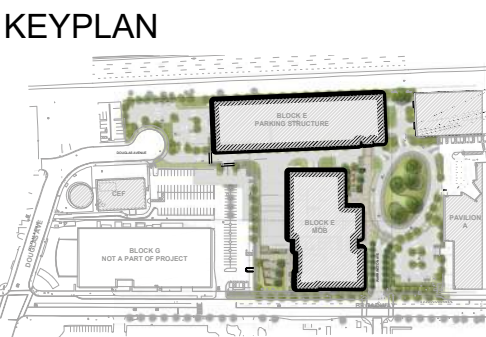




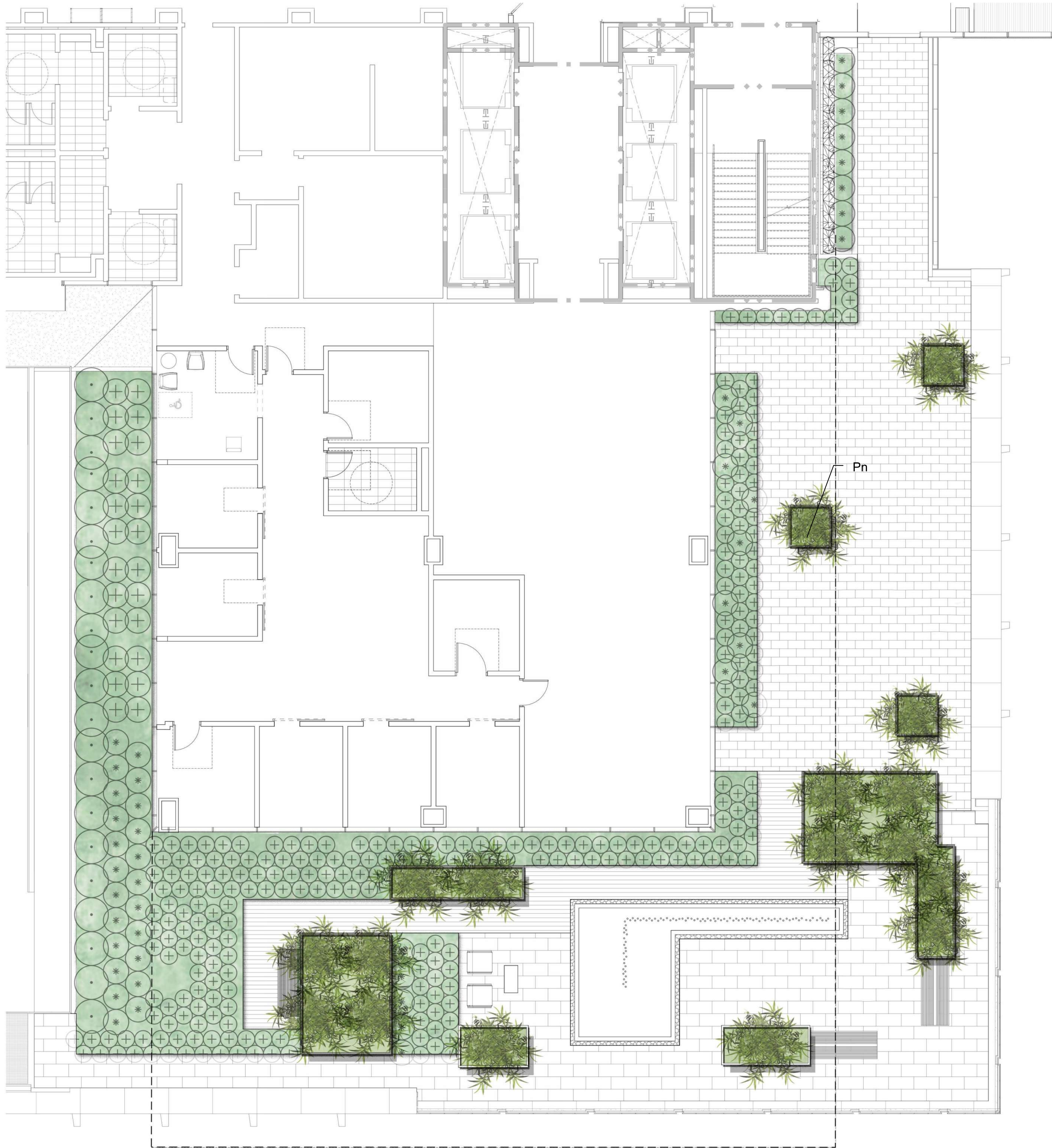


PLANT LEGEND

*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
Trees					
L	Mq	Melaleuca quinquenervia	Paperbark Tree	36" Box	Standard
L	Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	60" Box	Multi-trunked
Shrubs					
L		Agave 'Sharkskin'			
L		Arctostaphylos densiflora 'Howard McMinn'	Arctostaphylos	5 Gal.	
L		Lavandula 'Goodwin Creek Grey'	Lavender	5 Gal.	
L		Olea europaea 'Montra'	Little Ollie Dwarf Olive	5 Gal.	
L		Rosmarinus officinalis 'Irene'	Irene Rosemary	5 Gal.	
L		Westringia fruticosa 'Grey Box'	Westringia	5 Gal.	
L		Westringia fruticosa 'Mundi'	Westringia	5 Gal.	
Grasses					
L		Lomandra 'Breeze'	Dwarf Mat Rush	5 Gal.	
L		Lomandra 'Seascape'	Mat Rush	5 Gal.	
L		Lomandra hystrix 'Tropicbelle'	Mat Rush	5 Gal.	



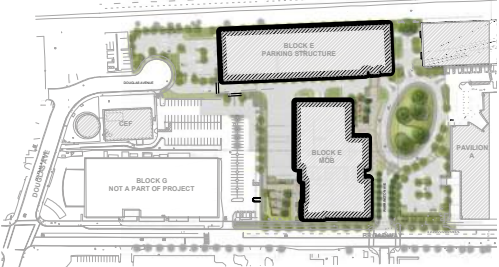




PLANT LEGEND

*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
Trees					
L	Pn	Phyllostachys nigra	Black Bamboo	36" Box	Standard
Shrubs					
L		Acacia 'Cousin Itt'	Cousin Itt Little River Wattle	5 Gal.	
L		Dianella caerulea 'Cassa Blue'	Cassa Blue Flax Lily	5 Gal.	
L		Hakonechloa macra 'Aureola'	Japanese Forest Grass	5 Gal.	
L		Westringia fruticosa 'Grey Box'	Westringia	5 Gal.	
L		Westringia fruticosa 'Mundi'	Westringia	5 Gal.	
Grasses					
L		Lomandra 'Breeze'	Dwarf Mat Rush	5 Gal.	
L		Lomandra 'Seascape'	Mat Rush	5 Gal.	
L		Lomandra hystrix 'Tropicbelle'	Mat Rush	5 Gal.	

KEYPLAN





BIORETENTION PLANTING



Juncus patens  
California Grey Rush

OVAL PLANTING



Festuca californica 'Serpentine Blue'  
California Fescue



Juncus patens  
California Grey Rush

BUILDING FRONTAGE PLANTING



Chondropetalum elephantinum  
Large Cape Rush



Westringia fruticosa 'Grey Box'  
Westringia



Verbena bonariensis 'Lillipop'  
Verbena



Pennisetum 'Eaton Canyon'  
Dwarf Fountain Grass



Anigozanthos 'Big Red'  
Red Kangaroo Paw

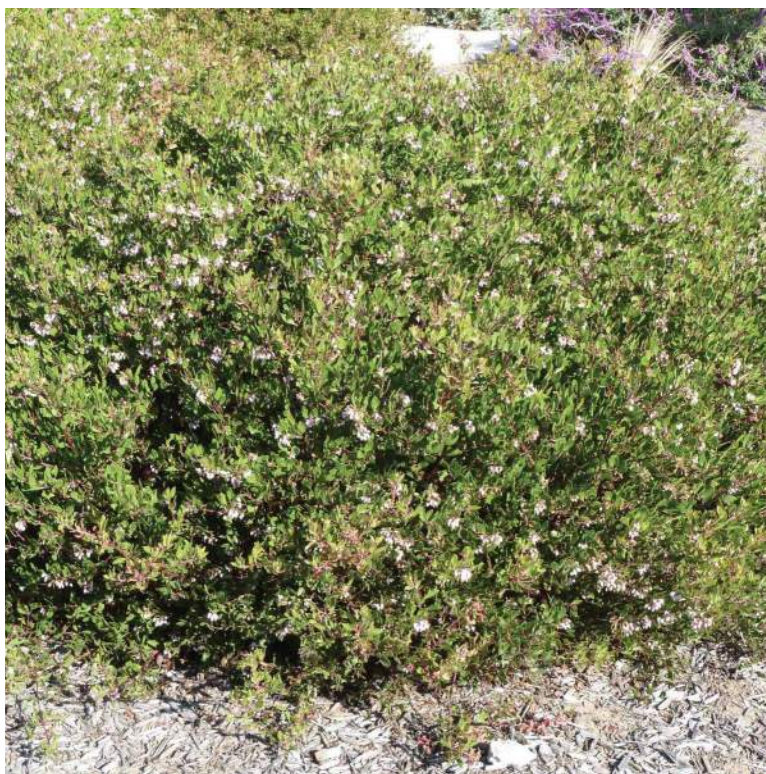


Achillea "Sonoma Coast"  
Yarrow



Liriope muscari 'Big Blue'  
Liriope

PARKING MEDIAN PLANTING



Arctostaphylos 'Howard McMinn'  
Arctostaphylos



Senecio mandraliscae  
Blue Chalk Sticks



Lomandra 'Tropic Belle'  
Mat Rush



Lomandra 'Seascape'  
Mat Rush



Thymus vulgaris  
Thyme



Lavandula 'Goodwin Creek Grey'  
Lavender



EAST ENTRY PLAZA PLANTING



Aspidistra eliator  
Cast Iron Plant



Arthropodium cirratum  
Renga Lily



Carex 'Snow Cap'  
Carex



Heliotropum arborescens 'Alba'  
Heliotrope



Loropetalum 'Emerald Snow'  
Fringe Flower



Phormium 'Maori Maiden'  
New Zealand Flax



Chondropetalum tectorum  
Small Cape Rush



Liriope muscari 'Big Blue'  
Liriope



Carex divulsa  
Carex



Muhlenbergia rigens  
Deer Grass

WEST ENTRY PLAZA PLANTING



Festuca Rubra  
Red Fescue



Leucadendron 'Safari Sunset'  
Leucadendron



Pennisetum 'Bunny Tails'  
Dwarf Fountain Grass



Aspidistra eliator  
Cast Iron Plant



Lomandra 'Seascape'  
Mat Rush



Lomandra 'Tropic Belle'  
Mat Rush



Pennisetum 'Eaton Canyon'  
Dwarf Fountain Grass



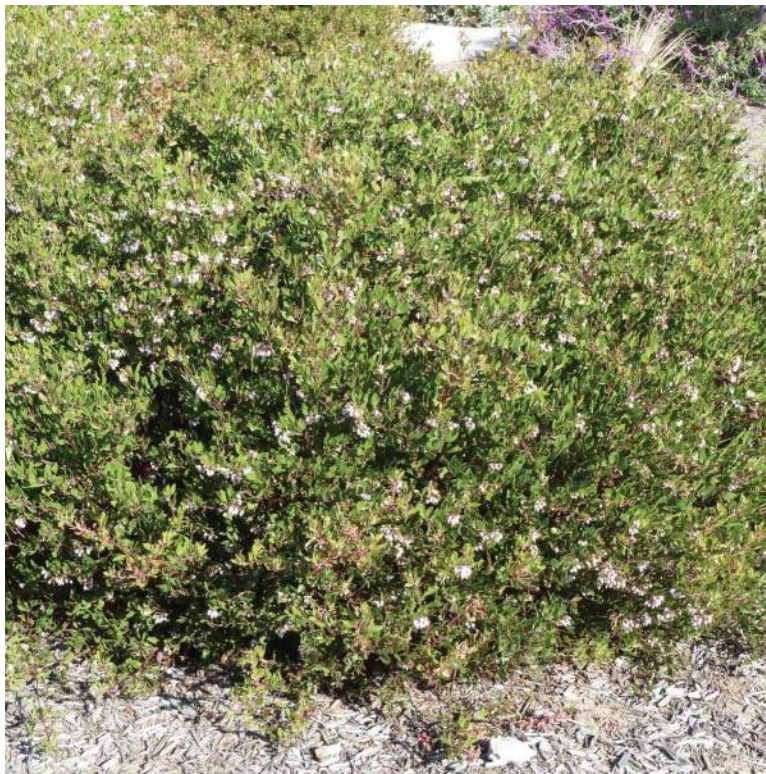
Salvia 'Phyllis Fancy'  
Salvia



Anigozanthos 'Big Red'  
Red Kangaroo Paw



LEVEL 4 - NORTH



Arctostaphylos 'Howard McMinn'  
Arctostaphylos



Westringia fruticosa 'Grey Box'  
Westringia



Olea 'Little Ollie'  
Dwarf Olive



Lomandra 'Breeze'  
Mat Rush



Lomandra 'Tropic Belle'  
Mat Rush



Lomandra 'Seascape'  
Mat Rush

LEVEL 4 - SOUTH



Acacia 'Cousin Itt'  
Little River Wattle



Chondropetalum tectorum  
Cape Rush



Dianella caerulea 'Cassa Blue'  
Flax Lily



Hakonechloa macra 'Aureola'  
Hakone Grass



Lomandra 'Breeze'  
Mat Rush



Lomandra 'Tropic Belle'  
Mat Rush



Lomandra 'Seascape'  
Mat Rush

LIVING WALL





TREES



Lagerstroemia indica 'Dynamite'  
Crepe Myrtle



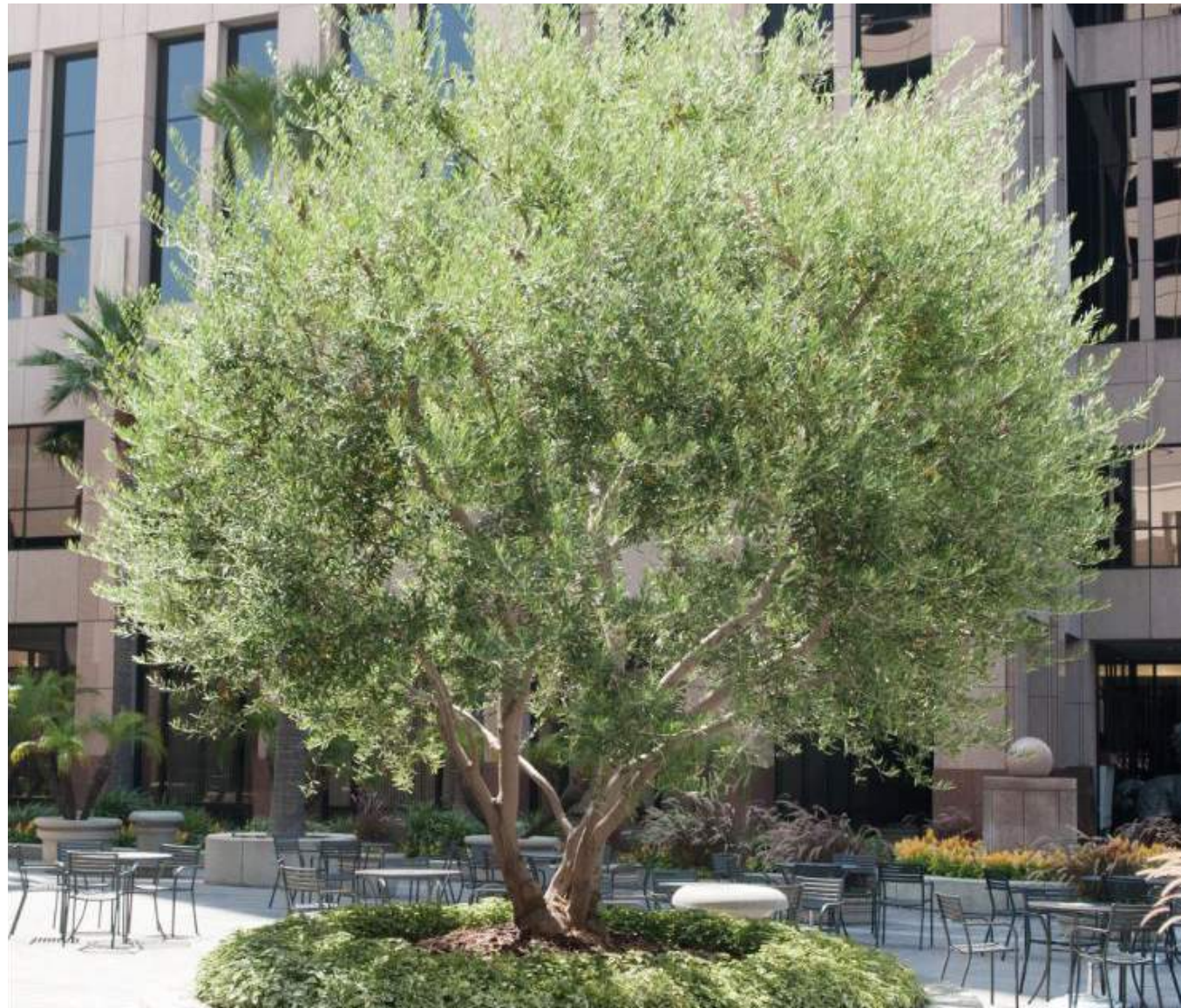
Laurus nobilis 'Saratoga'  
Sweet Bay



Cupressus arizonica 'Blue Ice'  
Blue Ice Arizona Cypress



Melaleuca quinquenervia  
Paperbark Tree



Olea europaea 'Swan Hill'  
Swan Hill Olive



Pistacia chinensis  
Chinese Pistache



Platanus acerifolia  
London Plane



Quercus agrifolia  
Coast Live Oak



Quercus tomentella  
Island Oak



Quercus virginiana  
Southern Live Oak



Ulmus 'Frontier'  
Frontier Elm



Washingtonia filibusta  
Palm



Paving



Stone Pavers



Linear Stone Pavers



Cobblestone



Concrete Paving



Seeded Concrete

Wall & Stairs

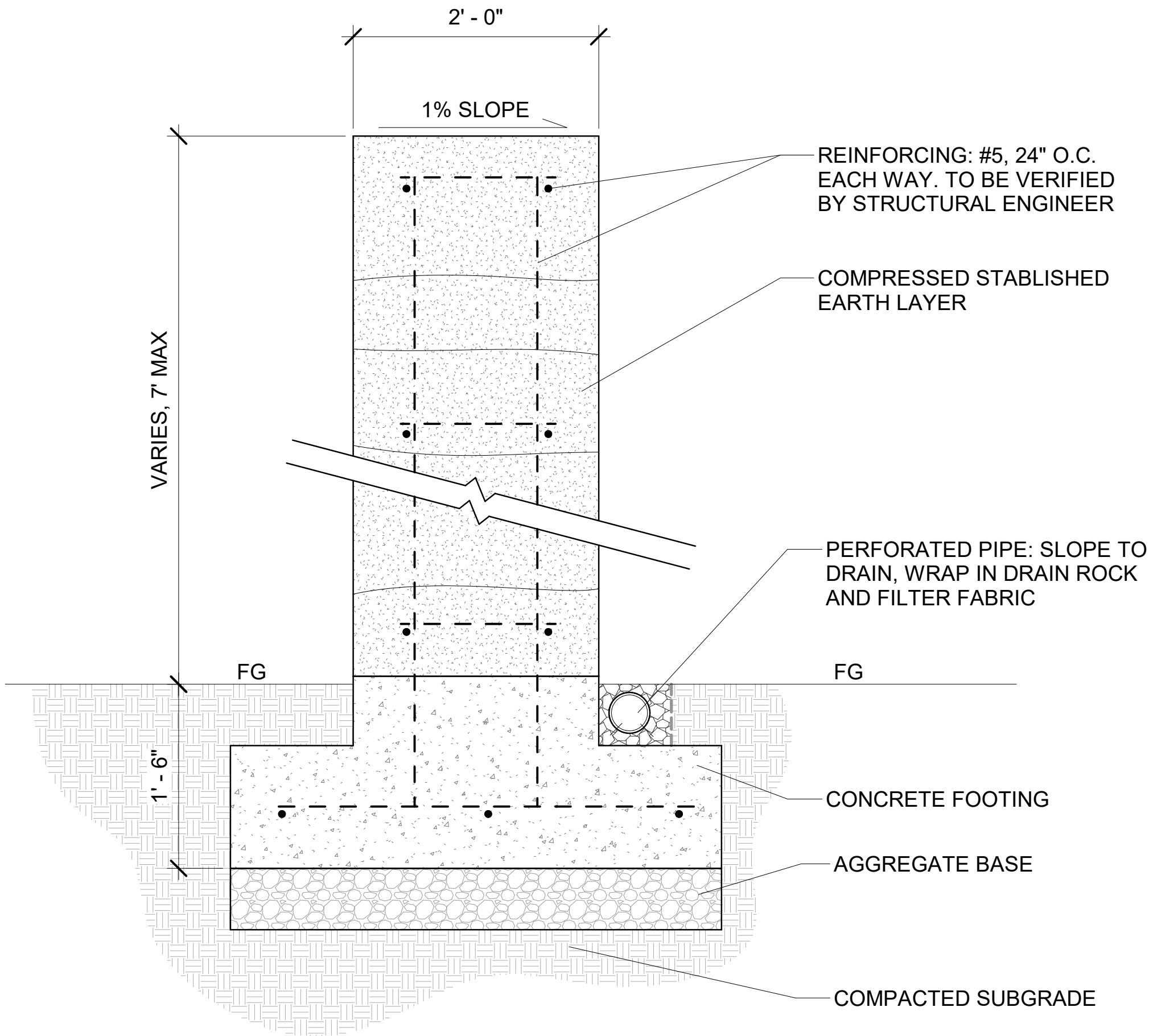


Furnishing





Serpentine Wall

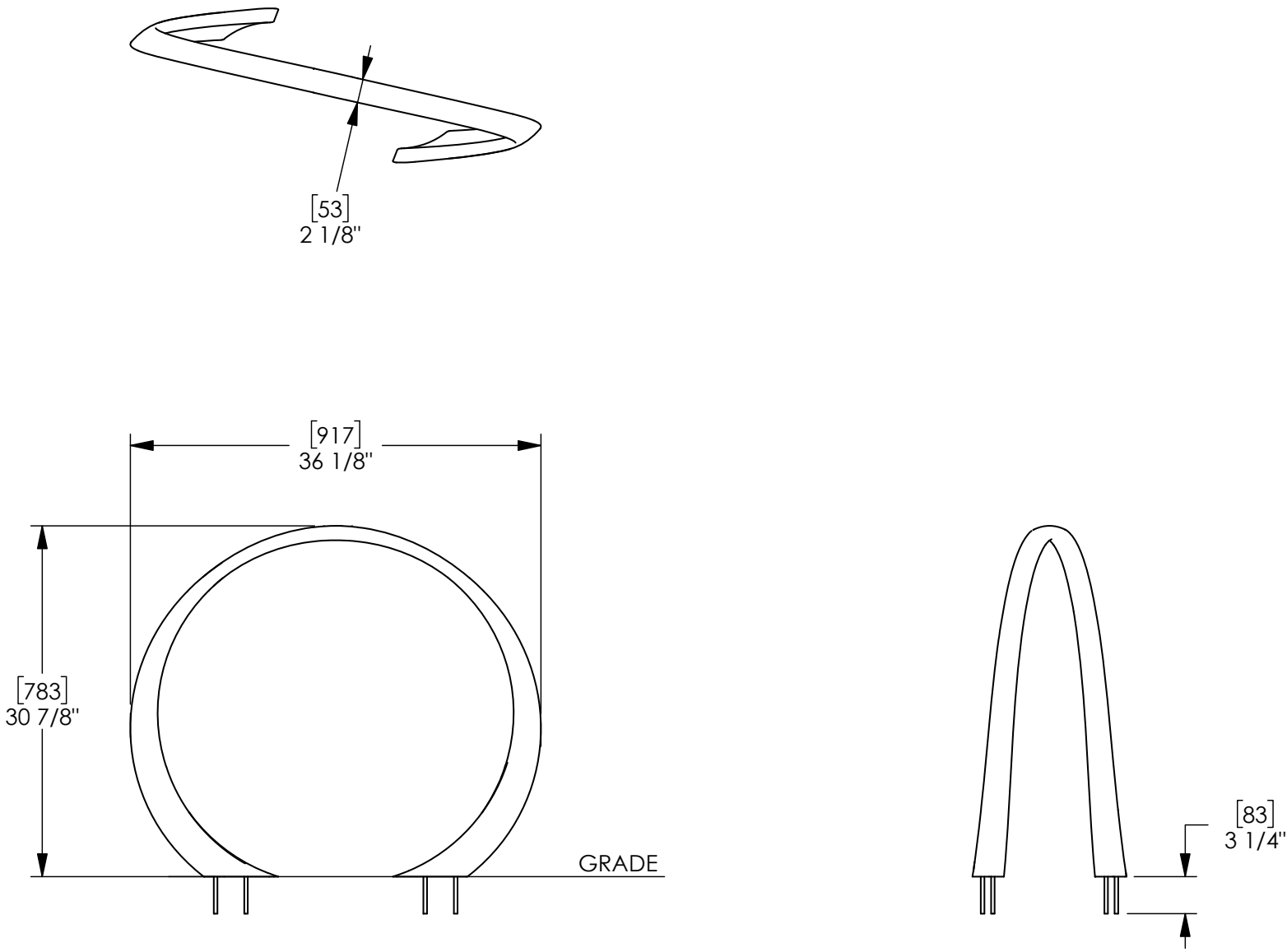


Bike Rack

Loop Bike Rack  
Product Drawing

Date: 2/2/2018  
www.landscapiforms.com Ph: 800.521.2546

(4) 5/16-18 UNC-2A FULLY THREADED RODS, 4" LENGTH, INCLUDED



landscapiforms

Drawing: AE100-02  
Dimensions are in inches (mm)  
U.S. Patent No. D754,032

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MODEL BR 3011 SERIES, BICYCLE RACK

Products • Bike Racks • 3+ Capacity Bike Racks



Model BR 3011 Series, Bicycle Rack

<p>MODELS</p> <ul style="list-style-type: none"><li>• BR3011-P: Perpendicular Orientation</li><li>• BR3011-D: Diagonal Orientation</li><li>• BR3011-XP: Double-sided Orientation</li></ul>	<p>MATERIALS AND FINISHES</p> <p>Click Here for information regarding Materials and Finishes</p> <p>MATERIAL</p> <p>Square tubular steel with solid bar locking loops</p> <p>MOUNTING OPTIONS</p> <p>Surface</p> <p>FINISH OPTIONS</p> <p>Hot-dipped galvanized; TGIC polyester powder coat; thermoplastic powder coat; or stainless steel with a brushed finish.</p>	<p>BR3011-P Racks (Perpendicular BR3011 Series Racks)</p> <ul style="list-style-type: none"><li>• Model # BR3011 -P 2 Description 2 Post Bike Rack Capacity 2 Bikes Dimensions 44.5"L x 27.5"H x 25"W</li><li>• Model # BR3011 -P 3 Description 3 Post Bike Rack Capacity 3 Bikes Dimensions 67"L x 27.5"H x 25"W</li><li>• Model # BR3011 -P 4 Description 4 Post Bike Rack Capacity 4 Bikes Dimensions 89.5"L x 27.5"H x 25"W</li><li>• Model # BR3011 -P 5 Description 5 Post Bike Rack Capacity 5 Bikes</li></ul>
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